

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 3, 2020

Thomas Ketcheson, P.E.
Moonlight Drafting Service
Santa Fe, NM

RE: **Beltran Townhomes**
2125 St. Cyr SE
Grading Plan Stamp Date: 2/25/20
Hydrology File: K15D105

Dear Mr. Ketcheson:

Based on the submittal received on 2/26/20, this project cannot be approved until the following corrections are made:

PO Box 1293

Prior to Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Include project datum; all existing survey, proposed grades, and benchmarks must be provided in NAVD 88.
2. Please provide an engineer's stamp with a signature and date. This got stripped in the pdf.
3. Please provide the legal description of the property on the Grading Plan.
4. Provide Hydrologic calculations per the DPM Ch 22.A. If using the Rational Method, C and i values presented in the DPM Ch. 22.A.6.3, Table A-10, and Table A-11 must be used.
5. Provide a scaled drainage basins delineation figure, showing the areas of impervious and pervious cover and land treatments.
6. The site must demonstrate adequate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances or retain increased runoff onsite (peak flow and volume). The proposed ponds are substantially undersized as they are based on faulty Hydrologic analysis and site assumptions.
7. Please include a label on each Pond with the stormwater quality volume and elevation, the 100-year volume and elevation, the peak 100 year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the top of pond elevation.

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8. Provide sections through both external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades on both sides of the property line. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.

Prior to Certificate of Occupancy (For Information):

9. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
10. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

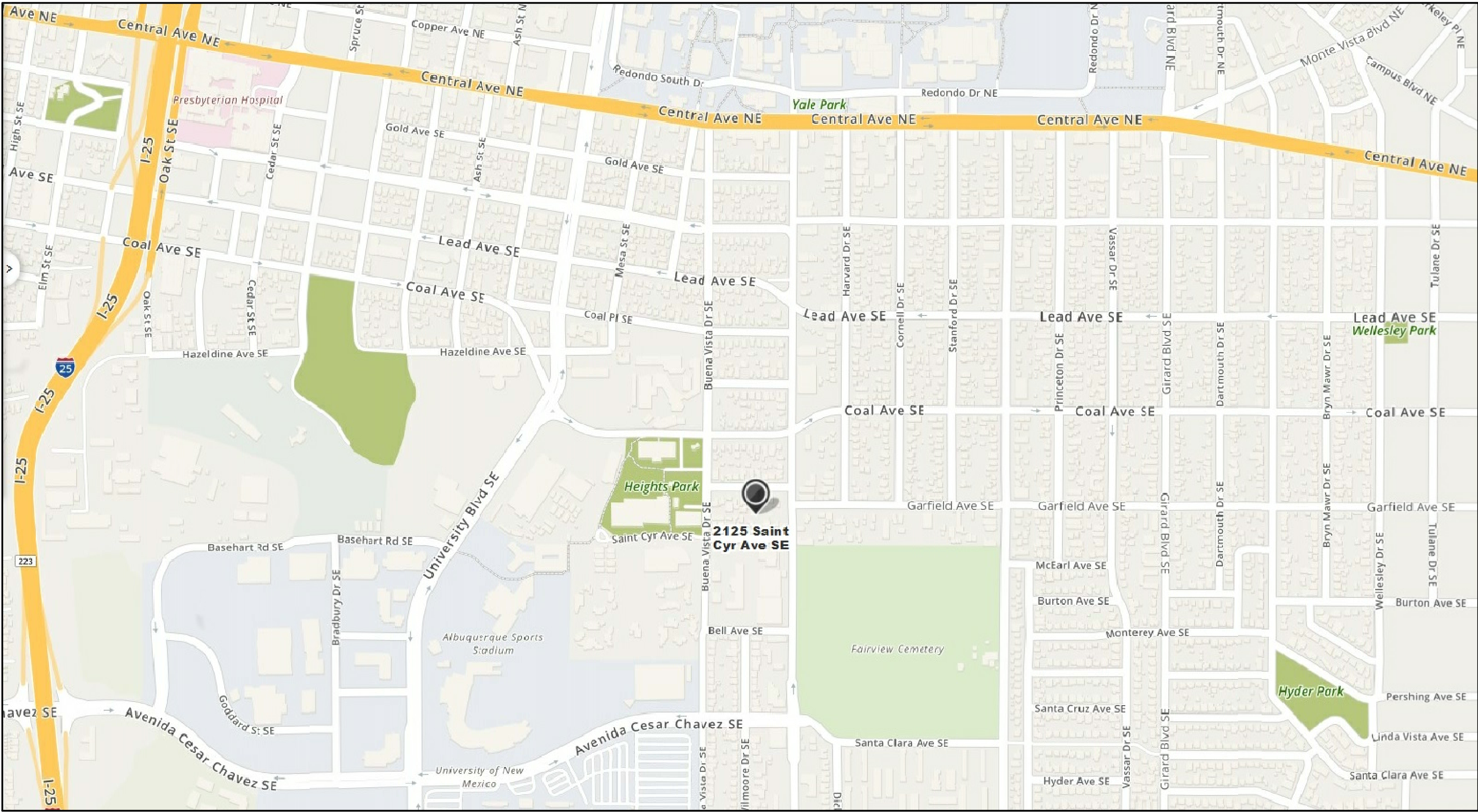
Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



