

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 22, 2024

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

RE: 411 Cedar St. NE
Grading & Drainage Plan
Engineer's Stamp Date: 04/04/24
Hydrology File: K15D167

Dear Mr. McGee:

Based upon the information provided in your submittal received 04/04/2024, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. **Since this project is a secondary structure on a lot with an existing house, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

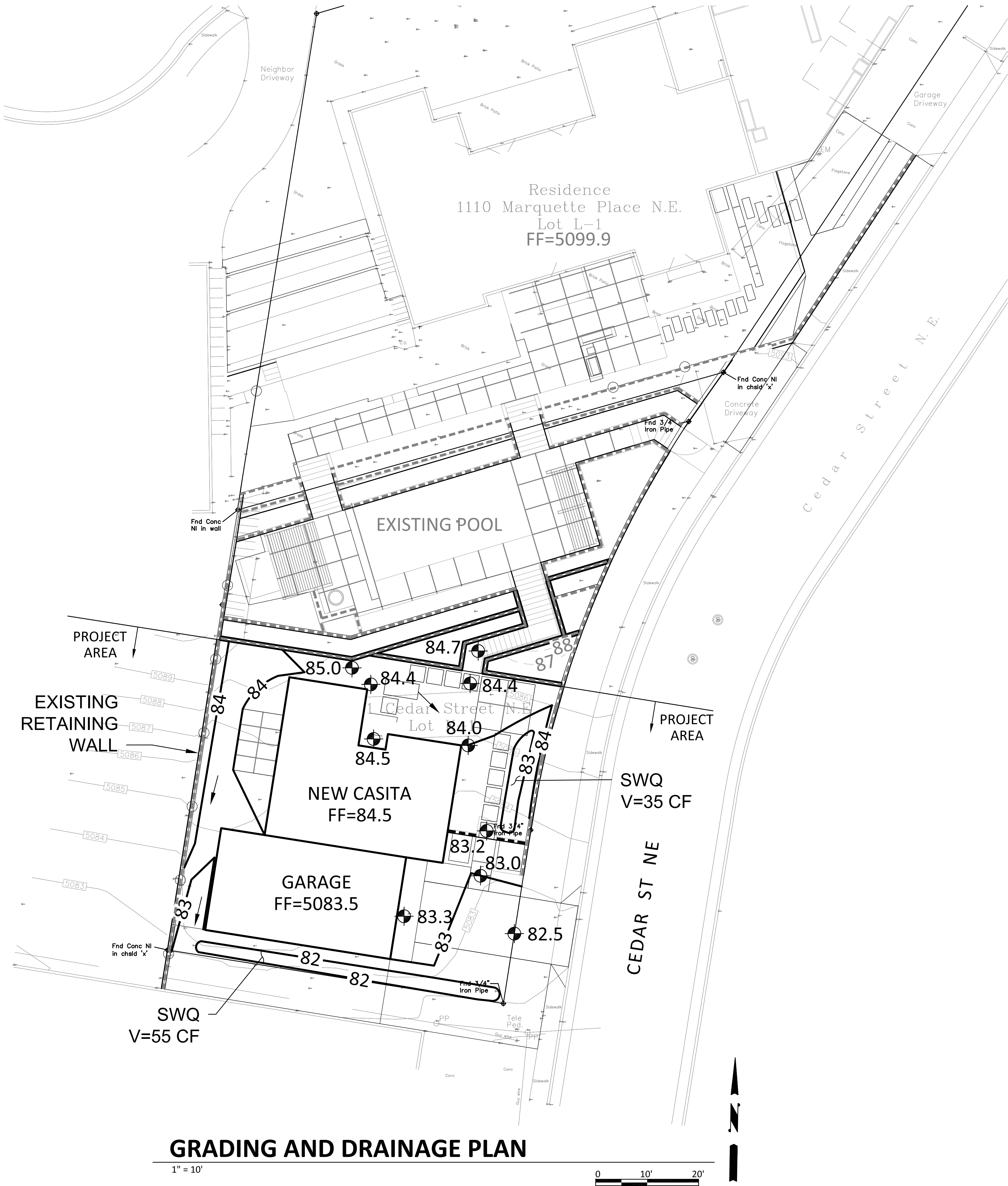
1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



