

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 20, 2021

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2113 Coal Ave. SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 03/04/21  
Engineer's Certification Date: 05/19/21  
Hydrology File: K15D106**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 05/19/2021 and site photos sent on 05/19/21, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 2113 Coal Ave. SE. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 2113 COAL AVE SE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 17, BLOCK 6 BUENA VISTA HEIGHTS  
**City Address:** 2113 COAL AVE SE

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:**  PLAT  RESIDENCE  DRB SITE  ADMIN SITE

Check all that Apply:

**DEPARTMENT:**

HYDROLOGY/ DRAINAGE  
 TRAFFIC/ TRANSPORTATION

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY  
 PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL

**TYPE OF SUBMITTAL:**

ENGINEER/ARCHITECT CERTIFICATION  
 PAD CERTIFICATION  
 CONCEPTUAL G & D PLAN  
 GRADING PLAN  
 DRAINAGE REPORT  
 DRAINAGE MASTER PLAN  
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
 ELEVATION CERTIFICATE  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 STREET LIGHT LAYOUT  
 OTHER (SPECIFY) \_\_\_\_\_  
 PRE-DESIGN MEETING?

SIA/ RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/ PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR  
 FLOODPLAIN DEVELOPMENT PERMIT  
 OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**BASIN DATA**

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	D100 GENERATED	D100 DISCHARGED			
EXISTING TO COAL	1160.00	0.027	0%	14%	0.004	80%	0.0213	6%	0.002	0.09	0.09
EXISTING TO ALLEY	5940.00	0.137	0%	41%	0.056	40%	0.0546	19%	0.028	0.41	0.41
PROPOSED TO COAL	1160.00	0.027	0%	14%	0.004	80%	0.0213	6%	0.002	0.09	0.09
PROP TO ALLEY-ROUTED	4776.00	0.110	0%	8%	0.009	36%	0.0395	56%	0.061	0.41	0.21
PROP TO ALLEY-FREE	1170.00	0.027	0%	10%	0.000	90%	0.0242	0%	0.000	0.09	0.09
<b>TOTAL EXISTING</b>											<b>0.5</b>
<b>TOTAL PROPOSED</b>											<b>0.33</b>