VICINITY MAP



GRADING AND DRAINAGE CALCULATIONS

125 St Cyr Ave SE
Albuquerque, NM
February 21, 2020

Description of Offsite Contributing Watersheds and/or Drainage Basins.

This unimproved .16 Acre rectangular lot currently drains to an alleyway to the north and St Cyr Ave to the South. Other properties in the area drain to intersecting streets and developed stormwater systems.

Adjacent lots drain directly to the Street and Alley and do not affect drainage within the property

Therefore, there are no contributions from existing watersheds or drainage basins

This Design is based on 100% of a 1% Chance 24 hour rain event

PROPERTY CONSISTS OF 7,100 SQ FT. (.16 ACRES)
NEW 2140 SQ FT. QUADPLEX
AN ALLOWANCE OF 20% OF THE DWELLING SIZE IS INCLUDED FOR CONCRETE WALKWAYS
POND SIZE BASED ON PROPOSED IMPROVEMENTS PER ATTACHED DRAWING
100 YEAR, 24 HOUR PRECIPITATION (NOAA) 2.63 INCHES
THIS SMALL LOT SIZE SUPPORTS ANALYSIS BASED ON INSTANTANEOUS ACCUMULATION OF ALL DRAINAGE WITHIN THE LOT AS DEVELOPED

EXISTING LOT

	AREA (SQ FT)	C	PRODUCT
NATIVE SOILS *	7,100	0.24	1,704
TOTALS	7,100		1,704
TOTAL AREA (ACRES)	0.16		

WEIGHTED C = (7,100 / 1,704) = 0.24
Q = .16 x .24 x 2.63 = 0.10 CFS
VOL = 7,100 x .24 x 2.63/12= 373 CU FT

PROPOSED:

	AREA (SQ FT)	C	PRODUCT
NATIVE SOILS	3,700	0.24	888
ROOF AND PORTALS	2,140	0.95	2,033
CONCRETE DRIVE / WALK	1,260	0.95	1,197
TOTALS	7,100		4,118
TOTAL AREA (ACRES)	0.16		

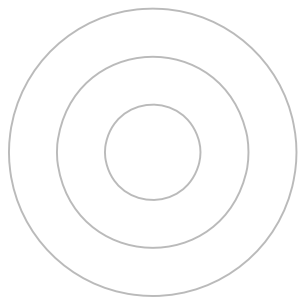
WEIGHTED C = (7,100 / 4,118) = 0.58
Q = .16 x .58 x 2.63 = 0.25 CFS
VOL = 7,100 x .58 x 2.63/12= 903 CU FT

NET INCREASE IN RUNOFF : .25 - .1 = 0.15 CFS
PONDING REQUIRED : 903 - 373 = 529 CU FT

DEPTH OF PROPOSED PONDS FOR 24 HOUR - 1% CHANCE RAIN EVENT
2 Ponds each with volume of 328 cu ft are provided 656 CU FT
Pond High water level for prescribed rain event (529 CF) 1.01 FT

§ 14-5-2-6 (H):
Test of SWQV = .34 * 2.63/12 * 3400= 253.36 SQ FT.
conclusion: Proposed pond volume of 656 Cu Ft exceeds this requirement

ADDITIONAL NOTES:
PROPOSED IMPROVEMENTS ARE NOT WITHIN AN AREA OF MINIMAL FLOOD HAZARD RISK :
FLOOD PLAIN FIRM ref: Panel 35001C0353H



Engineers stamp applies to Grading and drainage features and calculations only.

