CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

March 25, 2025

Doug Heller, AIA
Muller Heller Architecture PC
1718 Central Ave SW
Albuquerque, NM 87104

Re: El Parador Multi Family Development/ 201 Yale Blvd. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 01-28-22 (K15D107)
Certification dated 03-12-25

Dear Mr . Heller,

Based upon the information provided in your submittal received 03-21-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

MULLEN HELLER
ARCHITECTURE. P.C.

March 12, 2025

Ernest Armijo, P.E., C.F.M., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for**
El Parador, 201 Yale Blvd SE
Albuquerque, NM 87106

Dear Mr. Armijo:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2023-33949). The attached As-Built Traffic Circulation Layout shows the As-Built" conditions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on Friday March 7, 2025, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with a few minor exceptions, which include:

- The entry driveway off of Silver Avenue was reduced from 16' wide to 12' wide due to existing conditions – to maintain the existing trees along Silver. The driveway still remains one-way.
- The Owner made the decision to soften the parking areas by utilizing crusher fines. The drive aisle within the site is 16' wide paved with concrete.
- The one-way exit to the alley has been reduced to 16' to move the drive way further west from Yale.
- Additionally, the new curb ramp at the corner of Silver and Yale was reworked with the approval of Mr. Biazar, who visited the site with the contractor. The existing conditions of the existing sidewalk did not allow for the proposed ramp to be installed.

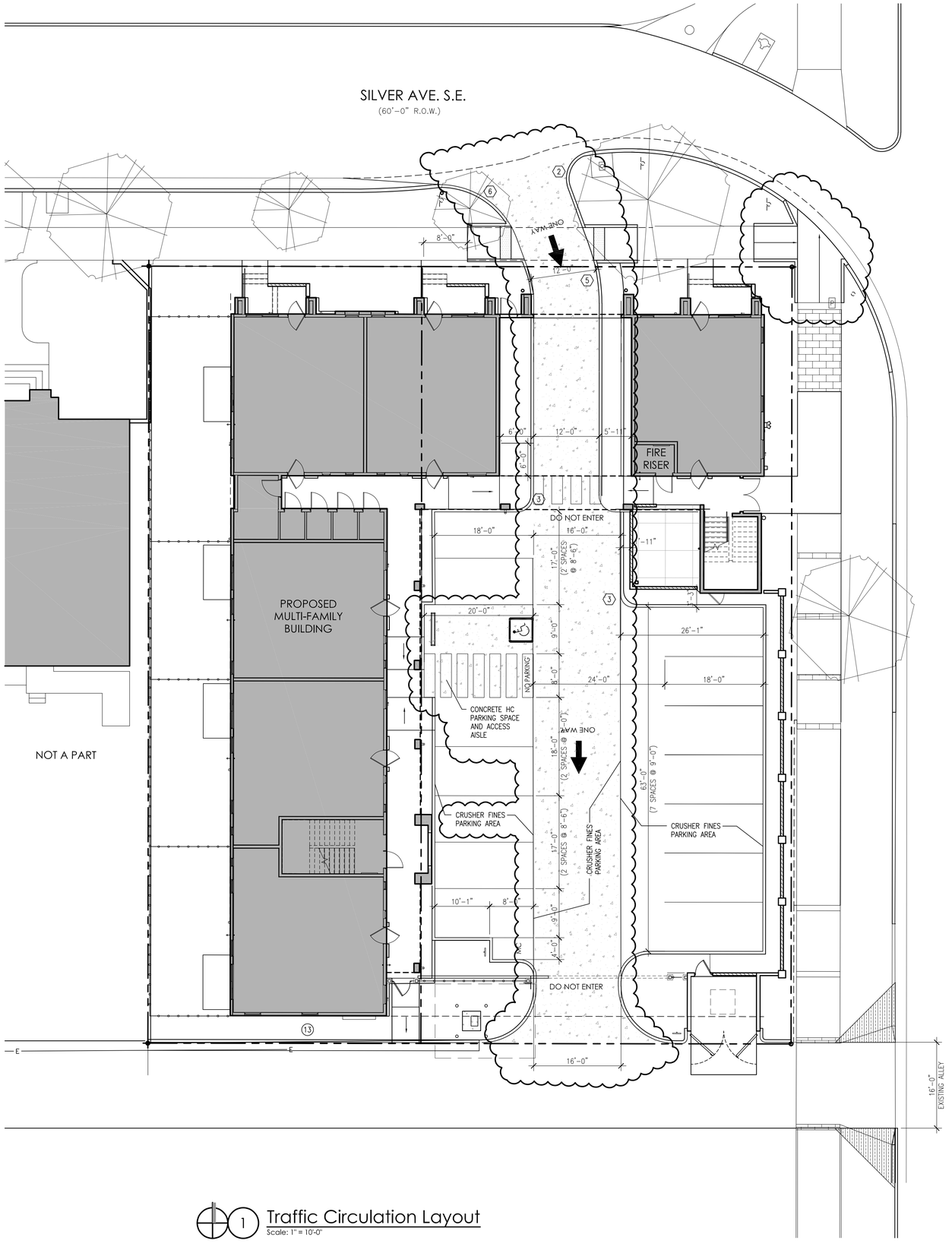
This certification is submitted in support for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture, PC

