### Trapezoidal Channel Analysis & Design Open Channel - Uniform flow

Worksheet Name: Parkland Hills

Comment: Channel Adjacent to Pouls' property

Solve For Discharge

### Given Input Data:

Bottom Width	0.67 ft
Left Side Slope	1.00:1 (H:V)
Right Side Slope.	1.00:1 (H:V)
Manning's n	0.013
Channel Slope	0.0050 ft/ft
Depth	0.50 ft

### Computed Results:

2.03 cfs
3.46 fps
0.59 sf
1.67 ft
2.08 ft
0.51 ft
0.0047 ft/ft
1.03 (flow is Supercritical)

Open Channel Flow Module, Version 3.12 (c) 1990 Haestad Methods, Inc. \* 37 Brookside Rd \* Waterbury, Ct 06708



### City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 12, 1994

Joe P. Kelley Chavez-Grieves 5639 Jefferson St. NE Albuquerque, NM 87107

RE: ENGINEER CERTIFICATION FOR PARKLAND HILLS INC. (K16-D9)

CERTIFICATION STATEMENT DATED 9/15/94.

Dear Mr. Kelley:

Based on the information provided on your September 29, 1994 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/d1/WPHYD/8381

c: Andrew Garcia File



### City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 12, 1994

Joe P. Kelley Chavez-Grieves 5639 Jefferson St. NE Albuquerque, NM 87107

RE: ENGINEER CERTIFICATION FOR WORK DONE WITHIN MS. CONSTANCE ANN POULS SITE (K16-D9) CERTIFICATION STATEMENT DATED 9/29/94.

Dear Mr. Kelley:

Based on the information provided on your September 29, 1994 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/d1/WPHYD/8381

c: Andrew Garcia File 5639 JEFFERSON STREET NE · ALBUQUERQUE, NEW MEXICO 87109 · PHONE (505) 344·4080 · FAX (505) 343·8759

September 29, 1994

Mr. Bernie Montoya, C.E.
City of Albuquerque Public Works Dept., Hydrology Division
City-County Building Room 301
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: PARKLAND HILLS DRAINAGE PLAN (K16-D9)
114 GIRARD SE DRAINAGE CHANNEL - ENGINEERS CERTIFICATION

Dear Mr. Montoya:

Transmitted herewith are:

- o Engineer's Certification of Parkland Hills
- o Engineer's Certification of 114 Girard SE
- o Copy of recorded Drainage Covenant

I spoke to Ms. Pouls and received her verbal satisfaction with the work done on her property. You may call her at 255-4517 to verify this if you would like.

Please call if you have any questions.

Sincerely,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Joe P. Kelley, P.E. Project Engineer

