

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 22, 2024

Dave Aube
Thompson Engineering Consultants, Inc
P.O. Box 65760
Albuquerque, NM 87193

Re: 2900 Central Project
2900 Central Ave. SE
Traffic Circulation Layout
Architect's Stamp 02-01-24 (K16-D009A)

Dear Mr. Aube,

The TCL submittal received 02-05-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **CONDITION FOR RELEASING THE FINAL CO: AN APPROVED REVOCABLE PERMIT FOR THE EXISTING SIGN (KEYNOTE 35).**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing

TCL GENERAL NOTES

1. SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINE TYPE LEGEND THAT APPLY TO ALL SHEETS.

TCL KEYED NOTES

1. CONCRETE VALLEY GUTTER PER DETAIL C4C501.
2. CONCRETE CUT OFF WALL PER DETAIL A5/C501.
3. CONCRETE HEADER CURB, 6" TALL, PER DETAIL A5/C501.
4. CONCRETE CURB ACCESS RAMP PER DETAIL A1/C501.
5. CONCRETE SIDEWALK PER DETAIL C1/C501.
6. CONCRETE SIDEWALK PER COA STD DWG 2430.
7. STANDARD CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
8. STANDARD 6" CONCRETE CURB AND GUTTER PER DETAIL A5/C501.
9. 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
10. TURN DOWN EDGE SIDEWALK PER DETAIL C2/C501.
11. ASPHALT PAVEMENT PER DETAIL D2/C501.
12. GRAVEL PAVE 2 PAVEMENT PER DETAIL C1/C502.
13. LANDSCAPED AREA. REFER TO LANDSCAPING PLANS
14. PAINT CURB RED WITH 6" TALL LETTERS READING "NO PARKING FIRE LANE"
15. CURB ACCESS RAMP PER COA STD DETAIL 2443.
16. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 3" AND 6" TALL.
17. ADA RESERVED PARKING STALL, PER DETAIL A1/C502.
18. RESERVED PARKING SYMBOL PER DETAIL A3/C502.
19. ADA RESERVED PARKING SIGN MOUNTED PER DETAIL A4/C502M B4/C502, AND C3/C502.
20. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL C3/C502, A4/C502 AND B4/C502.
21. 12"x18" "MOTORCYCLE PARKING ONLY" MOUNTED PER DETAIL A4/C502.
22. CONCRETE PARKING BLOCK PER DETAIL B3/C502.
23. STRIPED UNLOADING ZONE PER DETAIL A1/C502.
24. 5' WIDE CONCRETE SIDEWALK CULVERT PER DETAIL B3/C501.
25. 4'-4" BY 4'-4" SPLASH BLOCK, 3" TO 6" COBBLES WIRE TIED PER DETAIL B4/C501 AND COA STD DWG 2270.
26. 6" TALL CAST IN PLACE CONCRETE WALL PER ARCHITECTURAL ELEVATION AND STRUCTURAL DETAILS.
27. FIRE DEPARTMENT KNOX BOX.
28. STORM WATER RETENTION POND. SEE GRADING PLANS.
29. NATURAL GAS METER OR REGULATOR SEE UTILITY PLANS.
30. CONCRETE DRIVEPAD PER COA STANDARD DRAWING 2425A.
31. EXISTING CONCRETE SIDEWALK TO REMAIN.
32. EXISTING CURB ACCESS RAMP TO REMAIN.
33. BIKE RACK PER DETAIL C4/C502.
34. EXISTING CURB AND GUTTER TO REMAIN.
35. EXISTING PYLON SIGN TO REMAIN.
36. EXISTING NOB HILL GATEWAY SIGN BASE TO REMAIN.
37. EXISTING REFUSE ENCLOSURE, GATES AND CONCRETE APRON TO REMAIN. PROTECT DURING CONSTRUCTION.
38. PROVIDE 1" WIDE LANDSCAPING STRIP ALONG PATIO SCREEN WALL. (NOT USED)
39. 12" TALL PAINTED LETTERS ON CONCRETE "MC".
40. 6" THICK CONCRETE PAVEMENT PER DETAIL D4/C501.
41. BRASS CAPS TO BE INSTALLED INTO TOP OF CONCRETE CUT OFF WALL, TOP OF TURNDOWN SIDEWALK, OR FACE OF THE HEADER CURB TO IDENTIFY PARKING STALL
42. CONCRETE CURB ACCESS RAMP PER COA STD DWG 2441 AND 2443.

STAMP



PERMIT SET

PROJECT NAME
2900 Central Project

2900 Central Ave SE
Albuquerque, New Mexico

Parkland Hills Inc.