Douglas Heller, AIA



1 Traffic Circulation Layout
Scale: 1" = 10'-0"

PROJECT DESCRIPTION:

THIS PROJECT IS A NEW THREE STORY WOOD FRAMED MULTI-FAMILY STRUCTURE ~~CONSISTING OF TWENTY (20) DWELLING UNITS. THE FIRST FLOOR OF THE STRUCTURE~~ CONSISTS OF SIX (6) DWELLING UNITS AND SEVEN (7) DWELLING UNITS EACH ON THE SECOND AND THIRD FLOORS. ACCESS FROM SILVER AVENUE TO THE PARKING AREA IS VIA A DRIVE UNDER THE SECOND AND THIRD FLOORS.

THE PROJECT WILL BE CONSTRUCTED ON TWO LOTS THAT WILL BE REPLATTED INTO ONE PROPERTY PRIOR TO SUBMITTING FOR BUILDING PERMIT.

BUILDING ADDRESS: 201 YALE BLVD. SE
ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: LOTS 9 AND 10
BLOCK 3
BUENA VISTA HEIGHTS SUBDIVISION

PROPOSED OCCUPANCY: R2

IDO ZONING: MX-M: MIXED USE – MODERATE INTENSITY

SITE ACREAGE: 0.388 ACRES

BUILDING GROSS SQUARE FOOTAGE:

FIRST FLOOR	4,892 SF
SECOND FLOOR	5,382 SF
THIRD FLOOR	5,382 SF
GROSS BUILDING AREA	15,656 SF

PROJECT PHASING:
THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

EASEMENTS:
THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

GENERAL NOTES:

A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
B. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS. WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
C. ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
D. ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
F. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
G. SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
H. ALL UNUSED CURB CUTS MUST BE REPLACED WITH COA STANDARD SIDEWALK AND CURB AND GUTTER.
I. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
J. ALL BROKEN OR CRACKED CITY SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
K. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
L. EXISTING ENTRANCE ALLEY WAY AND PARKING UTILITY POLES AND ANCHORS TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING SITE/DEMOLITION EARTHWORK.

2

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER. SEE CALCULATIONS BELOW, NOTED WITH ASTERISK (*).

REQUIRED ADA ACCESSIBLE PARKING SPACES:
PER IDO 5-5-(G)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND AS ADJUSTED BY SECTION 14-16-5-5(C)(5), 3. – (PARKING REDUCTIONS) – ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

PER ADAAG:
TOTAL PARKING IN LOT: 1-25, 1 ADA ACCESSIBLE PARKING SPACE SHALL BE PROVIDED.

PROVIDED: 1 ADA ACCESSIBLE PARKING SPACE.

REQUIRED MOTORCYCLE SPACES:
PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE5-5-4, FOR REQUIRED OFF-STREET PARKING BETWEEN 1-25 SPACES, 1 MOTORCYCLE SPACE SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 1 SPACE

REQUIRED BICYCLE SPACES:
PER TABLE 5-5-5, FOR RESIDENTIAL USE GREATER THAN 5 DWELLING UNITS, BICYCLE PARKING SHALL BE 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED SPACES: 10% OF 15 (INCLUDES MOTORCYCLE) = 1.5 SPACES

PROVIDED BICYCLES SPACES: (1) BIKE RACK LOCATED IN EACH UNIT = 20 SPACES

PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:
DWELLING, MULTI-FAMILY UC-MS-PT: 1.2 SPACE / DU

TOTAL PARKING REQUIRED:
20 DWELLING UNITS x 1.2 SPACE / DU = 24 PARKING SPACES REQUIRED PER IDO TABLE 5-1-1.