JPK/cjr

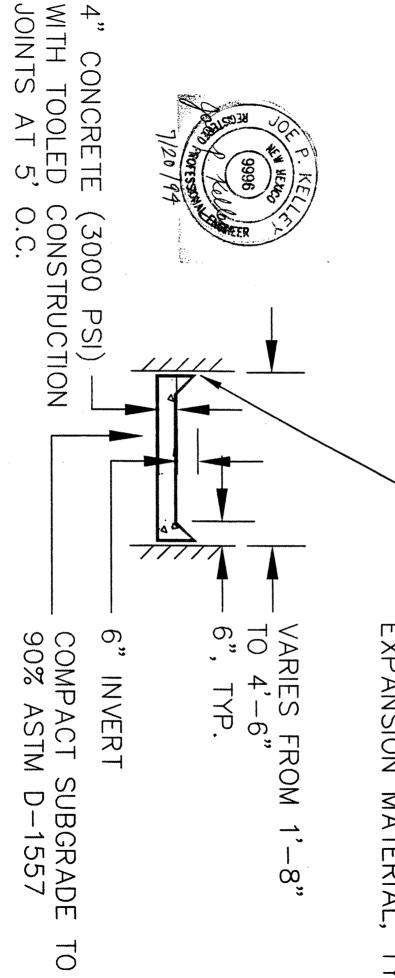
Cy: Mr. Lee Gamelsky

Mr. Tony Anella

Ms. Connie Pouls

### DRAINAGE INFORMATION

PROJECT TITLE PARKLAND HILLS	ZONE ATLAS/DRNG. FILE #: K-16/D9
DDR#• EPC #:	WORK ORDER #:
LEGAL DESCRIPTION: Tract C, Lands	of Parkland Hills, Inc.
CITY ADDRESS: Girard Boulevan	rd, South of Central 106 Grand SP
ENGINEERING FIRM: Chavez-Grieves Consul	lting Engineers
	CONTACT: Joe Kelley
ADDRESS: 5639 Jefferson NE, Albq.	NM PHONE: 344-4080
OWNER:	CONTACT:
ADDRESS:	PHONE:
ARCHITECT: Gamelsky-Benton	CONTACT: Lee Gamelsky
ADDRESS: 622 Tijeras Avenue NW, Al	bq. PHONE: 842-8865
SURVEYOR: Ron Forstbauer	CONTACT:
ADDRESS: 1100 Alvarado Drive NE	PHONE: 268-2112
CONTRACTOR: Bradbury and Stamm	CONTACT:
ADDRESS:	PHONE:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	
GRADING PLAN	s. DEV. PLAN FOR BLDG. PRMT. APPROVAL
EROSION CONTROL PLAN	SECTOR PLAN APPROVAL
X ENGINEER'S CERTIFICATION	FINAL PLAT APPROVAL
OTHER	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
PRE-DESIGN MEETING:	X CERTIFICATE OF OCCUPANCY APPROVAL
YES	GRADING PERMIT APPROVAL
X NO	PAVING PERMIT APPROVAL, FOR EARLY
	PARKING LOT EXPANSION
COPY PROVIDED	S.A.D. DRAINAGE REPORT
	DRAINAGE REQUIREMENTS
	OTHER (SPECIFY)
29	
DATE SUBMITTED: September 23, 1994	
BY: <u>Joe Kelley, P.E.</u>	



PRE-FORMED BITUMINOUS
EXPANSION MATERIAL, TYP.

SECTION A-A

5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109 PHONE (505) 344-4080 • FAX (505) 343-8759

SHEET NO.	OF
JOB PARKLAND HILLS	
SUBJECT OFF-SITE CHANNEL	
CLIENT	
JOB NO	
BY JPK	DATE 6/29/94

KEYED NOTES  1. BEGIN CONCRETE CHANNEL.  2. END CONCRETE CHANNEL.  3. GRAPE TO DRAIN INTO CHANNEL.  4. REMOVE II LF OF FENCE, GATE, AND CONCRETE FOOTING. RESET FENCE AND GATE TO EXISTING ELEVATION, AND POUR NEW CHANNEL CONCRETE AROUND FENCE POSTS.
PROPERTY  LINE  TG 89.83  PROPERTY  LINE  FL89.48 A  FL89.58  S=0.50%  FL89.73  TC 90.08  A  EXIST.  COAL  CHANNEL PLAN  SCALE: 1"=10"  LIMIT OF GRADING
A'-6" ±  PRE-FORMED  BITUMINOUS  EXPANSION  MATERIAL  A"CONCRETE  COMPACT SUBGRADE TO 90%, ASTM D-1567  SECTION A-A  SCALE 1/2"=1  NOTE:  1. CONCRETE SHAN BE 3000 PS1.  2. INSTALL TOOLED CONSTRUCTION JUINTS AT 5' O.C.

OWNER LOT 2

Constance Ann Jouls 3-Aug-94

### **ACKNOWLEDGEMENTS**

STATE OF NEW MEXICO )	
)	SS.
COUNTY OF BERNALILLO)	

	The foregoing	instrument w	was acknowledged	d before me this	3 cd
day	of August,	1994, by <u>C</u>	Onsfance A	of Officer)	······································
(Ti	Owner itle or Capacity resident" or "O	y, E.G.	(Name	of Corporation)	•

My Commission Expires: October 8, 1995

- 6 . . . .

OWNER TRACT C

ceas accountful for DATE

**ACKNOWLEDGEMENTS** 

SS.

PRM

STATE OF NEW MEXICO

COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 11

"President" or "Owner")

My Commission Expires: 1-17-98

### DRAINAGE COVENANT

THIS COVENANT made this 157 day of September, 1994, by and

between

AND

PARKLAND HILLS INC. (name of the property owner as it appears on the title), OWNER of Tract C, Lands of Parkland Hills, Inc., in the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 3, 1983, in Book C-21, Page 177.

owner as it appears on the title), OWNER of Lot 2, Block 32, of the University Heights Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 7, 1916, in Book D, Page 27.

The OWNER (which term includes successors and assigns) of Tract C, grants to the Owner of Lot 2 the right to convey storm runoff across the boundary lines to the right-of-way of Girard Boulevard SE.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Department and this document is released by a recorded document by the Owner(s) of the above described real properties.

1822

	4		
OWNER	LOT	2	

nstanco Ann

### **ACKNOWLEDGEMENTS**

STATE OF NEW MEXICO SS. COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this  $3/\sqrt{}$ 

day of August, 1994, by Constance And Pouls, (Name of Officer)

(Title or Capacity, E.G. "President" or "Owner")

My Commission Expires: October 8, 1995

FROM : ANTHONY ANELLA ARCHITECT

PHONE NO. : 310 829 2944

Sep. 21 1994 04:00PM P3

2505 343 8758

PRM

8008/008

1881

OWNER TRACT C

reas Exercital

**ACKNOWLEDGEMENTS** 

STATE OF NEW MEXICO

SS.

COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 100

(Title of Capacity, E.G. "President" or "Owner")

My Commission Expires: \_

17.3

94111497

1820

### DRAINAGE COVENANT

THIS COVENANT made this <u>ST</u> day of <u>September</u>, 1994, by and between

PARKLAND HILLS INC. (name of the property owner as it appears on the title), OWNER of Tract C, Lands of Parkland Hills, Inc., in the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 3, 1983, in Book C-21, Page 177.

owner as it appears on the title), OWNER of Lot 2, Block 32, of the University Heights Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 7, 1916, in Book D, Page 27.

The OWNER (which term includes successors and assigns) of Tract C, grants to the Owner of Lot 2 the right to convey storm runoff across the boundary lines to the right-of-way of Girard Boulevard SE.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Department and this document is released by a recorded document by the Owner(s) of the above described real properties.

STATE OF NEW MEXICO COUNTY OF BERNALILLO FILED FOR RECORD

1994 SEP -9 PM 2:57

BK14-266 1820-JUDY D. WOODWAS 22 CO. CLERK & RECORDS FROM : ANTHONY ANELLA ARCHITECT

PHONE NO. : 310 829 2944

Sep. 21 1994 04:00PM P4

1822

	4		
OWNER	LOT	2	

Constance Ann Souls 3-Avs-94

**ACKNOWLEDGEMENTS** 

STATE OF NEW MEXICO )

SS.

COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 30

day of August, 1994, by Constance An Pouls, (Name of Officer)

Owner of (Name of Corporation)
"President" or "Owner")

Notary Public

My Commission Expires: October 8, 1995

j

FROM: ANTHONY ANELLA ARCHITECT

PHONE NO. : 310 829 2944

Sep. 21 1994 04:00PM P3

2505 343 8758

8008/008

1881

OWNER TRACT C

was laxour for

**ACKNOWLEDGEMENTS** 

STATE OF NEW MEXICO

SS.

COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 1A

(Title of Capacity, E.G.

"President" or "Owner")

(Name of Corporation)

My Commission Expires: 1-17

PHONE NO. : 310 829 2944

94111497

1820

### DRAINAGE COVENANT

THIS COVENANT made this 157 day of September, 1994, by and between

PACKLAND HILLS, NC. (name of the property owner as it appears on the title), OWNER of Tract C, Lands of Parkland Hills, Inc., in the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 3, 1983, in Book C-21, Page 177.

owner as it appears on the title), OWNER of Lot 2, Block 32, of the University Heights Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 7, 1916, in Book D, Page 27.

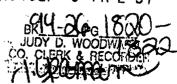
The OWNER (which term includes successors and assigns) of Tract C, grants to the Owner of Lot 2 the right to convey storm runoff across the boundary lines to the right-of-way of Girard Boulevard SE.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Department and this document is released by a recorded document by the Owner(s) of the above described real properties.

2919

STATE OF NEW MEXICO COUNTY OF BERNALILLO FILED FOR RECORD

1994 SEP -9 PM 2:57



PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.00

RUNOFF VOLUME = 2.01665 INCHES = .0622 ACRE-FEET

PEAK DISCHARGE RATE = 1.70 CFS AT 1.500 HOURS BASIN AREA = .0006 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 06:42:39

```
AHYMO PROGRAM (AHYMO392) - AMAFCA VERSION OF HYMO - MARCH, 1992

RUN DATE (MON/DAY/YR) = 02/24/1994

START TIME (HR:MIN:SEC) = 06:42:39

INPUT FILE = AHYMO.in

USER NO.= J_KELLY_.S92
```

\*\*\*\*\* CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC. \*\*\*\*\*

- \*\* AHYMO RUN FOR PARKLAND HILLS, TRACT C--
- \*\* ALBUQUERQUE, NEW MEXICO
- \*\* FILENAME: C:\PARKLAND\AHYMO.IN/OUT
- \*\* 100-YEAR, 6-HOUR STORM \*\* DATE: FEBRUARY 24, 1994

