

1 Site Plan for Building Permit
Scale: 1" = 20'-0"



PARKING CALCULATIONS:

PARKING REQUIRED:	PARKING PROVIDED:
7,200 SF. RETAIL 1 PER 300 SF. PER UC ZONE 7,200/300 = 24 SPACES REQUIRED	26 SPACES ARE PROVIDED OFF OF ALLEY. LOTS 17,18,19,20.
34,700 SF. RESIDENTIAL UNITS 1 PER 800 SF. PER R3C ZONE 33,400/800 = 56 SPACES REQUIRED	46 SPACES PROVIDED AND DESIGNATED IN ADJACENT PARKING LOT. LOTS 6,7,8,9,10.
80 TOTAL SPACES REQUIRED LESS 10% REDUCTION AS PROJECT IS WITHIN 300' OF TRANSIT ROUTE = 72 SPACES REQUIRED	72 TOTAL SPACES PROVIDED
	ADDITIONAL REQUIREMENTS:
	4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE SPACES REQUIRED PER C.O.A. REQUIREMENTS.
	4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY.
	7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

COMPREHENSIVE PLAN WATER MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- WATER HARVESTING THAT CHANNELS STORM WATER FROM HARD SURFACES TO LANDSCAPE AREAS.
- LOW WATER USE LANDSCAPING.
- COMPLY WITH STORM WATER RUN-OFF PLAN, AND
- LOW-FLOW WATER CLOSETS AND SHOWER HEADS IN ALL RESIDENTIAL UNITS.

COMPREHENSIVE PLAN ENERGY MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- INSULATED WINDOWS IN ALL RETAIL SPACES AND RESIDENTIAL UNITS.
- MINIMIZE GLAZING ON THE WEST ELEVATIONS.
- UTILIZE LANDSCAPING AND OVERHANGS TO PROVIDE BUILDING SHADING.
- PROVIDE SINGLE METERING OF UTILITIES FOR ALL RESIDENTIAL UNITS.
- CERTIFY COMPLIANCE WITH THE SOLAR ACCESS PROVISION, AND
- PROMOTE MASS TRANSIT AND PEDESTRIAN IMPROVEMENTS BY PROVIDING THE EXACT NUMBER OF PARKING SPACES REQUIRED.

GENERAL NOTES:

- SITE LIGHTING WILL BE PROVIDED BY THE FOLLOWING:
 - RECESSED HID FLUORESCENT DOWN LIGHTS ALONG RETAIL FRONTAGE.
 - SHIELDED HID METAL HALIDE WALL PACKS AT WEST SIDE OF PROJECT AND AT PEDESTRIAN WALKWAY.
 - COMPACT FLUORESCENT STEP LIGHTS AT RAISED PLANTERS AT COURTYARDS AND AT PEDESTRIAN WALKWAY.
 - LOW WATTAGE LANDSCAPE LIGHTING IN THE COURTYARDS.
 - DECORATIVE FIXTURE ADJACENT TO EACH RESIDENCE DOOR.
 - CURRENT PARKING IN LOTS 6,7,8,9,10 ARE COMPRISED OF 63 PAID PARKING SPACES AND 19 REQUIRED SPACES FOR ADJACENT BUSINESSES. 46 OF THE 63 PAID PARKING SPACES WILL BE DESIGNATED FOR REQUIRED OFF STREET PARKING FOR THE PROPOSED DEVELOPMENT. 7 MOTORCYCLE SPACES WILL BE ADDED. ANY FUTURE DEVELOPMENT OF THESE LOTS WILL REQUIRE THESE 48 DESIGNATED SPACES TO BE ACCOMMODATED ELSEWHERE AS REQUIRED BY THE CITY OF ALBUQUERQUE.
 - THE RESIDENTIAL SQUARE FOOTAGE SHALL BE LIMITED TO 33,400 NET SQUARE FEET AND THE NUMBER OF DWELLING UNITS IS LIMITED TO A TOTAL OF 46.
- KEYED NOTES:**
- EXISTING BUILDING TO REMAIN.
 - EXISTING BRICK SIDEWALK TO REMAIN.
 - EXISTING CURB AND GUTTER TO BE REMOVED PER CITY WORK ORDER.
 - PROPOSED CITY STANDARD CURB AND GUTTER PER CITY WORK ORDER.
 - PROPOSED BRICK SIDEWALK TO MATCH EXISTING.
 - EXISTING PROPERTY LINE TO BE DELETED BY REPLAT.
 - PROPOSED LANDSCAPED AREA.
 - PROPOSED WROUGHT IRON GATE.
 - NEW ASPHALT PAVING TO BE LEVEL WITH ALLEY PAVING. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED HANDICAP ACCESSIBLE PARKING.
 - PROPOSED SCORED CONCRETE HANDICAP ACCESSIBLE ACCESS AISLE.
 - PROPOSED HANDICAP ACCESSIBLE RAMP.
 - PROPOSED BIKE RACK LOCATION. 6 SPACES PER RACK.
 - EXISTING CITY CURB TO REMAIN.
 - EXISTING PARKING LOT TO REMAIN. NOT A PART OF THIS PROJECT.
 - EXISTING PARKING LOT. 46 DESIGNATED FOR PROPOSED PROJECT.
 - EXISTING PARALLEL AND METERED PARKING TO REMAIN.
 - PROPOSED 6"x6"x2' HIGH RAISED BRICK LANDSCAPE PLANTER WITH RECESSED FLUORESCENT STEP LIGHTING TYPICAL OF 3 EACH.
 - EXISTING BUILDING TO BE REMOVED.
 - NEW PARALLEL AND CITY METERED PARKING SPACES. PARKING METERS TO BE RELOCATED PER CITY WORK ORDER.
 - NEW 8' WIDE BRICK PEDESTRIAN CONNECTION FROM EXISTING PARKING LOT TO HARVARD DRIVE.
 - 8' HIGH CMU COMPACTOR ENCLOSURE. STUCCO TO MATCH PROPOSED BUILDINGS. SEE 4/A02.
 - SELF-CONTAINED REFUSE COMPACTOR ON WHEEL GUIDES. PROVIDED BY OWNER.
 - 10' WIDE x 6" THICK CONCRETE APRON.
 - LINE OF PROPOSED WALKWAY ABOVE.
 - ADDITIONAL 4' RIGHT-OF-WAY DEDICATED TO ALLEY BY REPLAT.
 - EXISTING CURB CUT, DRIVEWAY AND HANDICAP RAMPS TO REMAIN.
 - NEW FIRE HYDRANT FED BY 6" LINE IN PUBLIC ALLEY.
 - NEW FIRE LANE ACCESS. 4" STRIPING TO BE RED. ADJACENT CURB TO BE PAINTED RED WITH WHITE LETTERING TO READ "FIRE LANE NO PARKING".
 - RAISED 8' WIDE PEDESTRIAN CONNECTION ACROSS ALLEY. PER CITY WORK ORDER.
 - NEW 20" WATER UTILITY EASEMENT.
 - NEW 8" PEDESTRIAN ACCESS EASEMENT.
 - 16" HIGH BRICK SEATWALL WITH RECESSED FLUORESCENT STEP LIGHTING. TYPICAL OF 3 AT EACH SEATWALL.
 - BRICK PLASTER AT GATE LOCATIONS, TYPICAL.
 - EXISTING PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 42.
 - EXISTING SPACES REQUIRED BY EXISTING BUSINESSES TO REMAIN.
 - EXISTING LANDSCAPE AREA.
 - EXISTING CITY SIDEWALK.
 - NOT USED. 5' PUBLIC WATERLINE AND SEWERLINE EASEMENT.
 - EXISTING DUMPSTER ENCLOSURE.
 - PAID PARKING SPACES TO REMAIN.
 - EXISTING LITE POLE TO REMAIN.
 - NEW 4"x10" MOTORCYCLE PARKING-7 TOTAL.
 - CONCRETE PLANTER BOXES LEVEL WITH SIDEWALK.
 - NEW 36" HIGH STUCCO SCREEN WALL. SEE 6/A02.
 - 36" DIAMETER OUTDOOR TABLE WITH UMBRELLA AND SEATING.
 - NEW PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 4.
 - 36 SQUARE FOOT PLANTER. SEE LANDSCAPE PLAN.
 - RECYCLING BINS (2) WITHIN COMPACTOR ENCLOSURE.
 - PARKING BUMPER, TYPICAL ALONG PEDESTRIAN WALKWAY.
 - 9' WIDE OPENING IN YARD WALL WITH ADA COMPLIANT ACCESS TO EXISTING SIDEWALK.
 - STRIPED PEDESTRIAN WALKWAY.
 - COLORLED CONCRETE SIDEWALK TO MATCH BRICK PAVING.
 - EXISTING LANDSCAPING TO REMAIN.