REDUCTIONS:
PER SECTION 5-5(C)(5)(c)1 REDUCTION FOR PROXIMITY TO TRANSIT: THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED MAY BE REDUCED BY 30 PERCENT IF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN 1,320 FEET (¼ MILE) IN ANY DIRECTION OF ANY TRANSIT STOP OR TRANSIT STATION WITH A PEAK SERVICE FREQUENCY OF 15 MINUTES OR BETTER.

THIS SITE IS WITHIN ¼ MILE OF THE ART STATION (ROUTES 766 & 777) AT CENTRAL AVENUE AND CORNELL DRIVE SE, THEREFORE THE REQUIRED SPACES ARE:

24 SPACES x .7 (30% REDUCTION) = 16 OFF-STREET PARKING SPACES REQUIRED*

PER SECTION 5-5(C)(5)(c)2 REDUCTION FOR PROXIMITY TO TRANSIT: THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED MAY BE REDUCED BY 10 PERFECT IF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN 330 FEET IN ANY DIRECTION OF ANY TRANSIT STOP OR TRANSIT STATION WITH A PEAK SERVICE FREQUENCY BETWEEN 15 MINUTES AND 45 MINUTES.

THIS SITE IS WITHIN 330 FEET OF BUS STOP 3777 ALONG ROUTE 50, WHICH IS A DIFFERENT ROUTE THAN THE ART ROUTE, THEREFORE THE REQUIRED SPACES ARE:

16 SPACES X .9 (10% REDUCTION) = 14 OFF-STREET PARKING SPACES REQUIRED*

TOTAL REDUCTIONS: 30% REDUCTION + 10% REDUCTION = 40% TOTAL REDUCTION, 24 REQUIRED PARKING SPACES x .60 = 14.4 = 14 SPACES REQUIRED, ROUNDED DOWN AS PER IDO 5-5(C)(1)(D)(1).

PROVIDED PARKING:

REGULAR SPACES	=14
ADA SPACES	=_1
TOTAL SPACES PROVIDED	=15

REV	DATE	BY	DESCRIPTION
2	3/12/25	JDH	AS-BUILT INFORMATION

mullen heller architecture

STATE OF NEW MEXICO
JOHN DOUGLAS HELLER
NO. 2827
REGISTERED ARCHITECT

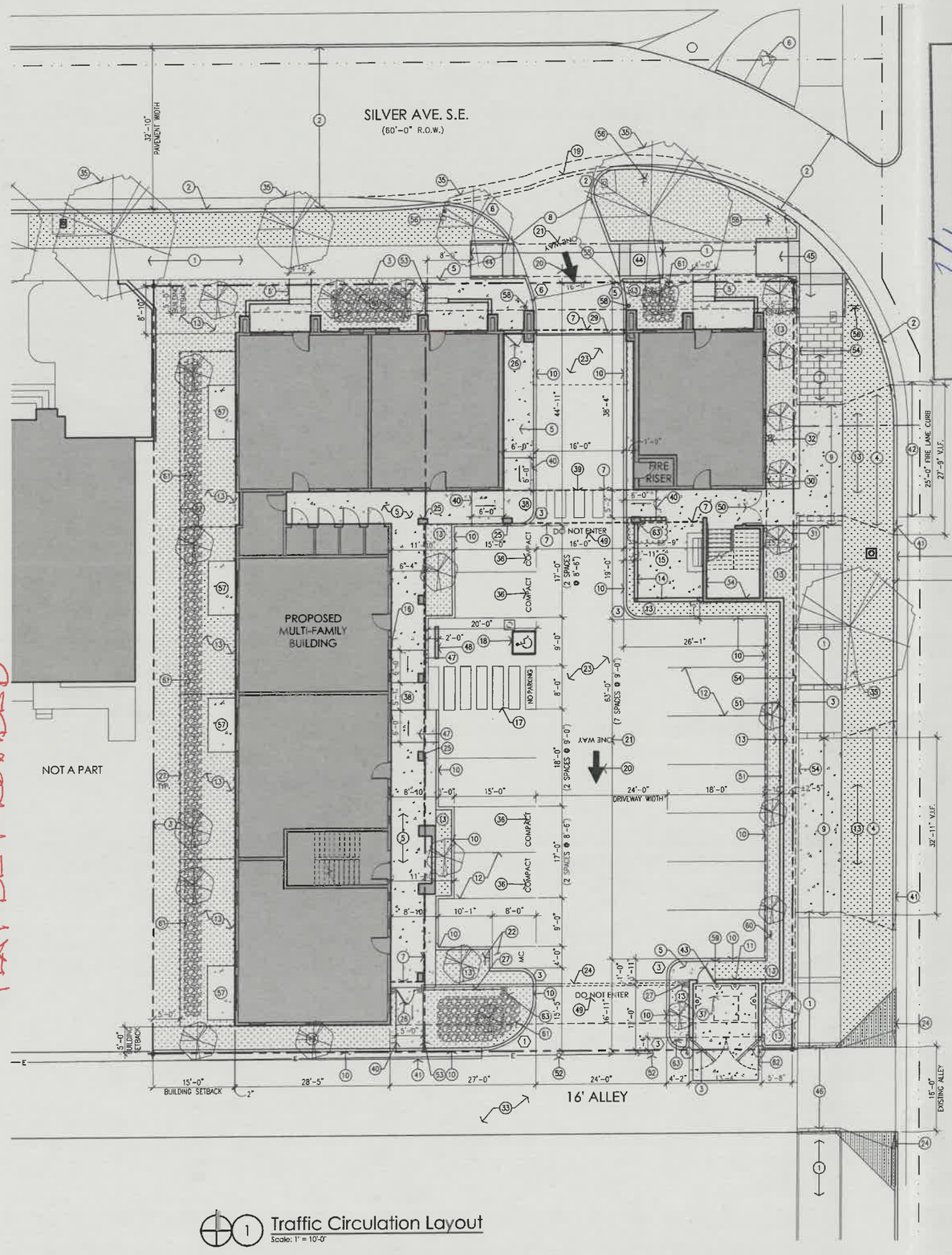
MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE. D
ALBUQUERQUE, NM | 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER	21-15
DRAWN BY	LF
PROJECT MGR	JDH
DATE	09-08-23
PHASE	PERMIT

PROJECT
El Parador Multi-Family Development
201 Yale Blvd. SE
Albuquerque, NM 87106

TITLE
Traffic Circulation Layout - AS-BUILT

SHEET
TCL



1 Traffic Circulation Layout
Scale: 1" = 10'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed
Date 2/7/22

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

CONDITION OF FINAL C.O. APPROVAL AN APPROVAL/RECORDED PLAT BE PROVIDED

SITE DATA

PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:
DWELLING, MULTI-FAMILY UC-MS-PT: 1.5 SPACE / DU

TOTAL PARKING REQUIRED:
20 DWELLING UNITS x 1.5 SPACE / DU = 30 PARKING SPACES REQUIRED

PARKING REDUCTIONS/CREDITS:
PER SECTION 5-5(C)(5)(a)1, REDUCTION FOR ½ MILE PROXIMITY TO TRANSIT STATION WITH 15 MIN SERVICE FREQUENCY , REQUIRED PARKING CAN BE REDUCED BY 30%.
SUB-TOTAL = 30 * 0.70 TRANSIT REDUCTION = 21 REQUIRED SPACES

PER SECTION 5-5(C)(5)(a)1, REDUCTION FOR 330 FT PROXIMITY TO TRANSIT STATION WITH 15 MIN SERVICE FREQUENCY , REQUIRED PARKING CAN BE REDUCED BY 10%.
SUB-TOTAL = 21 * 0.90 TRANSIT REDUCTION = 18 REQUIRED SPACES

TOTAL PARKING REQUIRED = 18 SPACES

PER SECTION 5-5(C)(6)(b), CREDIT FOR PARKING SPACE DESIGNATED AND SIGNED FOR EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE = 4 SPACES.