\*\*

START

0.00

RAINFALL

TYPE=1 RAIN QUARTER=0.0 RAIN ONE=2.01 RAIN SIX=2.33 RAIN DAY=2.68 DT=0.03333

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR. .033330 HOURS END TIME = 5.999400 HOURS .0044 .0000 .0014 .0029 .0059 .0075 .0091 .0107 .0124 .0141 .0158 .0176 .0195 .0214 .0254 .0234 .0275 .0296 .0318 .0341 .0365 .0390 .0416 .0442 .0470 .0499 .0530 .0562 .0669 .0596 .0631 .0724 .0783 .0847 .0983 .1288 .1758 .2432 .3352 .4561 .6103 .8023 1.0367 1.2542 1.3450 1.4217 1.4899 1.5520 1.6091 1.6622 1.7117 1.7582 1.8019 1.8432 1.8821 1.9190 1.9540 1.9871 2.0185 2.0484 2.0767 2.0831 2.0890 2.0946 2.0999 2.1050 2.1098 2.1145 2.1190 2.1233 2.1274 2.1314 2.1353 2.1391 2.1427 2.1463 2.1497 2.1531 2.1564 2.1596 2.1627 2.1657 2.1687 2.1716 2.1745 2.1773 2.1800 2.1827 2.1853 2.1879 2.1904 2.1929 2.1954 2.1978 2.2001 2.2024 2.2047 2.2070 2.2092 2.2114 2.2135 2.2157 2.2178 2.2198 2.2219 2.2239 2.2258 2.2278 2.2297 2.2316 2.2335 2.2354 2.2372 2.2390 2.2408 2.2426 2.2444 2.2461 2.2478 2.2495 2.2512 2.2529 2.2545 2.2562 2.2578 2.2594 2.2609 2.2625 2.2641 2.2656 2.2671 2.2686 2.2701 2.2716 2.2731 2.2745 2.2760 2.2774 2.2788 2.2803 2.2816 2.2830 2.2844 2.2858 2.2871 2.2885 2.2898 2.2911 2.2924 2.2937 2.2950 2.2963 2.2976 2.2988 2.3001 2.3013 2.3026 2.3038 2.3050 2.3062 2.3074 2.3086 2.3098 2.3110 2.3122 2.3133 2.3145 2.3157 2.3168 2.3179 2.3191 2.3202 2.3213 2.3224 2.3235 2.3246 2.3257 2.3268 2.3278 2.3289 2.3300

COMPUTE NM HYD

**AHYMO** 

COMPUTER

CALCULATIONS

the south discharges to Girard.

Runoff from the Walgreens building on the east is discharged to the south of the Walgreens. This is in accordance with the approved drainage report, K16/D9 by Victor J. Chavez, dated July 7, 1983.

There is an existing drop inlet in the asphalt-paved alley on the east. A field visit on January 26, 1994 revealed that this drop inlet had recently been covered up with a mixture of dirt and bituminous material. However, this shouldn't have a negative impact on the drainage pattern because it appears that this drop inlet is not necessary for the discharge of runoff. It appears that very little (if any) runoff is collected by the alley. Any runoff that might be collected by the alley will be discharged to Girard Blvd via the Dailey Place drainage easement.

### PROPOSED SITE CONDITIONS AND DRAINAGE PATTERN

The majority of the site's runoff will discharge into the Dailey Place drainage easement, which will convey the runoff to Girard Blvd. The remainder of the site will discharge directly into Girard Blvd.

### CONCLUSION

The result of this plan is that all of the runoff will ultimately discharge to Girard Blvd. This is in accordance with the drainage pattern that existed prior to the old building being razed. The previously-developed site was entirely impervious, while the new site will have some landscaped areas. Therefore, the quantity of runoff will be less under the new conditions. The continued pattern of free discharge of runoff to Girard is therefore acceptable.



### DRAINAGE REPORT

### LOCATION

This site is located on the east side of Girard SE, 200' south of Central.

### LEGAL DESCRIPTION

Tract C, Lands of Parkland Hills, Inc.

### DEVELOPMENT HISTORY AND SURROUNDING DEVELOPMENT

This tract used to have a building on it that covered the entire site. So the site was entirely impervious. Six months ago (September, 1993) that building was razed in preparation for this future development.

The site fronts on a 28' wide drainage easement located on the adjoining Tract B, to the north. This easement is referred to as Dailey Place, a non-dedicated street. Dailey Place provides vehicular access to the shopping center to the east and the restaurant to the north. It will also provide vehicular access for the subject property.

East of the site is an alley that has been granted as a private easement for public access, water, sanitary sewer, and drainage. Across the alley from this site is the back of a Walgreens store.

The site abuts the Girard SE R.O.W. on the west; and it abuts a residential lot on the south.

### FLOOD HAZARD ZONES

As shown by panel 3500020029 of the National Flood Insurance Program Flood Insurance Rate Maps for the City of Albuquerque, dated October 14, 1983, the site is not located in or near a designated flood hazard zone.

### EXISTING SITE CONDITIONS AND DRAINAGE PATTERN

As stated previously, a building was recently razed on this site. Before the building was removed, the site sloped from east to west and discharged into Girard Blvd. Because of the building removal, the site is temporarily a localized low point with no vegetation.