2 Vicinity Map



3 Aerial Photograph

PROJECT NUMBER: 1004927 APPLICATION NUMBER: 06086-01621

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 17, 2007.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Sh. Sa.</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	5-9-07 Date
<i>Ronald Khan</i> UTILITIES DEVELOPMENT	5/9/07 Date
<i>Christina Sandoral</i> PARKS AND RECREATION DEPARTMENT	5/9/07 Date
<i>Bradley B. Bigham</i> CITY ENGINEER	8/30/07 Date
N/A ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Joe White (ally car)</i> SOLID WASTE MANAGEMENT	5-21-07 Date
<i>D. Matson</i> DRC CHAIRPERSON, PLANNING DEPARTMENT	8/30/07 Date

Stephanie S. Murray, Planner 5/18/07

revision _____
by _____
date _____
rev.

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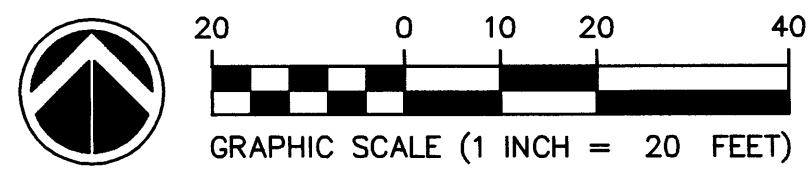
GRAPHIC SCALE IN FEET
1" = 20'-0"
Zone Atlas Page
K-16-Z
Map Amended through September 19, 2011

STATE OF NEW MEXICO
JOHN DOUGLAS MULLEN
REGISTERED ARCHITECT
NO. 2827

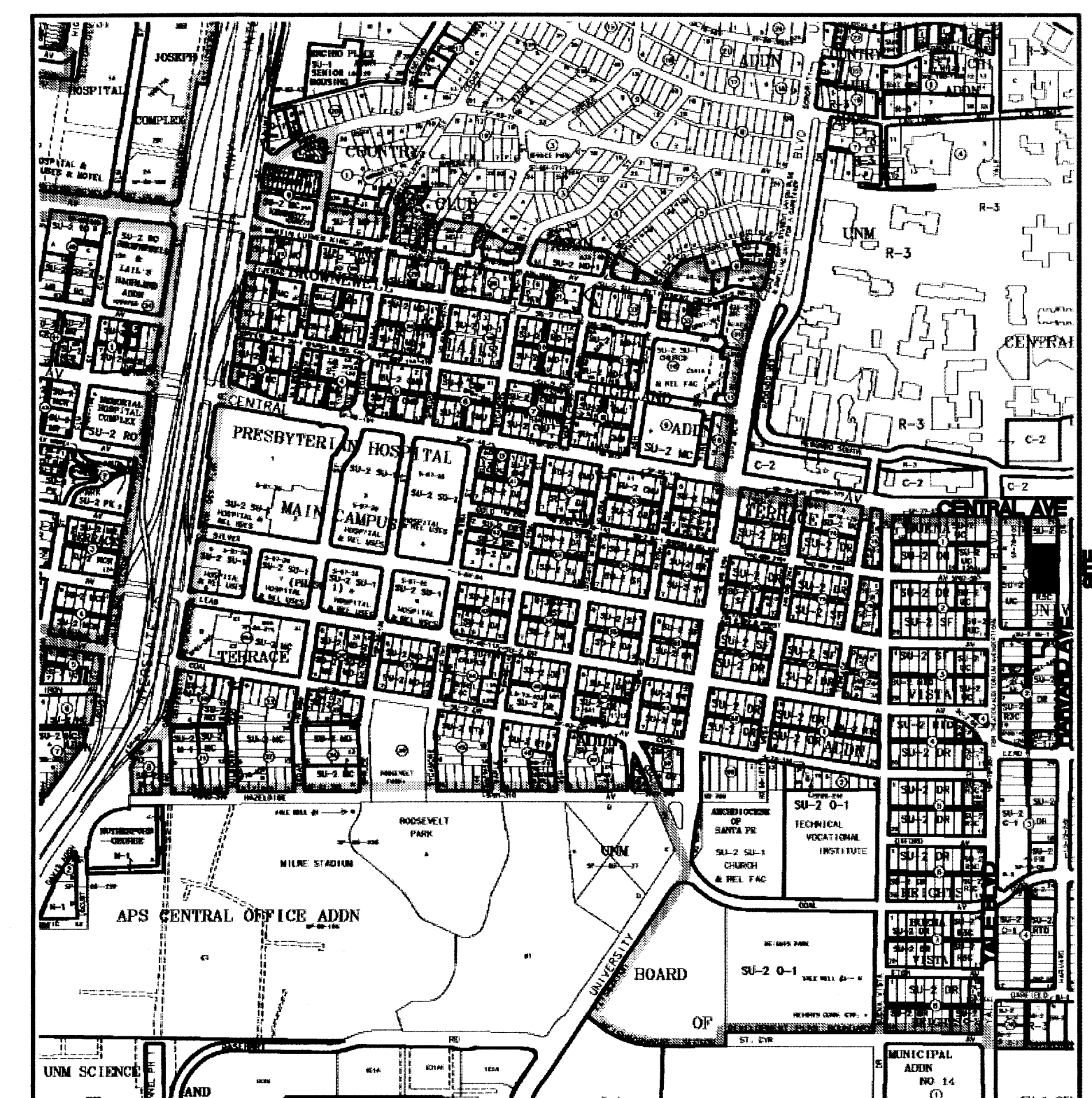
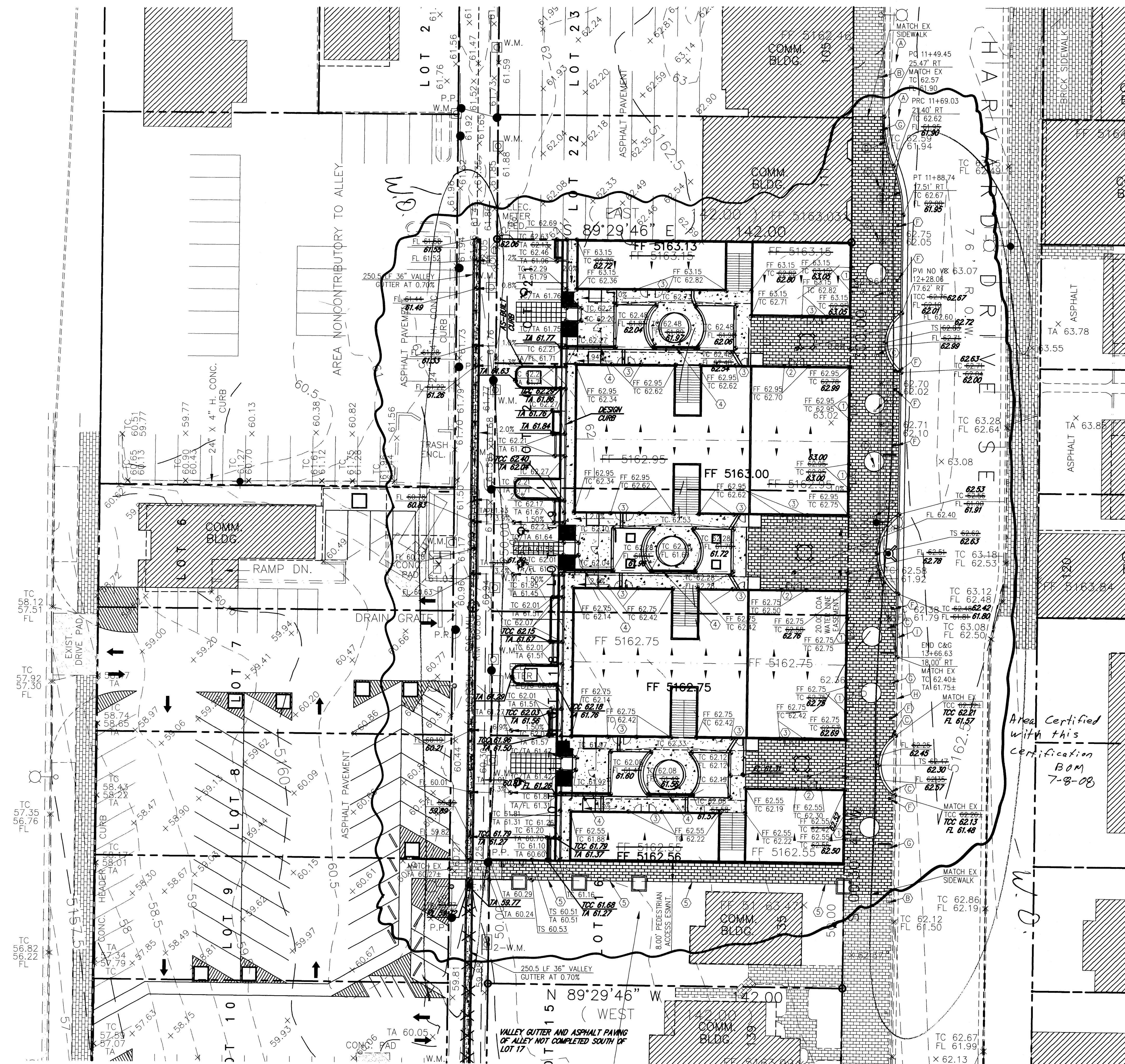
06-01
J.D.H.
J.D.H.
11/14/06