AREA CALCULATIONS IN GROSS SF

SUITE A	
Heated	1650 GSF
Patio	0903 GSF
TOTAL	2,553 GSF
SUITE B	
Heated	1965 GSF
Patio	0333 GSF
TOTAL	2,298 GSF
TOTAL	4,851 GSF

PARKING CALCULATIONS

UC-MS-PT 5 spaces / 1000 GSF (Restaurant)
Table 5-5-1, IDO July 2023
Required spaces: 4,851 GSF/1000=4.85 x 5 = 16.97; per 5-5(C)(1)(c) round down to 16 spaces

LESS 30% Reduction for proximity to transit per 5-5(C)(5)(c)(1):
0.3x16=4.8, Per 5-5(C)(1)(d)(1) round up to 5.
16 spaces - 5 = 11 spaces required.

LESS 10% Reduction for proximity to transit per 5-5(C)(5)(c)(2):
0.1x16=1.6, Per 5-5(C)(1)(d)(1) round up to 2.
11 spaces - 2 = 9 spaces required.

SPACES REQUIRED: 16 - 5 - 2 = 9

ELECTRIC VEHICLE CHARGING STATION CREDIT per 5-5(C)(6)(a): Four (4) extra spaces as credit for two 2-car electric vehicle charging station.

ON-STREET PARKING CREDIT per 5-5(C)(6)(d): 3

SPACES PROVIDED: 12 + 2 + 3 = 17

NOTES:
1. 900 feet from A.R.T. Stop (qualifies for PT).

One (1) = MOTORCYCLE SPACE REQUIRED per 5-5(D) & PROVIDED

Three (3) = BICYCLE SPACES REQUIRED per 5-5(E)

SHARED PARKING WITH ADJACENT DEVELOPMENT

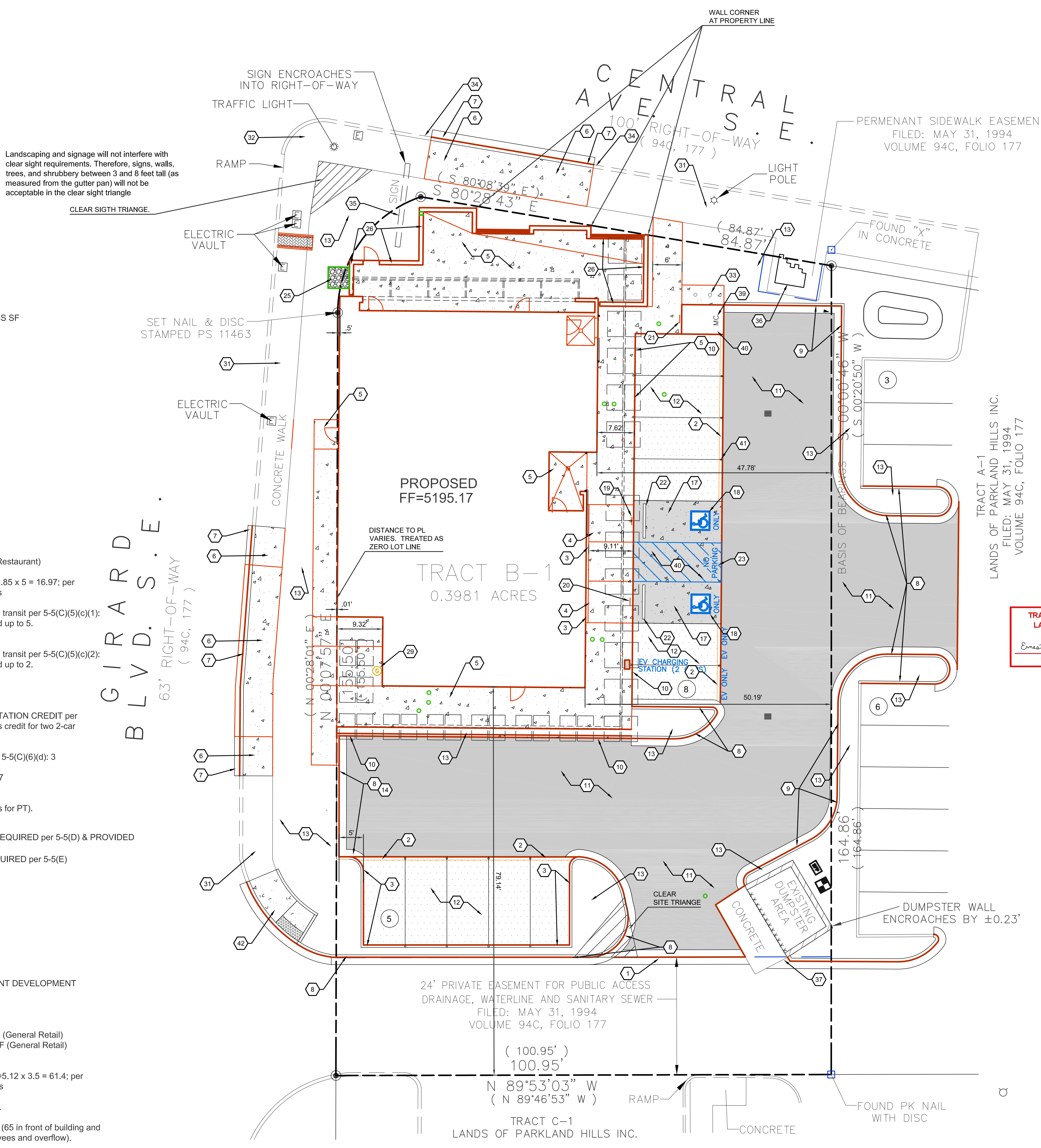
WALGREENS

AREA 17,544 SF.
STANDARD 3.5 spaces / 1000 GSF (General Retail)
UC-MS-PT 1.75 spaces / 1000 GSF (General Retail)