Off-site runoff from the parking lots to the north and northwest is routed to Girard Blvd. via the paved surfaces of the drainage easement called Dailey Place. Runoff from the residential lot on

### DRAINAGE REPORT FOR PARKLAND HILLS, TRACT C

CITY OF ALBUQUERQUE, NEW MEXICO

FEBRUARY 1994

## NOTICE TO CONTINACTOR

- ALBUQUERQUE S.0.19 NOTES: CITY OF
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 9 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED. Ň
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES. NÝ
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. 4

9

P (2)

- THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765–2551) PRIOR TO OCCUPYING PUBLIC RIGHT—OF—WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET—STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET. iÓ
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. Ġ

# THE FOLLOWING NOTES ALSO APPLY WHEN CHROKED

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO

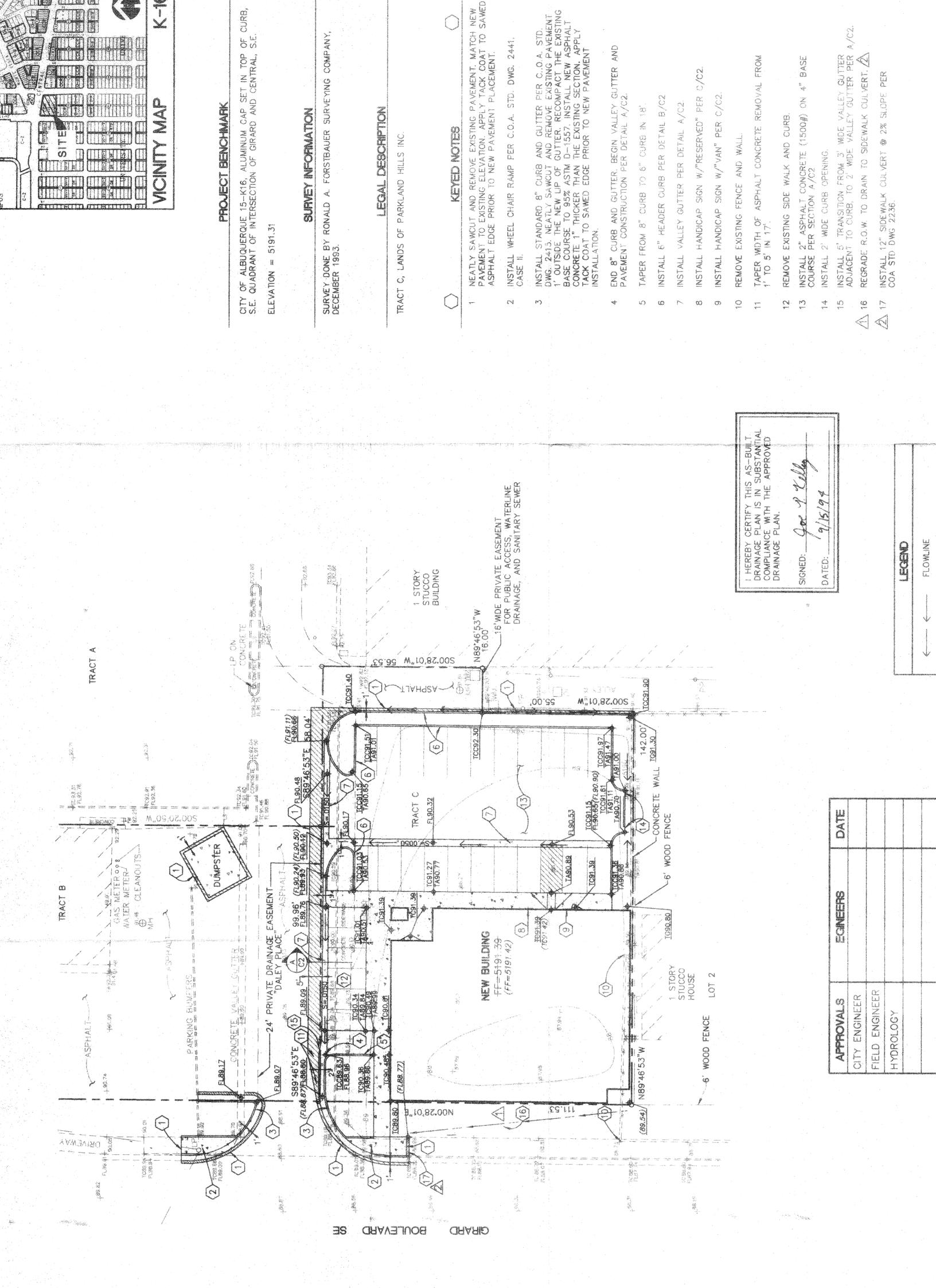
PAVING

- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE Q
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER. Q
- CONSTRUCTED SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OF RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER
  - ACCEPTANCE ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL

- ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE—RESISTANT, AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.
- LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20, CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:4 SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING SONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.
  - THE SITE SHALL COMPLY WITH ANSI A117.1-1992.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

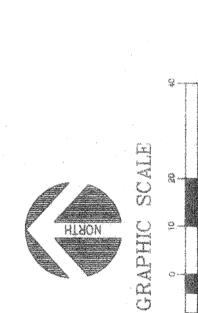
## MODO SOLD DE LA COMPANION DE L

- DURING ROUGH GRADING, THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS ON THE SITE'S PERIMETER, AND BY WETTING THE SOIL PERIODICALLY TO KEEP THE DUST FROM BLOWING.
- CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED IN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING DOWN THE SEG
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" FROM CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO NUING CONSTRUCTION. THE CONTRACTOR SHALL CONFORM TO ALL COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL SSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY NCIES.
- LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING.



STO. DWG.

2 2 2



appenses

₹1900 ₹1961

多四条弧带

AS-BUILT SPOT ELEVATION SPOT ELEVATION NEW SPOT ELEVATION EXISTING BUILDING PROPERTY LINE EXISTING CURB NEW BULDING EXISTING (100,889,00) 7089.00

EXISTING CONTOUR

引息 SON SERVING

5/26/94 ADDED SIDEWALK CULVERT 4/20/94 ADDED GRADING INFO

NEW CURB AND

NEW ASPHALT BASE COURSE

NEW CONCRETE

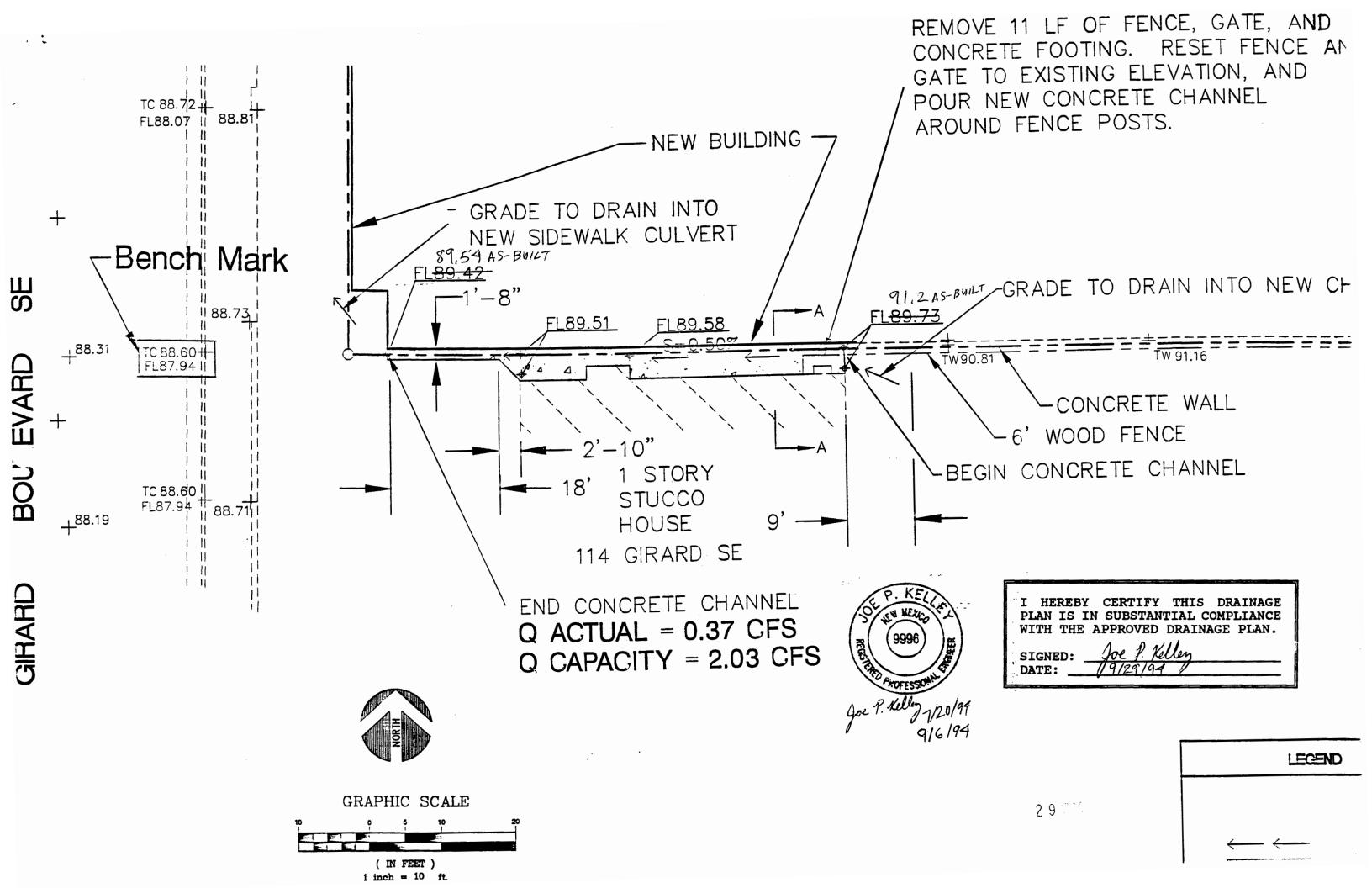
A. C.Z.