project file: Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico
sheet file: A001

Site Development Plan for Building Permit



PROPOSED SITE



Zone Atlas Page
K-15-Z
Map Annotated through September 15, 2003

EXTREME CARE SHALL BE TAKEN TO MATCH THE DESIGN GRADES IN ORDER TO ENSURE PROPER DRAINAGE WITHIN NEW CONSTRUCTION. GRADES ARE CRITICAL TO MEET DRAINAGE AND ADA REQUIREMENTS.

- | | |
|---|---|
| <p>GRADING KEY NOTES</p> <ol style="list-style-type: none"> SIDEWALK FLUSH WITH FINISHED FLOOR. 3" STEP THROUGH DOOR. 4" STEP THROUGH DOOR. VARIABLE DEPTH CULVERT PER DWG 2236. BRICK WALKWAY TO MATCH EXISTING GRADE. | <p>PAVING KEY NOTES</p> <ol style="list-style-type: none"> EXISTING PARKING SPACE TO REMAIN. EXISTING PARKING METER TO REMAIN. EXISTING PARKING METER TO BE RELOCATED. R=50.00' L=20.12' R=50.00' L=20.25' NEW LOCATION FOR EX. PARKING METER. EX. PARKING METER TO BE REMOVED AND RELOCATED TO SAME LOCATION. EXISTING STD C&G TO REMAIN. NEW STD C&G PER DWG 2415A. |
|---|---|

AS-BUILT CERTIFICATION

I, Billy O. McCarty, NMPE 13672, of the firm Larry Read and Associates, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plans dated 06/06/07. The record information edited onto the original design document has been obtained by Precision Surveys, Inc. I further certify that I have personally visited the project site during construction and on 06/25/08 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy.

Exceptions: Exceptions, if any, are annotated by bold print on this sheet or listed below.

- Landscape Islands along west side of building are significantly different from the design but do not alter the overall drainage concept.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Construction Drawings for this project. Those relying on this record information are advised to obtain independent verification of its accuracy before using it for any other purpose.

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job number
drawn by
project manager
date

project file
Bricklight Courtyards
Lots 6-10, 17-21, University Heights
Albuquerque, New Mexico
sheet
C003

Grading and Drainage Plan

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

ABBREVIATIONS

AD = AREA DRAIN	DTL = DETAIL	GV = GATE VALVE	RCP = REINFORCED CONCRETE PIPE	TCC =
AIP = ABANDONED IN PLACE	DWG = DRAWING	HI PT = HIGH POINT	R/W = RIGHT-OF-WAY	TG = TOP OF GRATE
BLDG = BUILDING	E = ELECTRIC LINE	INV = INVERT ELEVATION	SAS = SANITARY SEWER	TS = TOP OF SIDEWALK
BM = BENCHMARK	ELEC. = ELECTRIC	LF = LINEAL FEET	SD = STORM DRAIN	TW = TOP OF WALL
CATV = CABLE TELEVISION LINE	ELEV. = ELEVATION	MH = MANHOLE	STA = STATION	TYP = TYPICAL
CMP = CORRUGATED METAL PIPE	EX = EXISTING	NG = NATURAL GROUND	STD = STANDARD	TB = TELEPHONE BOX
CO = CLEANOUT	FF = FINISHED FLOOR ELEVATION	OE = OVERHEAD ELECTRIC LINE	SW = SIDEWALK	UE =
COA = CITY OF ALBUQUERQUE	FG = FINISHED GRADE	PCC = PORTLAND CEMENT CONCRETE	T = TELEPHONE	UT =
CONC = CONCRETE	FH = FIRE HYDRANT	PP = POWER POLE	TA = TOP OF ASPHALT PAVEMENT	W = WATER
CL = CENTERLINE	FL = FLOW LINE	PROP = PROPOSED	TAC = TOP OF ASPHALT CURB	WM = WATER METER
DIA = DIAMETER	GM = GAS METER	PVC = POLYVINYL CHLORIDE PIPE	TC = TOP OF CONCRETE SLAB (PAVEMENT)	WV = WATER VALVE

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS; IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