FIRST FLUSH/REDEVELOPMENT (0.24" PER SF IMP) 33,471 required  
117,000 provided

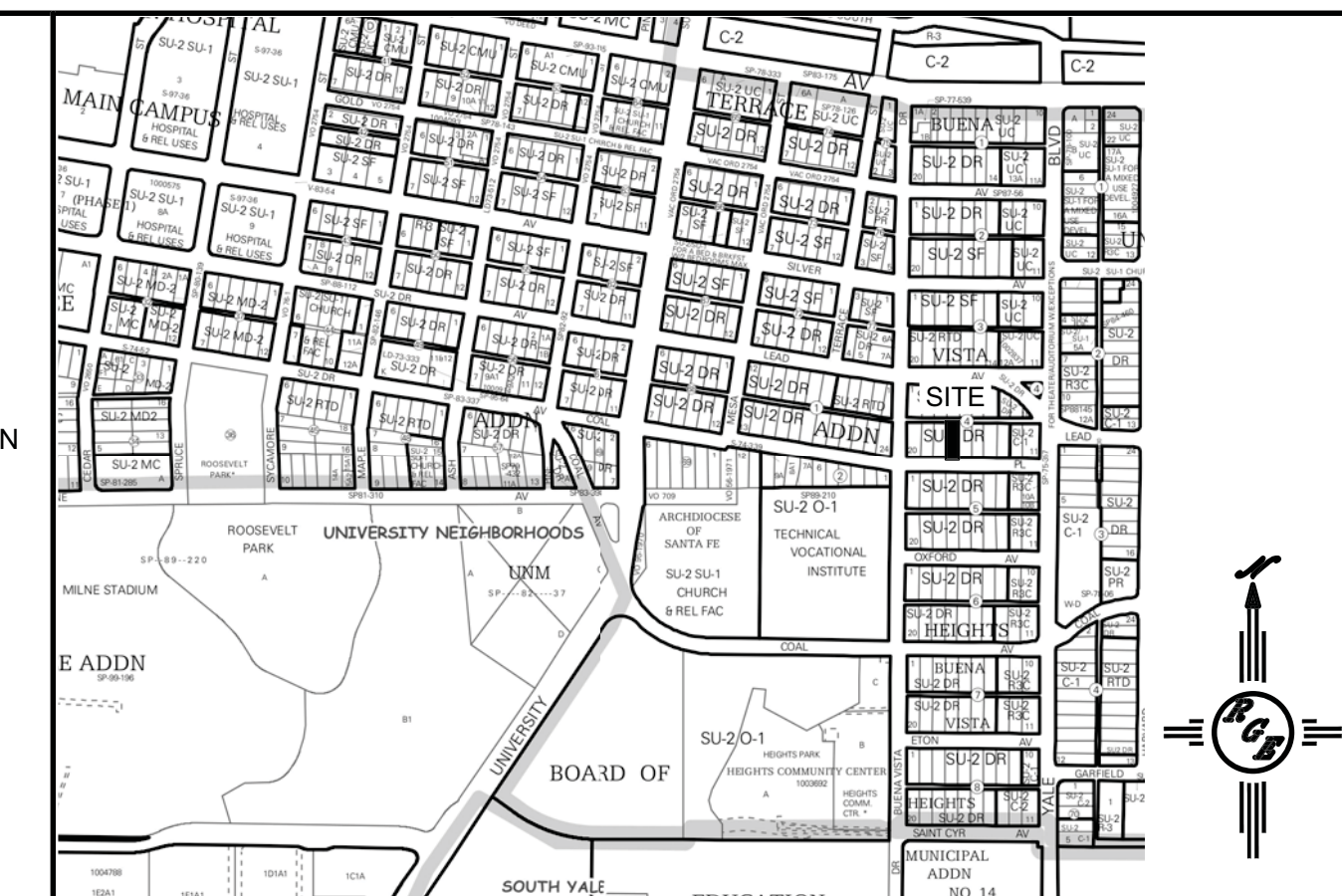
\* SITE DISCHARGE CALCULATED UTILIZING AHYMO. THE DETENTION POND HAS DIFFERENT T<sub>D</sub> THEREFORE THE CUMULATIVE DISCHARGE IS SLIGHTLY LESS THAN THE SUMMATION OF EACH BASIN

**Narrative**  
The subject property is located within a fully developed area of SE Albuquerque. All down stream drainage improvements have been completed. This is a redevelopment of an site that discharges 0.50 surrounding properties (09 CFS to coal/41 cfs to alley). The proposed improvements will maintain the same basins, the basin draining to the alley will contain a sub basin. The proposed improvements will allow the coal basin to remain unchanged and discharge .09 cfs to Coal. The majority of the basin draining to the alley will be routed through a detention basin that retains 117 cf for water quality and discharges the remainder via a 4" orifice at a peak rate of .21 cfs the remainder of the alley basin is the parking areas that free discharge .09 cfs to the alley. The combined flows leaving the site will be .33 cfs with .09 cfs going to coal and the remainder to the alley. The proposed discharge is less than historic and the required water quality volume is retained.