PROVIDED PARKING:				
REGULAR SPACES	=	9	=	9
COMPACT SPACES	=	4	=	4
CARPOOL CREDIT	=	1	=	4
ADA SPACES	=	1	=	
TOTAL SPACES PROVIDED			=	18

REQUIRED ADA ACCESSIBLE PARKING SPACES:
PER IDO 5-5-(C)(6)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND AS ADJUSTED BY SECTION 14-16-5-5(C)(5), 3. – (PARKING REDUCTIONS) – ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

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MOTORCYCLE SPACES PROVIDED: 1 SPACE

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PROJECT DESCRIPTION:

THIS PROJECT IS A NEW THREE STORY WOOD FRAMED MULTI-FAMILY STRUCTURE CONSISTING OF TWENTY (20) DWELLING UNITS. THE FIRST FLOOR OF THE STRUCTURE CONSISTS OF SIX (6) DWELLING UNITS AND SEVEN (7) DWELLING UNITS EACH ON THE SECOND AND THIRD FLOORS. ACCESS FROM SILVER AVENUE TO THE PARKING AREA IS VIA A DRIVE UNDER THE SECOND AND THIRD FLOORS.

THE PROJECT WILL BE CONSTRUCTED ON TWO LOTS THAT WILL BE REPLATTED INTO ONE PROPERTY PRIOR TO SUBMITTING FOR BUILDING PERMIT.

BUILDING ADDRESS: 201 YALE BLVD. SE, ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: LOTS 9 AND 10, BLOCK 3, BUENA VISTA HEIGHTS SUBDIVISION

PROPOSED OCCUPANCY: R2

IDO ZONING: MX-M: MIXED USE – MODERATE INTENSITY

SITE ACREAGE: 0.388 ACRES

BUILDING GROSS SQUARE FOOTAGE:

FIRST FLOOR	4,892 SF
SECOND FLOOR	5,382 SF
THIRD FLOOR	5,382 SF
GROSS BUILDING AREA	15,656 SF

PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

EASEMENTS:

THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

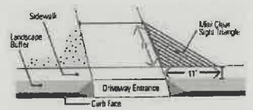
GENERAL NOTES:

A. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
B. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
C. ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
D. ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
F. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
G. SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
H. ALL UNUSED CURB CUTS MUST BE REPLACED WITH COA STANDARD SIDEWALK AND CURB AND GUTTER.
I. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
J. ALL BROKEN OR CRACKED CITY SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
K. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
L. EXISTING ENTRANCE ALLEY WAY AND PARKING UTILITY POLES AND ANCHORS TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING SITE/DEMOLITION EARTHWORK.

VICINITY MAP

CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



SITE SLOPES:

* PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
* PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
* ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

RADIUS INFORMATION:

(1) = 10'-0" (4) = 1'-0"
(2) = 5'-0" (5) = 31'-0"
(3) = 3'-0" (6) = 15'-0"

KEYED NOTES:

1. EXISTING CITY SIDEWALK.
2. EXISTING CITY CURB AND GUTTER.
3. PROPERTY LINE.
4. EXISTING DRIVEWAY TO BE REMOVED.
5. NEW CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0". SEE 1/A003.
6. EXISTING FIRE HYDRANT.
7. LINE OF BUILDING ABOVE.
8. NEW DRIVEWAY PER COA STANDARD DETAIL 2426. SEE 7/A003.
9. NEW CITY SIDEWALK TO MATCH EXISTING PER COA STANDARD DETAIL 2430.
10. NEW HEADER CURB. SEE 4/A003.
11. NEW REFUSE ENCLOSURE. SEE 5/A002.
12. NEW PAINTED PARKING STRIPING.
13. NEW LANDSCAPE AREA.
14. NEW PATIO WALL.
15. NEW CONCRETE PATIO.
16. NEW HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE 3/A002.
17. NEW STRIPED ADA ACCESS AISLE WITH 12" HIGH, WHITE PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. LETTERING SHALL BE LOCATED ADJACENT TO REAR TIRE. SEE 1/A002.
18. NEW ADA PAVEMENT SIGN. SEE 2/A002.
19. EXISTING CURB AND GUTTER TO BE REMOVED.
20. NEW WHITE PAINTED DIRECTIONAL ARROW ON PAVEMENT. SEE 8/A003.
21. NEW 12" HIGH, WHITE PAINTED PAVEMENT LETTERING "ONE-WAY".
22. NEW 4'X8' MOTORCYCLE PARKING SPACE AND 12" HIGH, WHITE PAINTED PAVEMENT LETTERING "MC" WITH SIGNAGE. SEE 3/A002.
23. NEW ASPHALT PAVING.
24. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
25. NEW BUILDING COLUMN.
26. NEW 3' WIDE PEDESTRIAN ACCESS GATE.
27. NEW 6' HIGH FENCE.
28. NEW 24' WIDE ROLLING VEHICULAR GATE.
29. NEW 16' WIDE VEHICULAR GATE.
30. NEW FIRE DEPARTMENT KNOX BOX.
31. NEW REMOTE POST INDICATOR VALVE (PIV).
32. NEW BUILDING-MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
33. EXISTING ALLEY TO REMAIN.
34. NEW EXTERIOR STAIRWELL.
35. EXISTING TREE TO REMAIN.
36. NEW "COMPACT" PARKING STALL WITH 12" HIGH, WHITE PAINTED PAVEMENT LETTERING.
37. NEW 4 CUBIC YARD ROLL-OUT CONTAINER.
38. THIS AREA FLUSH WITH ASPHALT. 2% MAX. SLOPE AT CURB RAMP LANDING.
39. NEW 2'-0" x 5'-0" PAINTED WHITE CROSSWALK STRIPING.
40. NEW RAMP. SEE TO 4/A002 SIMILAR.
41. NEW CURB AND GUTTER PER COA STANDARD DETAIL 2415.
42. EXTENTS OF FIRE LANE CURB, PAINTED RED PER A.F.R.
43. NEW 3' WIDE REFUSE ENCLOSURE ACCESS GATE.
44. NEW PARALLEL CURB RAMP WITH TRUNCATED DOMES PER COA STANDARD DETAIL 2443-C.
45. NEW PARALLEL CURB RAMP WITH TRUNCATED DOMES PER COA STANDARD DETAIL 2445-B.
46. EXISTING CURB RAMPS TO REMAIN.
47. NEW HANDICAP PARKING RAMP. SEE 1/A002.
48. NEW CONCRETE WHEEL STOP.
49. NEW 12" HIGH, WHITE PAINTED PAVEMENT LETTERING "DO NOT ENTER".
50. NEW 6'-0" WIDE DOUBLE PEDESTRIAN ACCESS GATE.
51. NEW 6'-0" TALL CMU WALL.
52. EXISTING POWER POLE AND GUYWIRE TO BE REMOVED.
53. PROPERTY LINE TO BE REMOVED VIA REPLAT. REPLAT IS A CONDITION OF FINAL CERTIFICATE OF OCCUPANCY.
54. REMOVE EXISTING CURB OR BACK SIDE OF EXISTING CITY SIDEWALK.
55. EXISTING CITY SIDEWALK TO BE REMOVED FOR NEW DRIVEWAY.
56. EXISTING CITY SIGN TO REMAIN.
57. NEW 5' X 10' CONCRETE STOOP.
58. NEW 48" HIGH BOLLARD.
59. END OF CONCRETE SIDEWALK.
60. PARKING SIGN "RESERVED FOR VAN POOL PARKING". SEE 3/A002.

KEYED NOTES (CONTINUED):

61. PONDING AREA. SEE CIVIL.
62. LINE OF CONCRETE APRON. SEE 5/A002.
63. "ONE WAY DO NOT ENTER" SIGNAGE. SEE 3/A002.

REV	DATE	BY	DESCRIPTION

mullen heller architecture

STATE OF NEW MEXICO
JOHN DOUGLAS HELLER
NO. 2827
REGISTERED ARCHITECT
01.28.2022

MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE. D
ALBUQUERQUE, NM | 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER	21-15
DRAWN BY	LF/MW
PROJECT MGR	JDH
DATE	01-28-22
PHASE	-

PROJECT
El Parador Multi-Family Development
201 Yale Blvd. SE
Albuquerque, NM 87106

TITLE
Traffic Circulation Layout

SHEET
TCL

K15-0107