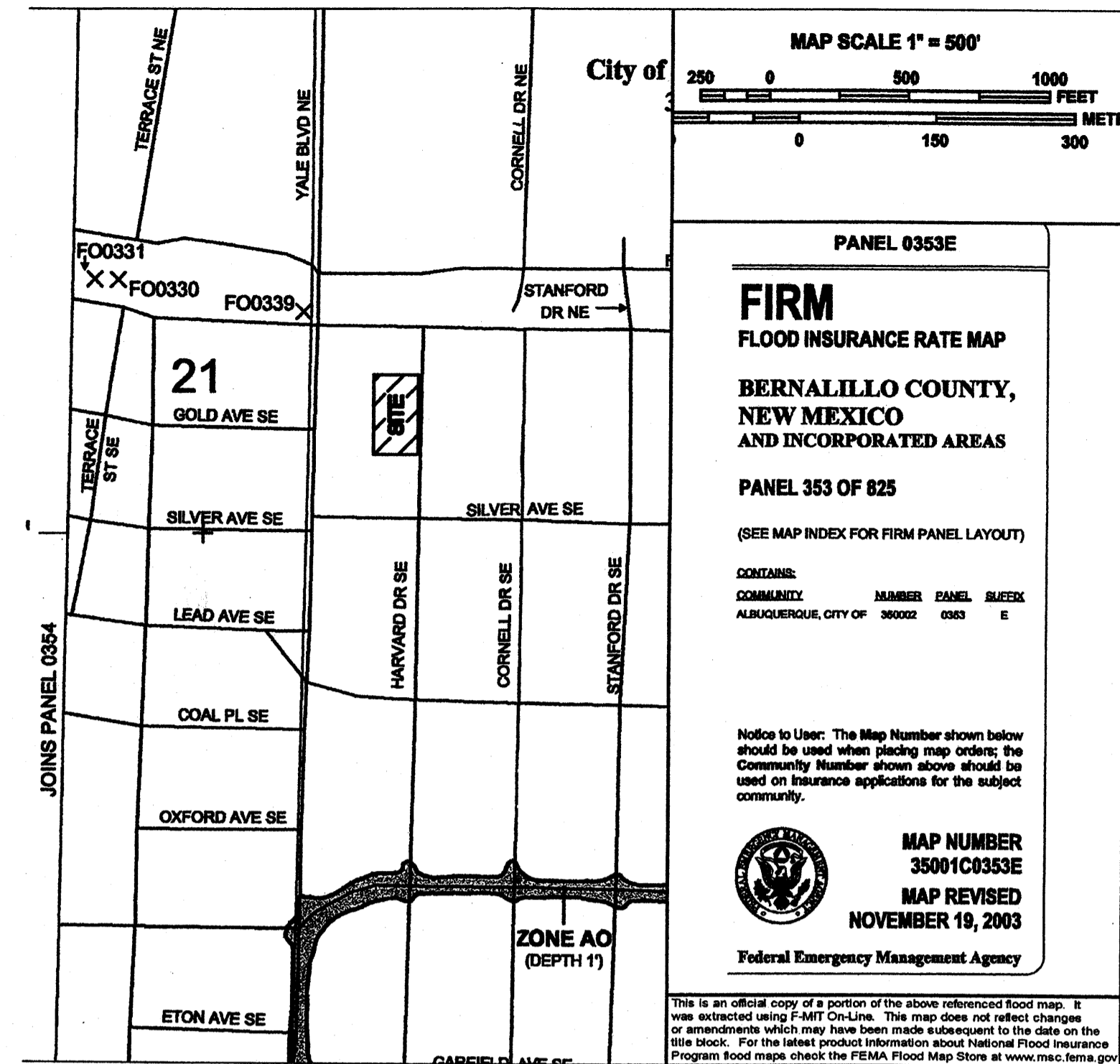
ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
SITE	0.8150	0.00	5.00	5.00	90.00	2.00	0.14	5,927	0.23	10,187	3.67
PROPOSED CONDITIONS											
SITE	0.8150	0.00	5.00	5.00	90.00	2.00	0.14	5,927	0.23	10,187	3.67
EXCESS PRECIP.		0.53	0.78	1.13	2.12	E (in)					
PEAK DISCHARGE		1.66	2.28	3.14	4.7	Q _m (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)						ZONE = 2					
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12						P _{6-hr} (in.) = 2.35					
V _{10-day} (acre-ft) = V _{6-hr} + (A ₀)(P _{10-day} - P _{6-hr})/12						P _{10-day} (in.) = 2.75					
Q (cfs) = (Q _m)(A ₀) + (Q ₁₀)(A ₀) + (Q ₂₀)(A ₀) + (Q ₃₀)(A ₀)						P _{10-day} (in.) = 3.95					

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.815 ACRES LOCATED ON THE WEST SIDE OF HARVARD DRIVE AND SOUTH OF CENTRAL AVENUE AS SEEN ON THE VICINITY MAP ON SHEET C001. THE LOT IS DEVELOPED WITH DEVELOPED LOTS NORTH AND SOUTH OF IT. IT IS BOUNDED BY HARVARD DRIVE TO THE EAST AND AN ALLEY TO THE WEST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0353 E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THIS PANEL WITH THE SITE DESIGNATED ON IT IS INCLUDED ON THIS SHEET.

METHODOLOGY

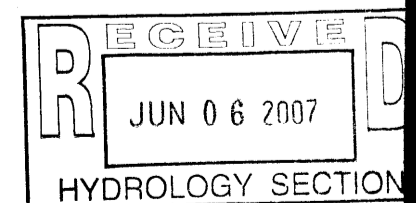
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATION METHOD AS DOCUMENTED IN THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE

THE SITE IS DEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THE EXISTING BUILDINGS HAVE PITCHED ROOFS DRAINING NORTH AND SOUTH. THE GROUND IS COVERED WITH BRICK PAVERS WITH A HIGH POINT AT APPROXIMATELY THE EAST PROPERTY LINE DRAINING THESE LOTS WEST TO THE ALLEY AT APPROXIMATELY A 0.75% GRADE. THE BRICK PAVERS WITHIN THE HARVARD RIGHT-OF-WAY DRAIN TO THE STREET. THE SITE IS 90% IMPERVIOUS. THE ALLEY WHICH DRAINS THIS SITE HAS APPROXIMATELY A 2" INVERTED CROWN CENTERED WITHIN THE 16' WIDTH AND SLOPES FROM NORTH TO SOUTH AT APPROXIMATELY A 0.45% GRADE. DUE TO EXISTING DEVELOPMENT, ALL RUNOFF IS DIRECTED TO EITHER HARVARD STREET OR THE ALLEY. THEREFORE, THERE IS NO OFFSITE RUNOFF ENTERING THIS SITE.

DEVELOPED CONDITION

THESE FIVE LOTS WILL BE REPLATTED INTO A SINGLE LOT WITH FOUR NEW STRUCTURES. SIMILAR TO EXISTING CONDITIONS, THE FOUR BUILDINGS WILL DRAIN INTO THE THREE LANDSCAPED AREAS BETWEEN THE BUILDINGS. THESE LANDSCAPED AREAS WILL BE GRADED TO DRAIN WEST TO THE ALLEY. THIS DEVELOPMENT WILL ALSO BE 90% IMPERVIOUS. THEREFORE, NO CHANGES WILL BE MADE TO THE EXISTING RUNOFF FROM THIS SITE. THE HARVARD RIGHT-OF-WAY WILL REMAIN AS IT IS WITH BRICK PAVERS. A SMALL AREA OF THE STREET WILL BE NARROWED TO MATCH THE STREET SECTION TO THE SOUTH BUT DRAINAGE WILL NOT BE ALTERED.