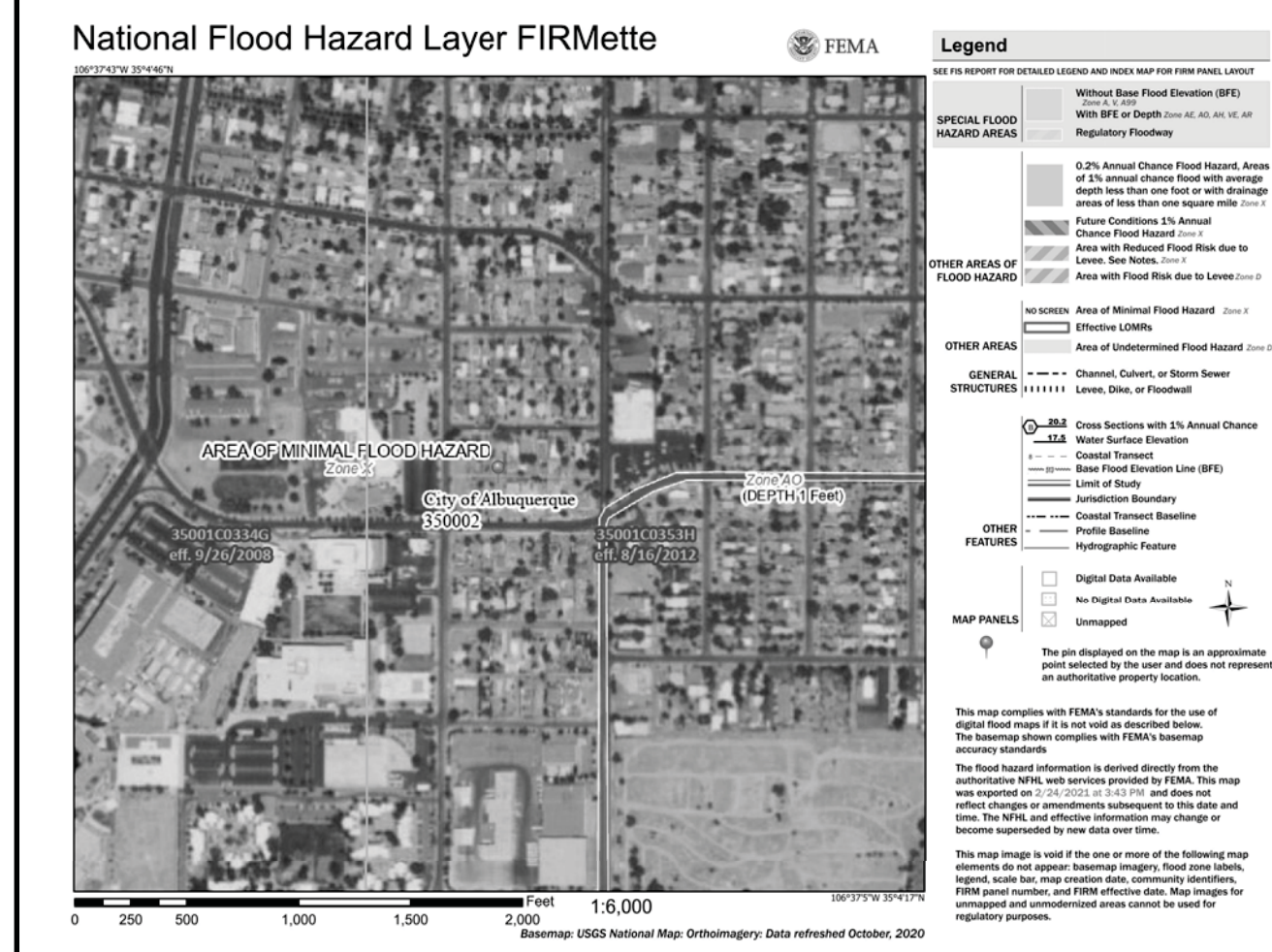
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 3/4/21