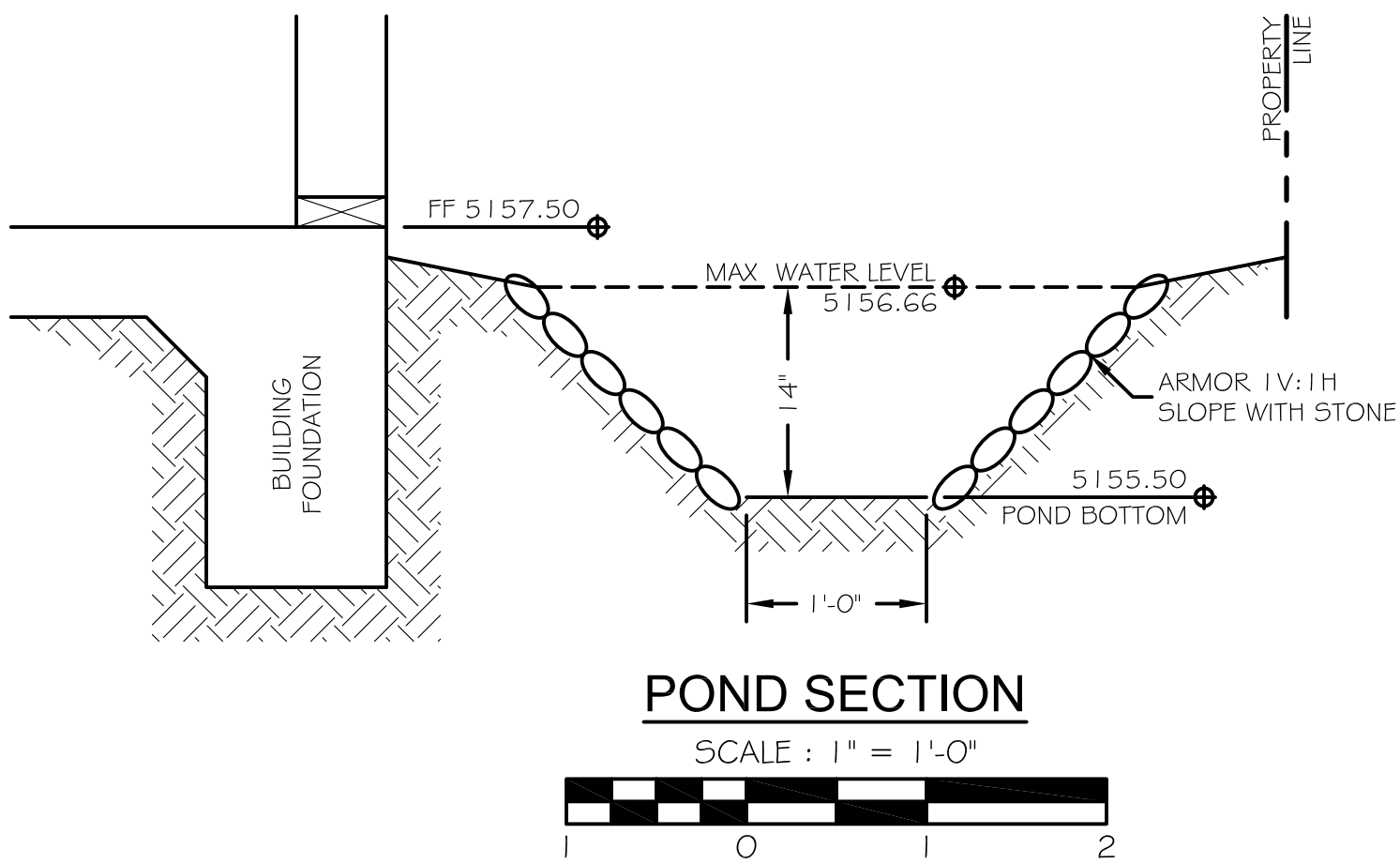
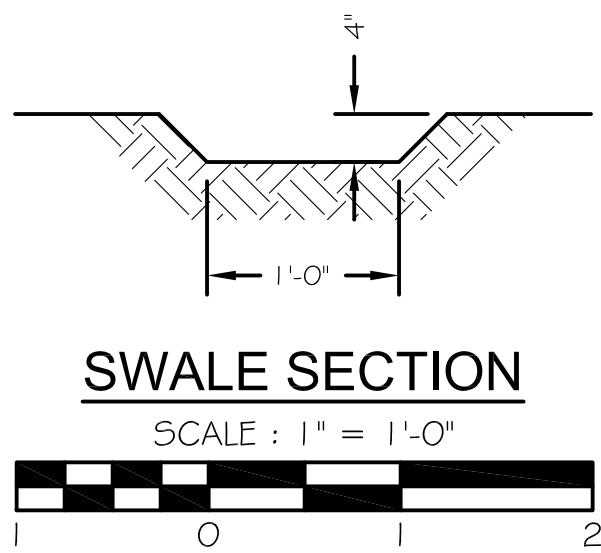
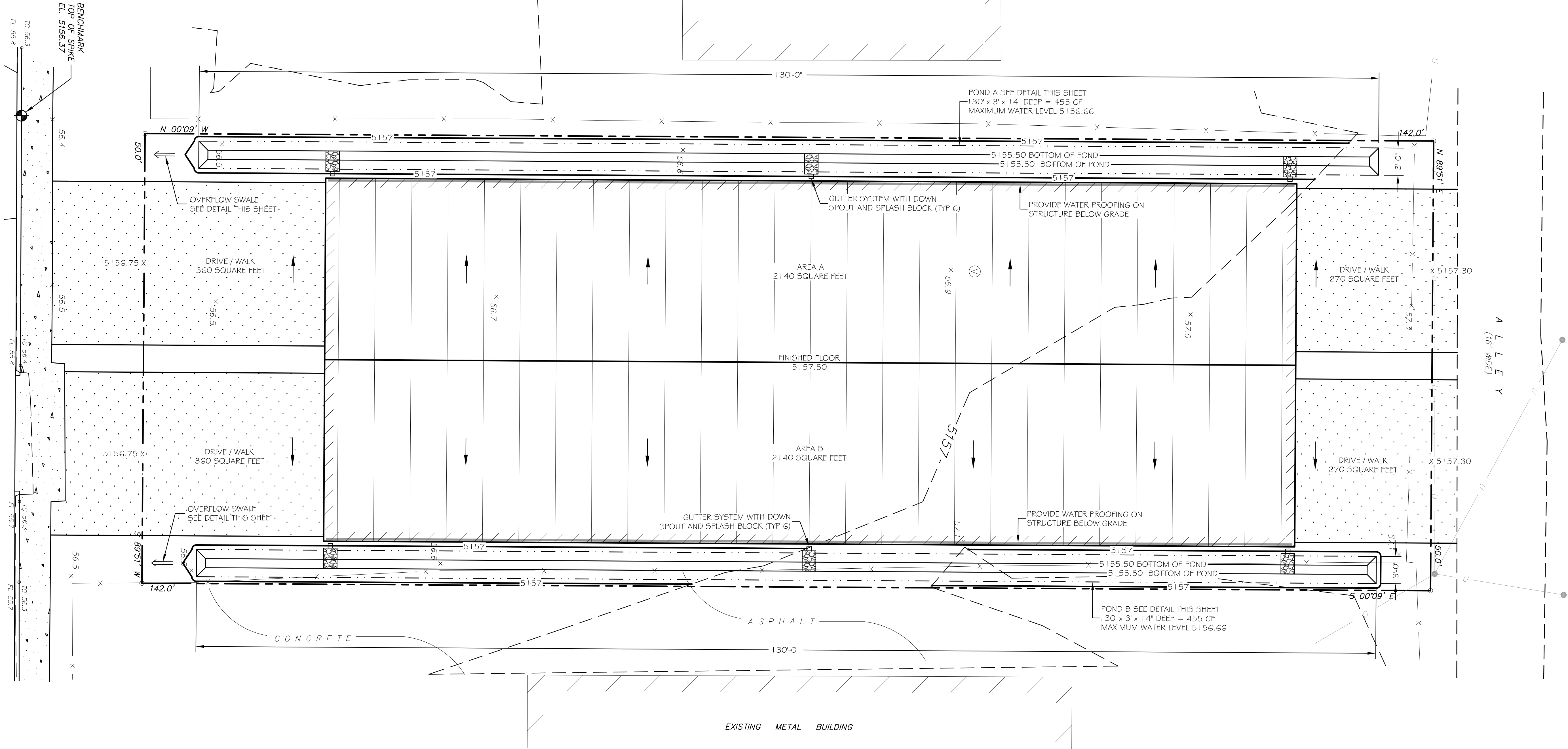
REVISIONS	BY



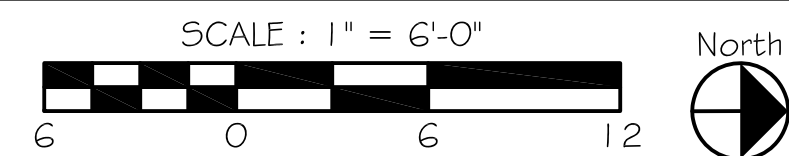
BELTRON TOWNHOMES
2125 ST. CYR AVENUE, SE
ALBUQUERQUE, NEW MEXICO

DRAWN ML
CHECKED TK
DATE 2/24/20
SCALE AS SHOWN
SHEET C-1

ST. CYR AVENUE
(60' RIGHT OF WAY)
5156



GRADING AND DRAINAGE PLAN



Engineers stamp applies to
Grading and drainage features
and calculations only.

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BELTRON TOWNHOMES
2125 ST. CYR AVENUE, SE
ALBUQUERQUE, NEW MEXICO

DRAWN ML
CHECKED TK
DATE 2/24/20
SCALE AS SHOWN
SHEET C-2