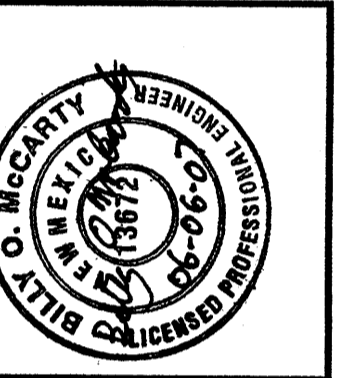
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project title
Bricklight Courtyards
Lots 6-10, 17-21, University Heights
Albuquerque, New Mexico
sheet title
Notes and Drainage Information

revision
by
date
rev

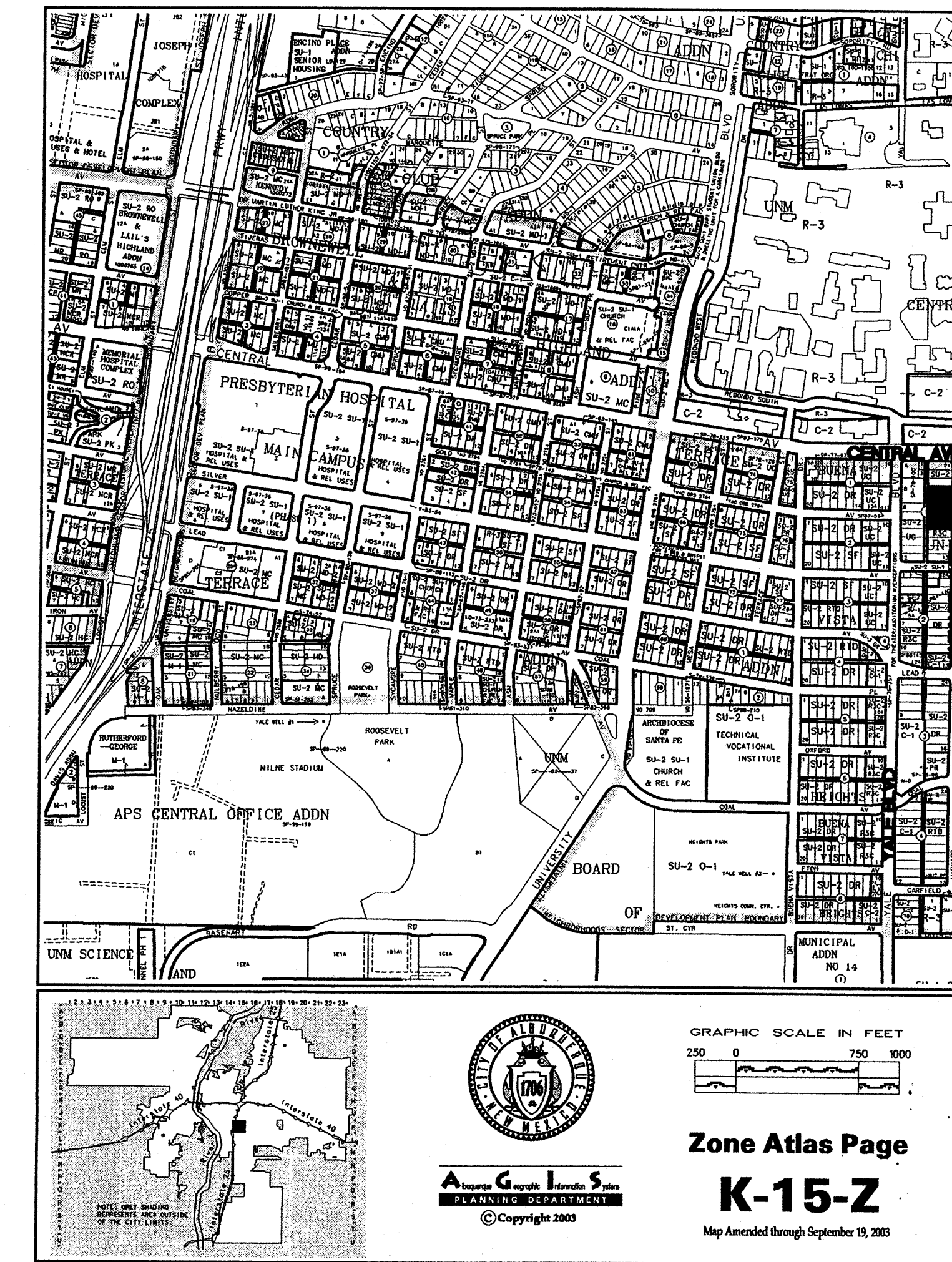
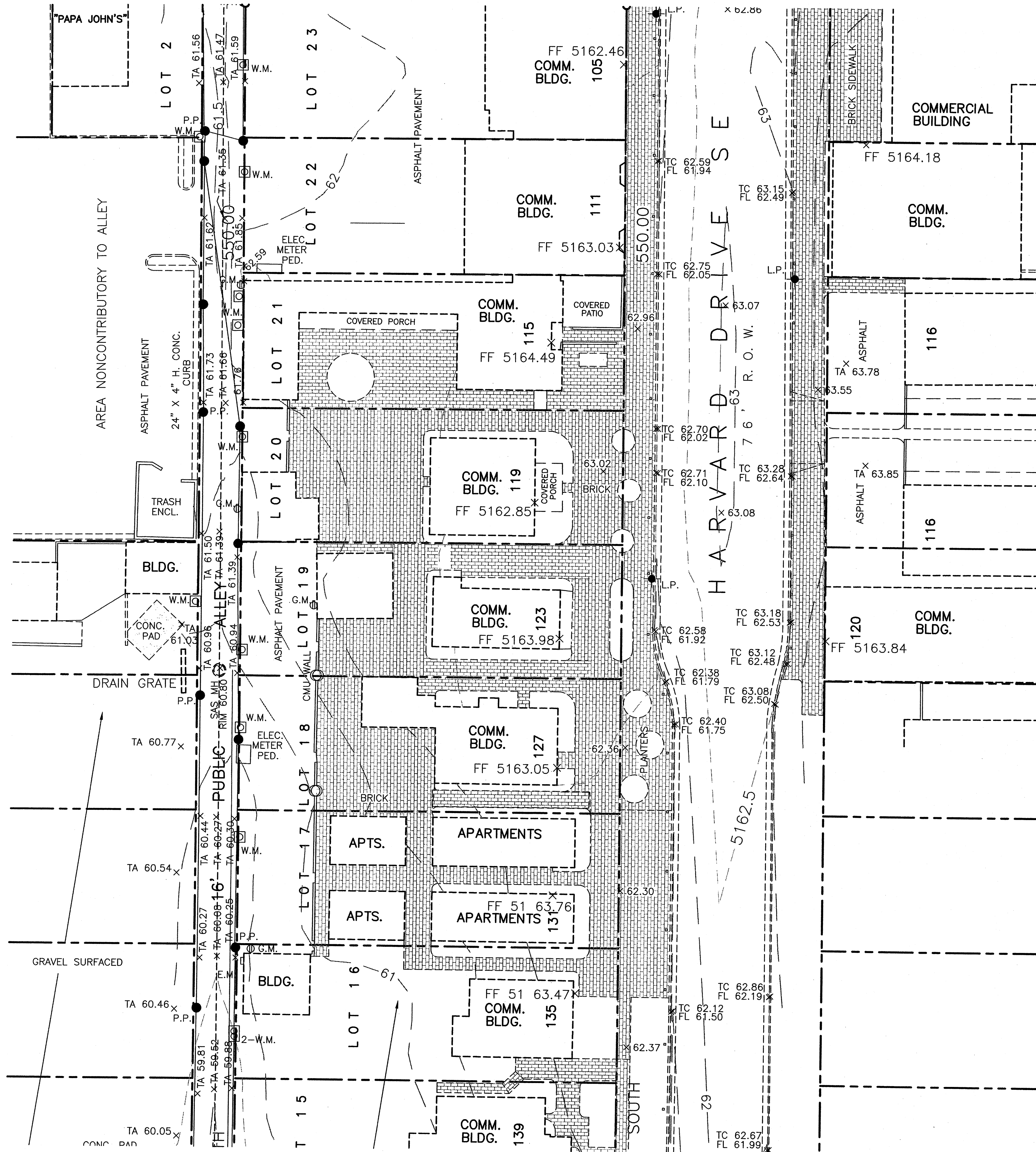
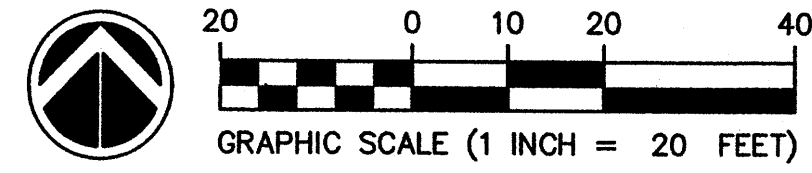
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job number
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BOM
drawn by
06/01
JDH
project manager
06/06/07
date

sheet
C001

EXISTING SITE



- PROPERTY LINE
- - - EXISTING CURB AND GUTTER
- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- DRAINAGE SWALE
- FLOW DIRECTION
- SAS SERVICE
- FIRE SERVICE WITH VALVE