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**VICINITY MAP: K-15-Z**



**FIRM MAP:**

**LEGAL DESCRIPTION:**

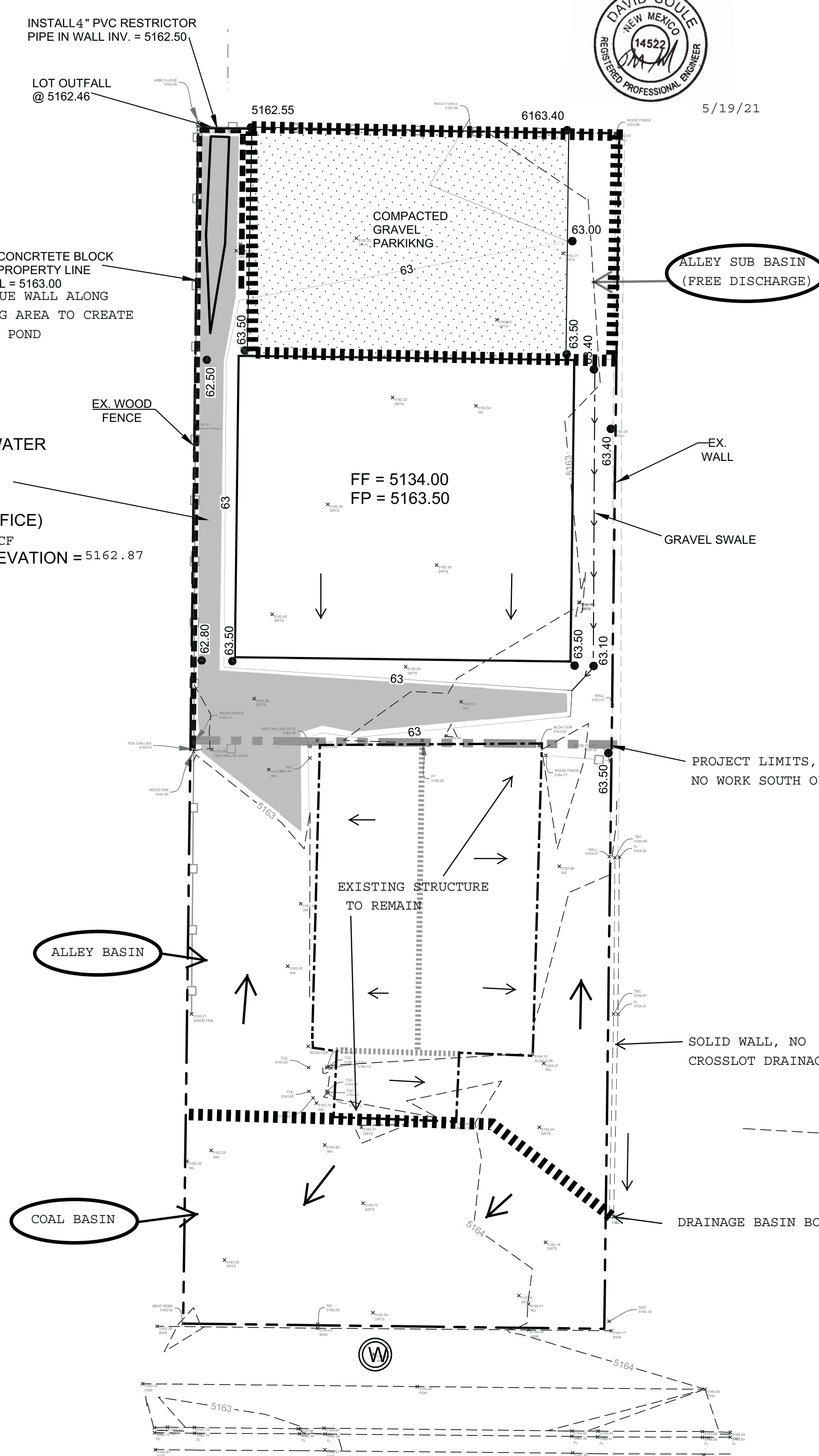
LOT 17 BLOCK 6 BUENA VISTA HEIGHTS  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