GRADING AND DRAINAGE PLAN

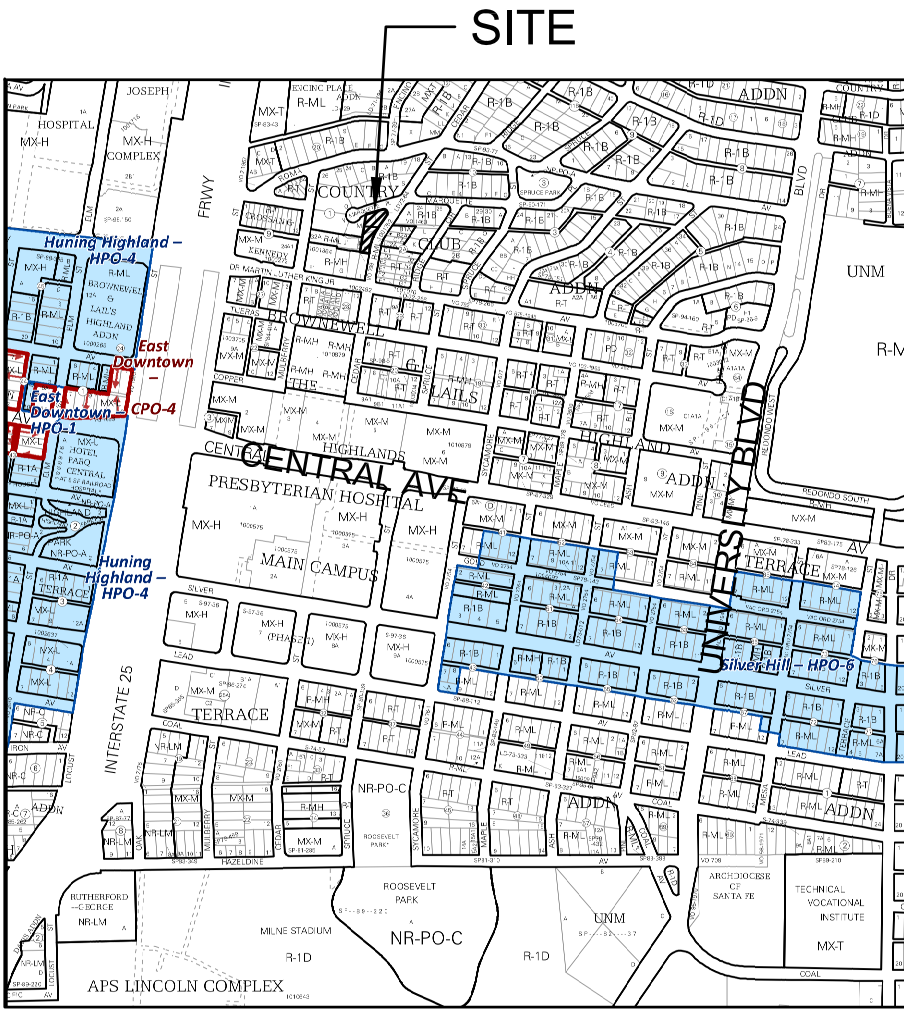
1" = 10'

0 10' 20'

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 04/22/24
BY: *Ronald C. Brissett*
HydroTrans #: K15D167

THIS APPROVAL OF THESE PLANS AND/OR SPECIFICATIONS SHALL NOT BE CONSIDERED TO PRESENT VIOLATIONS OF ANY CITY OR STATE LAW, RULE, OR REGULATION. THE CITY OF ALBUQUERQUE IS PROVIDING THIS APPROVAL AS A SERVICE TO THE PUBLIC AND DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY OF ALBUQUERQUE SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING OUT OF OR FROM THE USE OF THESE PLANS AND/OR SPECIFICATIONS. THE CITY OF ALBUQUERQUE SHALL NOT BE CHARGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



VICINITY MAP

K15

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF = 84.5 PROPOSED BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- TW TOP OF WALL
- RETAINING WALL

DRAINAGE ANALYSIS

ADDRESS: 411 Cedar St NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT K1, COUNTRY CLUB ADDITION

PROJECT AREA: 3,910 SF (0.09 acre)

SURVEYOR: Rio Grande Surveying Inc. dated 11/12/2019 (ELEVATIONS ARE NAVD 1988)

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0334G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: There is no offsite flow that enters this site.

EXISTING CONDITIONS: The site is an developed residential lot (1110 Marquette NE) that slopes steeply down from the north to the south. There are tiered retainage walls around an outdoor pool and deck area. The site discharges to Cedar Street NE.

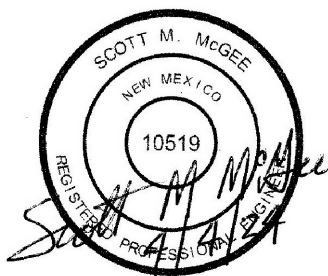
PROPOSED IMPROVEMENTS: The proposed residence will have an attached garage with a walk leading to a swimming pool and deck area to the north.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of the onsite retention pond to address the SWQ volume.

Existing land treatment: 50% B and 50% C (land with slopes from 10-20% and soil compacted by human activity)
 $Q = [(.5)(2.36) + (.5)(3.05)](0.09) = 0.24 \text{ CFS}$

Proposed land treatment: 17% B, 36% C and 47% D
 $Q = [(0.17)(2.36) + (0.36)(3.05) + (0.47)(4.34)](0.09) = 0.3 \text{ CFS}$

The required SWQV retention storage is:
 $V = 2,460 \times 0.42/12 = 86 \text{ CF}$ (90 CF provided)



Scott M McGee

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Albuquerque, NM 87122
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