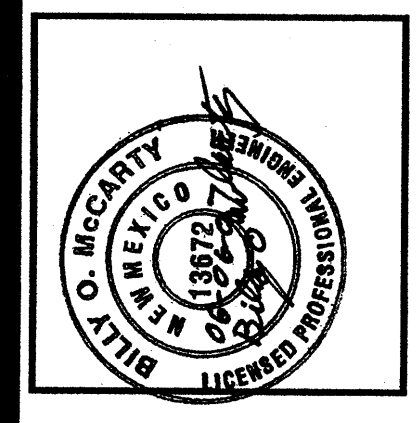
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HYDROLOGY SECTION
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project title
Bricklight Courtyards
Lots 6-10, 17-21, University Heights
Albuquerque, New Mexico
sheet title
Grading and Drainage Plan

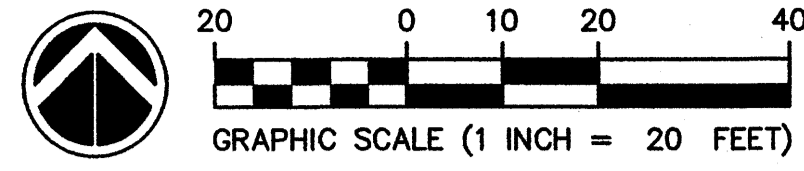
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C002



PROPOSED SITE



EXTREME CARE SHALL BE TAKEN TO MATCH THE DESIGN GRADES IN ORDER TO ENSURE PROPER DRAINAGE WITHIN NEW CONSTRUCTION. GRADES ARE CRITICAL TO MEET DRAINAGE AND ADA REQUIREMENTS.

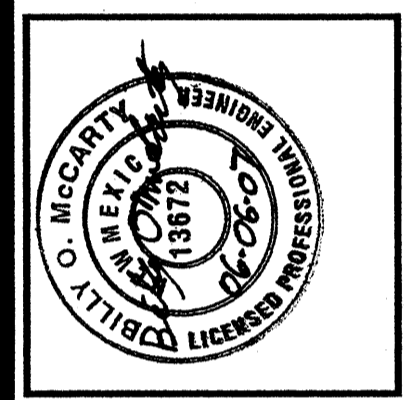
- | | |
|--|--|
| <p>GRADING KEY NOTES</p> <ol style="list-style-type: none"> 1. SIDEWALK FLUSH WITH FINISHED FLOOR. 2. 3" STEP THROUGH DOOR. 3. 4" STEP THROUGH DOOR. 4. VARIABLE DEPTH CULVERT PER DWG 2236. 5. BRICK WALKWAY TO MATCH EXISTING GRADE. | <p>PAVING KEY NOTES</p> <ol style="list-style-type: none"> A. EXISTING PARKING SPACE TO REMAIN. B. EXISTING PARKING METER TO REMAIN. C. EXISTING PARKING METER TO BE RELOCATED. D. R=50.00' L=20.12' E. R=50.00' L=20.25' F. NEW LOCATION FOR EX. PARKING METER. G. EX. PARKING METER TO BE REMOVED AND RELOCATED TO SAME LOCATION. H. EXISTING STND C&G TO REMAIN. I. NEW STND C&G PER DWG 2415A. |
|--|--|

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- - - DRAINAGE SWALE
- FLOW DIRECTION
- - - SAS SERVICE
- - - FIRE SERVICE WITH VALVE

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06-01	BOB	JDR	06/06/07
job number	drawn by	project manager	date

Project file: **Bricklight Courtyards**
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico
sheet file: **Grading and Drainage Plan**
sheet: **C003**

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL / LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

ABBREVIATIONS

AD = AREA DRAIN	DTL = DETAIL
AIP = ABANDONED IN PLACE	DWG = DRAWING
BLDG = BUILDING	E = ELECTRIC LINE
BM = BENCHMARK	ELEC. = ELECTRIC
CATV = CABLE TELEVISION LINE	ELEV = ELEVATION
CMP = CORRUGATED METAL PIPE	EX = EXISTING
CO = CLEANOUT	FF = FINISHED FLOOR ELEVATION
COA = CITY OF ALBUQUERQUE	FG = FINISHED GRADE
CONC = CONCRETE	FH = FIRE HYDRANT
CL = CENTERLINE	FL = FLOW LINE
DIA = DIAMETER	GM = GAS METER

GV = GATE VALVE	RCP = REINFORCED CONCRETE PIPE	TCC =
HI PT = HIGH POINT	R/W = RIGHT-OF-WAY	TG = TOP OF GRATE
INV = INVERT ELEVATION	SAS = SANITARY SEWER	TS = TOP OF SIDEWALK
LF = LINEAL FEET	SD = STORM DRAIN	TW = TOP OF WALL
MH = MANHOLE	STA = STATION	TYP = TYPICAL
NG = NATURAL GROUND	STD = STANDARD	TB = TELEPHONE BOX
OE = OVERHEAD ELECTRIC LINE	SW = SIDEWALK	UE =
PCC = PORTLAND CEMENT CONCRETE	T = TELEPHONE	UT =
PP = POWER POLE	TA = TOP OF ASPHALT PAVEMENT	W = WATER
PROP = PROPOSED	TAC = TOP OF ASPHALT CURB	WM = WATER METER
PVC = POLYVINYL CHLORIDE PIPE	TC = TOP OF CONCRETE SLAB (PAVEMENT)	WV = WATER VALVE