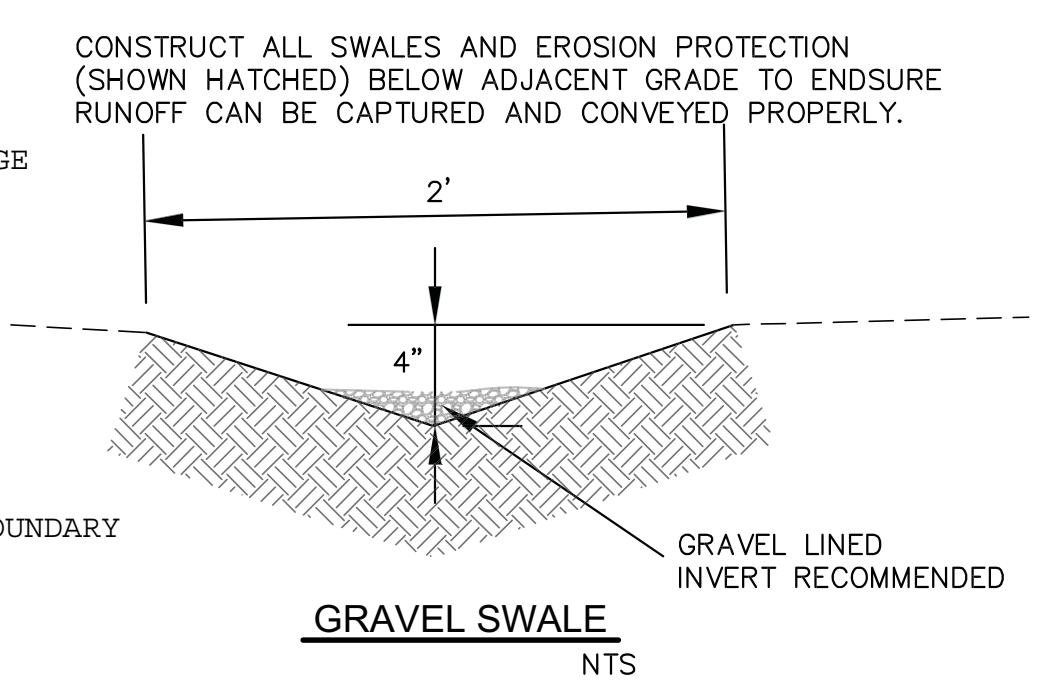
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

**LEGEND**

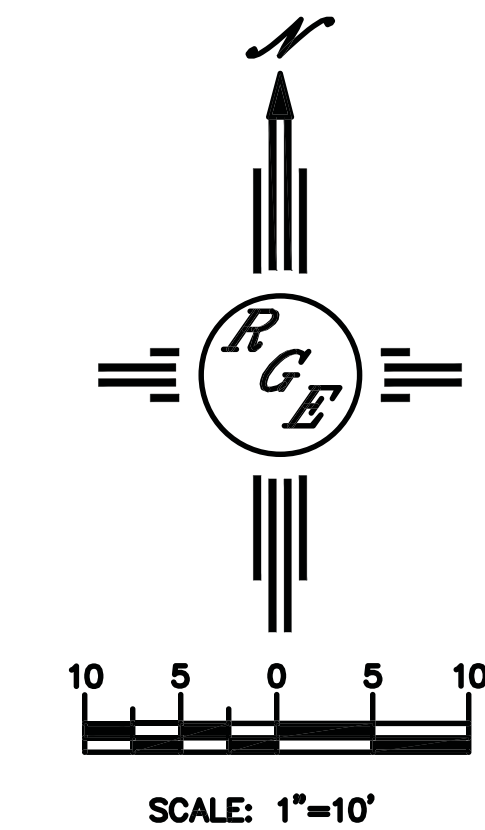
-----XXXX-----	EXISTING CONTOUR
- - - - -XXXX- - - - -	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
- - - - -XXXX- - - - -	PROPOSED INDEX CONTOUR
+XXXX	EXISTING SPOT ELEVATION
●XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED GRAVEL SWALE
-----<-----	PROPOSED RETAINING WALL
=====	PROPOSED GRAVEL
-----	PROJECT LIMITS



DETENTION POND WITH WATER QUALITY VOLUME  
TOP POND = 5163.00  
BOTTOM = 5162.00  
OUTFALL = 5162.50 (4" ORIFICE)  
RETAINED VOLUME = 117 CF  
MAX WATER SURFACE ELEVATION = 5162.87



2113 COAL AVE S.E.  
(60' R-W)



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL  DAVID SOULE P.E. #14522	LOT 17 BLOCK 6 BUENA VISTA HTS 2113 COAL AVE.	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 2-25-21
 Rio Grande Engineering P.O. BOX 53294 ALBUQUERQUE, NM 87199 (505) 321-8099	LOT 17 BLOCK 6 BUENA VISTA HTS.DWG	SHEET # 1 OF 2
	3/4/21	JOB #