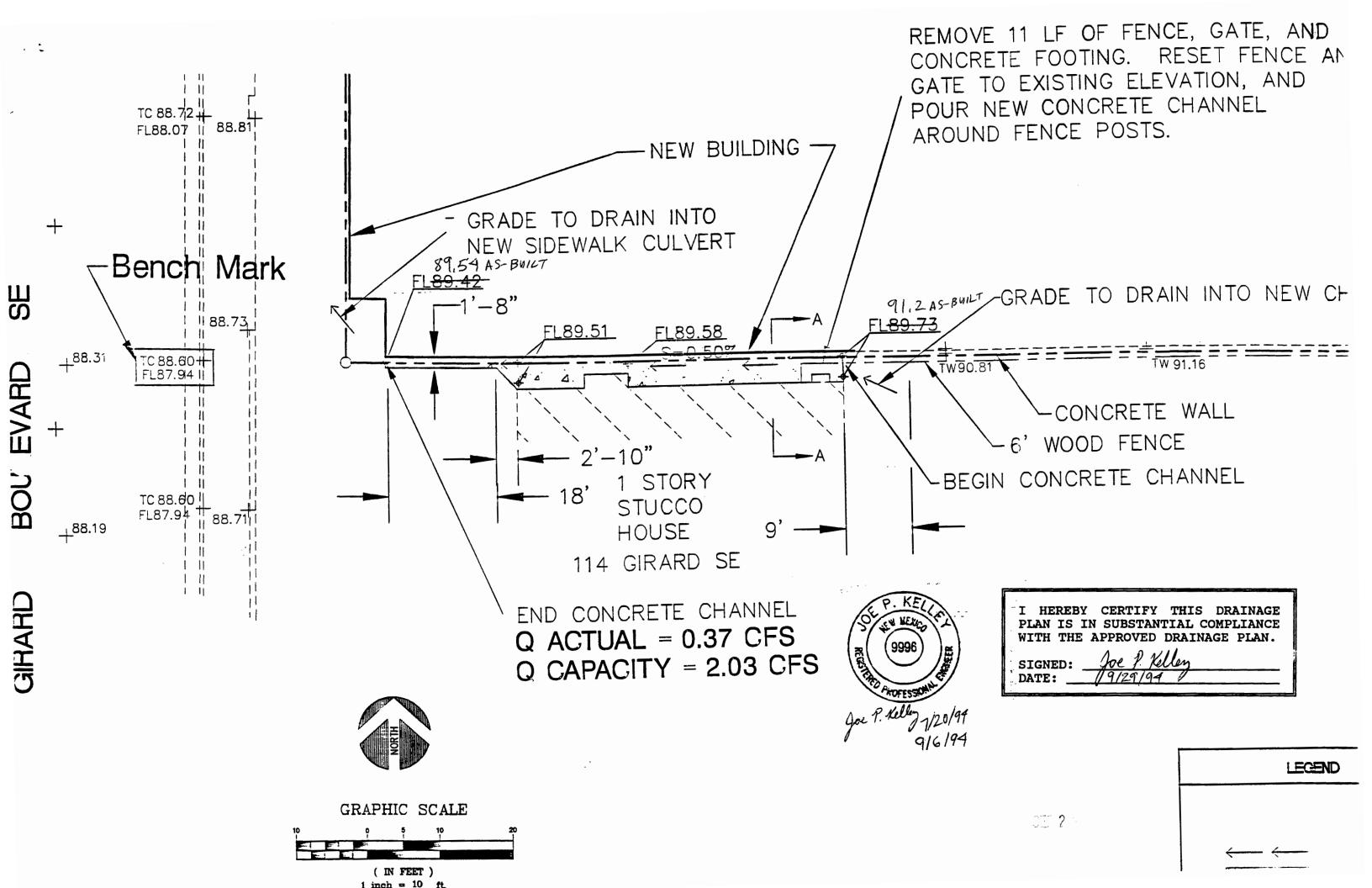
AND CURB

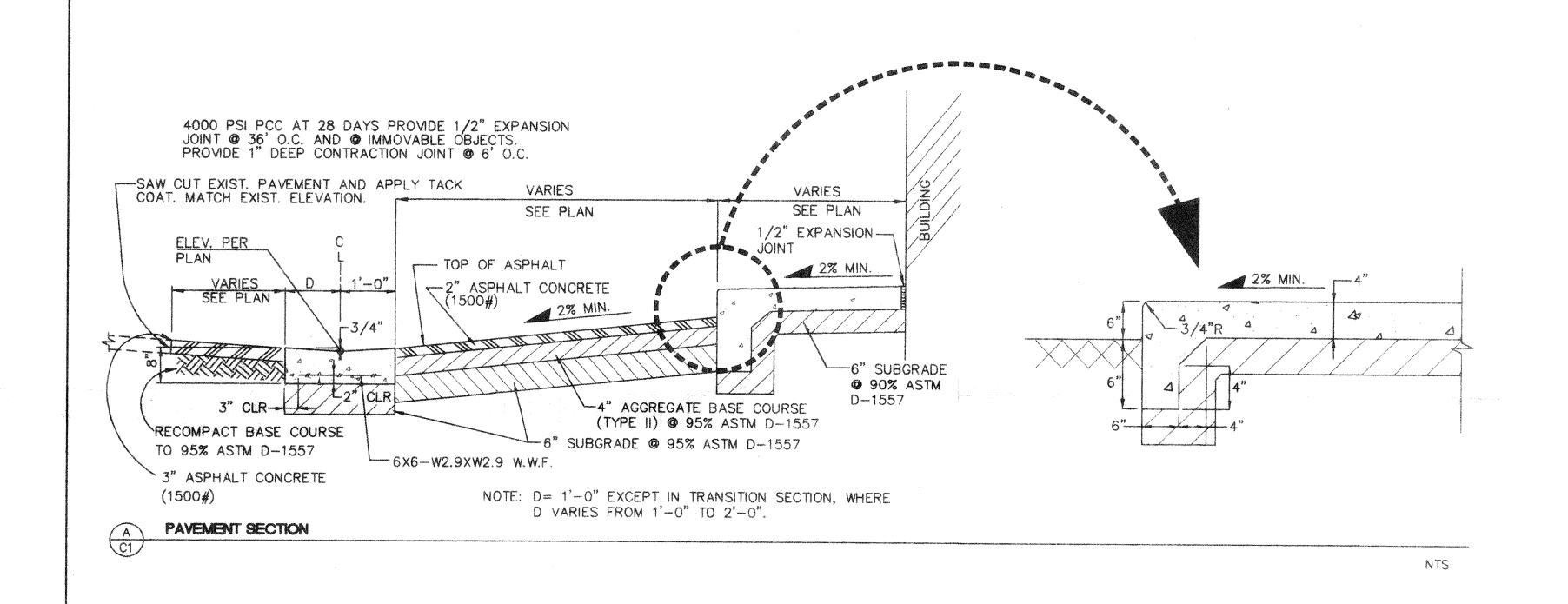
O X X X X

 $\Diamond$ C

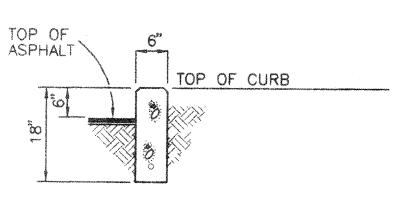
H







4000 PSI PCC AT 28 DAYS PROVIDE 1/2" EXPAN-SION JOINTS @ 30' O.C., @ IMMOVABLE OBJECTS AND @ BEGINNING AND END OF CURVES. PROVIDE 11/2" DEEP CONTRACTION JOINT @ 5' O.C.



ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII

18" X 12" 20 GAGE HAND-ICAPPED METAL SIGN. WHITE SYMBOL ON BLUE BACKGROUND, -MOUNTED ON BUILDING. "D"=5'-0" FOR RESERVED PARKING.
"D"=7'-0" FOR VAN PARKING. TOP OF CONCRETE-

B CONCRETE HEADER CURB DETAIL 3/4" = 1' - 0"

HANDICAPPED SIGNING DETAILS

3/8"=1'-0"

CHAVEZ - GRIEVES CONSULTING ENGINEERS, INC. 5639 JEFFERSON STREET N.E. + ALBUQUERQUE, NEW MEXICO 87109 PHONE (505) 344-4080 • FAX (505) 343-8759

PARKLAND HILLS INC.

DETAIL SHEET