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

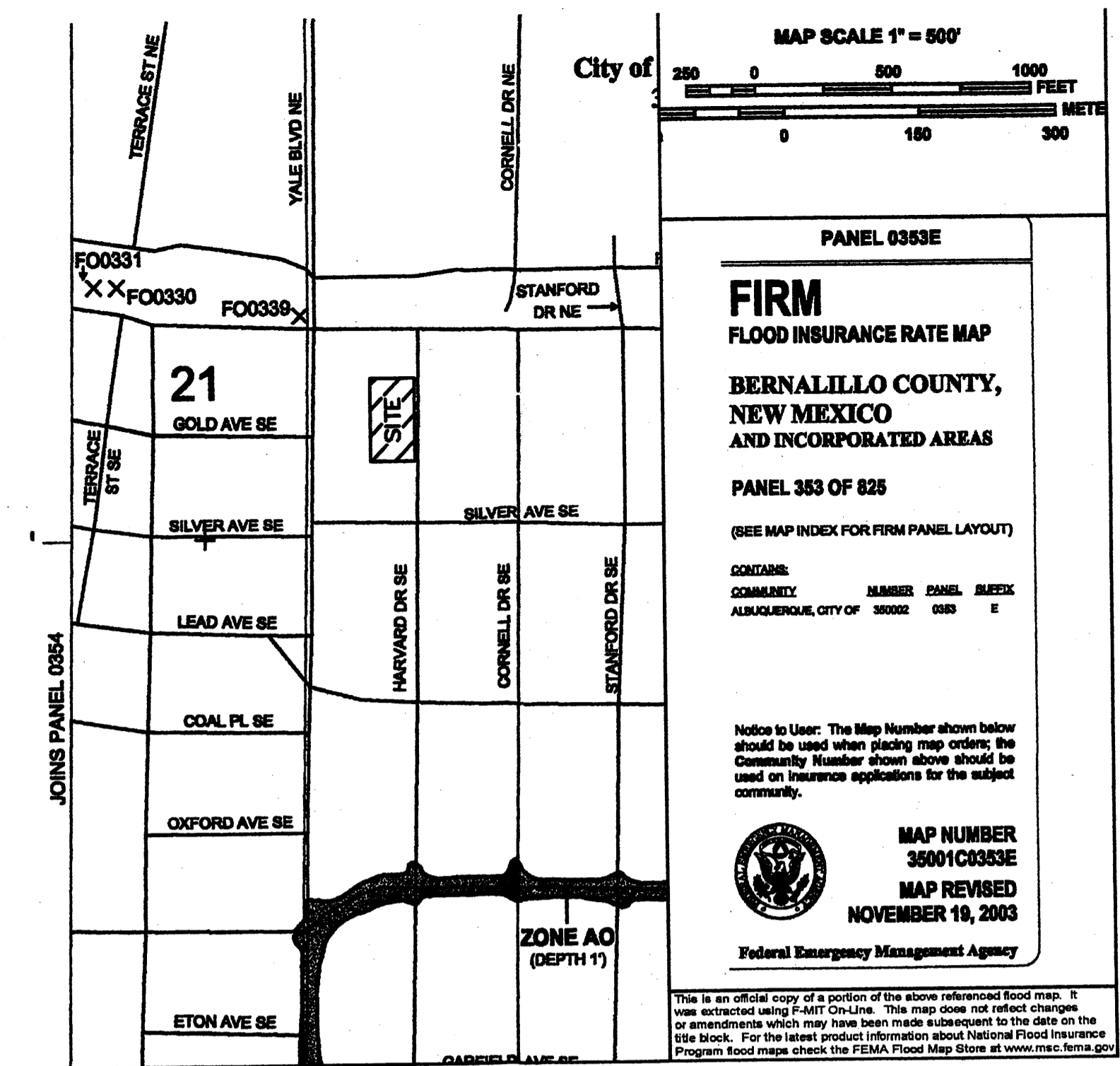
ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
SITE	0.8150	0.00	5.00	5.00	90.00	2.00	0.14	5,927	0.23	10,187	3.67
PROPOSED CONDITIONS											
SITE	0.8150	0.00	5.00	5.00	90.00	2.00	0.14	5,927	0.23	10,187	3.67
EXCESS PRECIP.		0.53	0.78	1.13	2.12	E (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q _p (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							ZONE = 2				
V _{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6hr} (in.) = 2.95				
V _{10day} (acre-ft) = V _{6hr} + (A ₀)(P _{10day} - P _{6hr})/12							P _{10day} (in.) = 2.75				
Q (cfs) = (Q _p)(A ₀) + (Q _{6hr})(A ₀) + (Q _{10day})(A ₀) + (Q _{10day})(A ₀)							P _{10day} (in.) = 3.95				

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.815 ACRES LOCATED ON THE WEST SIDE OF HARVARD DRIVE AND SOUTH OF CENTRAL AVENUE AS SEEN ON THE VICINITY MAP ON SHEET 0001. THE LOT IS DEVELOPED WITH DEVELOPED LOTS NORTH AND SOUTH OF IT. IT IS BOUNDED BY HARVARD DRIVE TO THE EAST AND AN ALLEY TO THE WEST.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0335 E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THIS PANEL WITH THE SITE DESIGNATED ON IT IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATION METHOD AS DOCUMENTED IN THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE

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DEVELOPED CONDITION

THESE FIVE LOTS WILL BE REPLANTED INTO A SINGLE LOT WITH FOUR NEW STRUCTURES. SIMILAR TO EXISTING CONDITIONS, THE FOUR BUILDINGS WILL DRAIN INTO THE THREE LANDSCAPED AREAS BETWEEN THE BUILDINGS. THESE LANDSCAPED AREAS WILL BE GRADED TO DRAIN WEST TO THE ALLEY. THIS DEVELOPMENT WILL ALSO BE 90% IMPERVIOUS. THEREFORE, NO CHANGES WILL BE MADE TO THE EXISTING RUNOFF FROM THIS SITE. THE HARVARD RIGHT-OF-WAY WILL REMAIN AS IT IS WITH BRICK PAVERS. A SMALL AREA OF THE STREET WILL BE NARROWED TO MATCH THE STREET SECTION TO THE SOUTH BUT DRAINAGE WILL NOT BE ALTERED.

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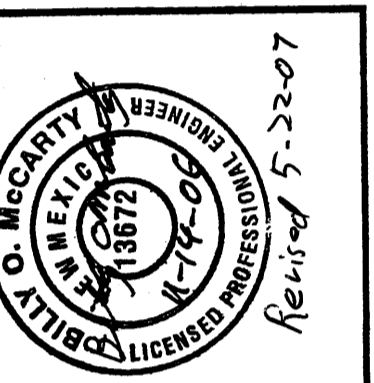
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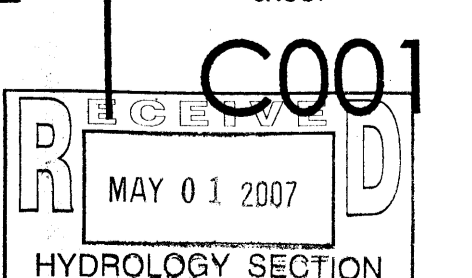
1015 Tijeras Avenue NW
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505 268 4144 [p]
505 268 4244 [f]



06-01
BOM
JDH
11/14/06
job number
drawn by
project manager
date

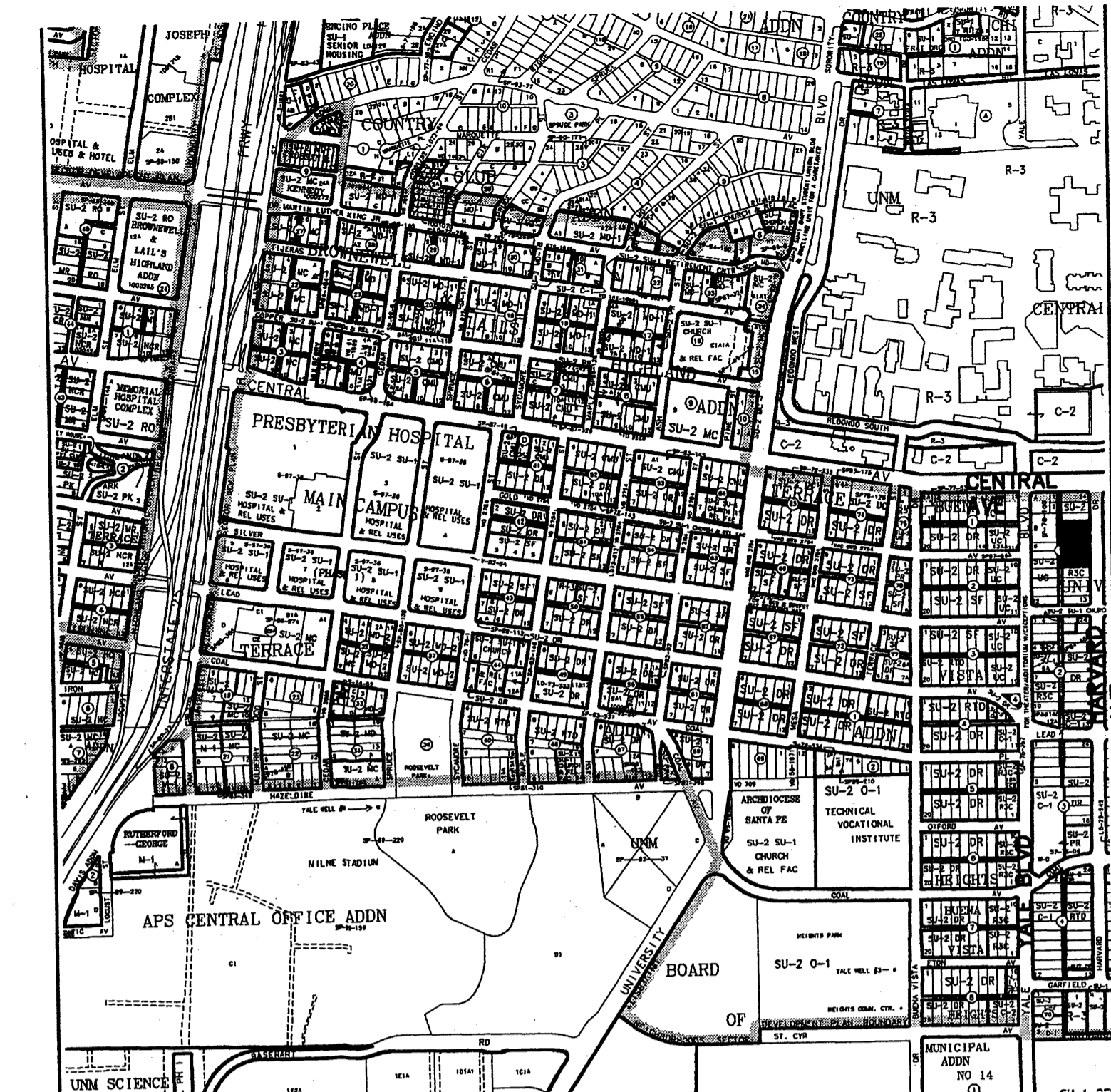
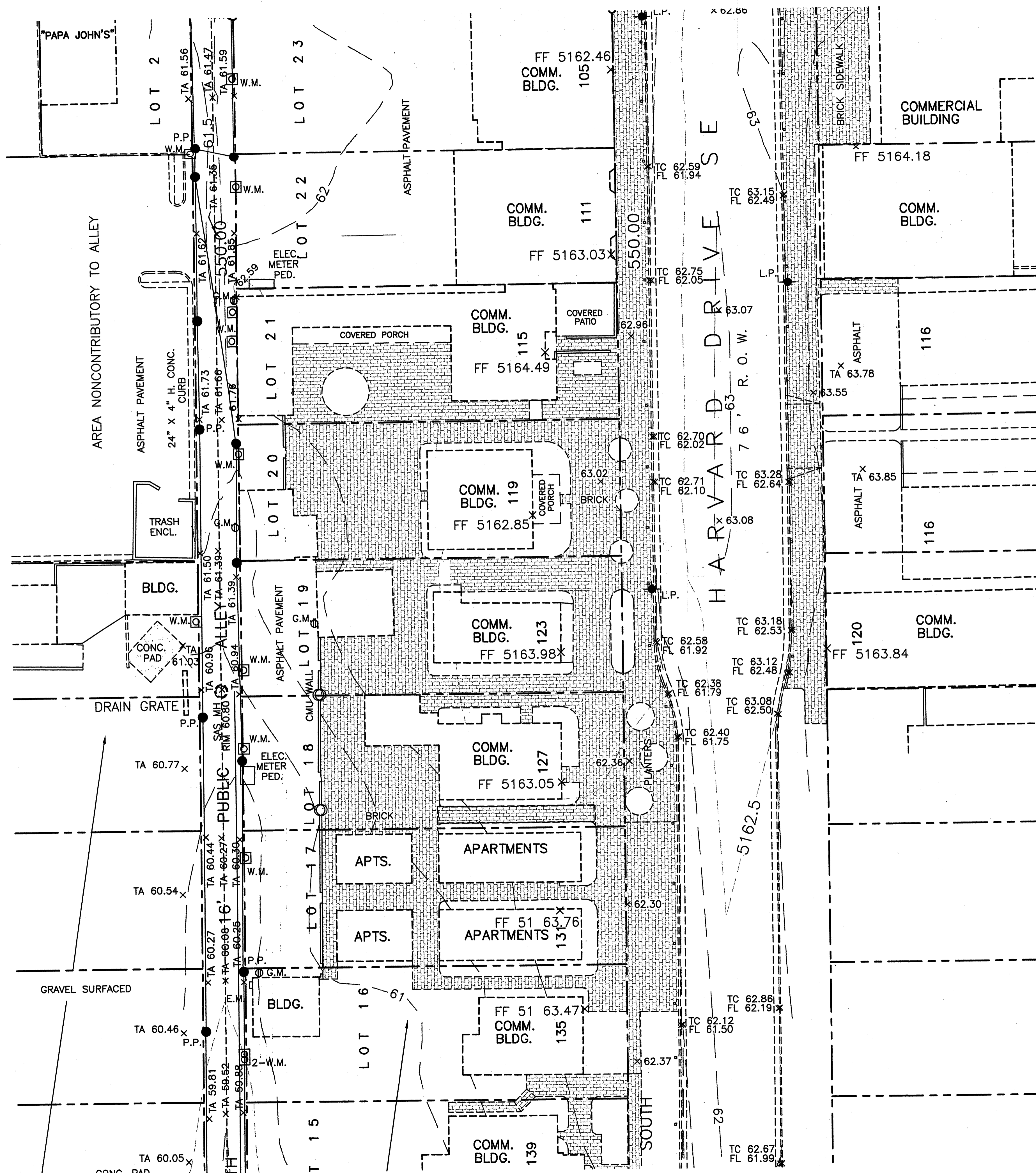
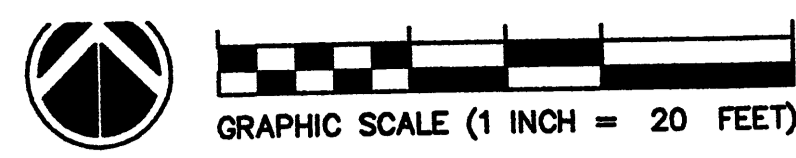
project title
Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico
sheet title
Notes and Drainage Information

sheet



C001
MAY 01 2007
HYDROLOGY SECTION

EXISTING SITE



GRAPHIC SCALE IN FEET
0 250 500 750 1000

Zone Atlas Page
K-15-Z
Map Amended through September 18, 2003

- PROPERTY LINE
- - - EXISTING CURB AND GUTTER
- ▭ PROPOSED BUILDING
- ▭ PROPOSED CURB AND GUTTER
- DRAINAGE SWALE
- FLOW DIRECTION
- SAS SERVICE
- SERVICE
- FIRE SERVICE WITH VALVE

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revision by date rev

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505 268 4244 [f]

project title: **Bricklight Courtyards**
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico
sheet title: **Grading and Drainage Plan**

job number: 06-01
drawn by: BOM
project manager: JDH
date: 11/14/06

project title: **C002**
sheet: **C002**
MAY 01 2007
HYDROLOGY SECTION