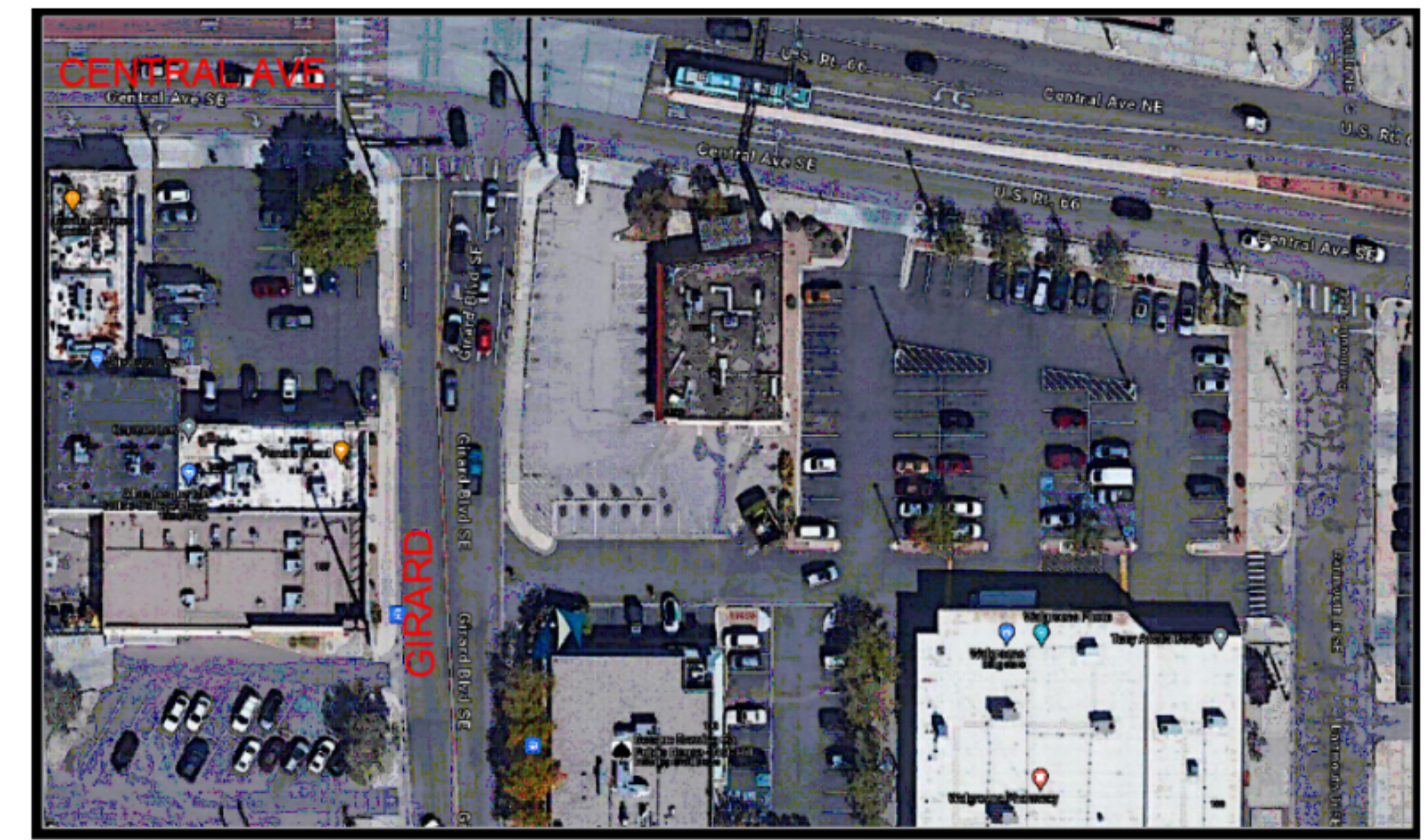
Table 5-5-1, IDO July, 2023
Required spaces: 17,544 GSF/1000=5.12 x 3.5 = 61.4; per 5-5(C)(1)(c) round down to 61 spaces

Only 31 required utilizing UC-MS-PT.

AVAILABLE PARKING 81 STALLS. (65 in front of building and 16 spaces behind building for employees and overflow).



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Amaya 3/22/2024
Signed Date



D5 AERIAL OF ACCESS ROUTES
SCALE: NOT TO SCALE

A1 TRAFFIC CIRCULATION LAYOUT
1"=10'-0"

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group
Drawn by: MTD
Checked by: DBT
Date: 12-1-2023
Project number: 2594

SHEET TITLE

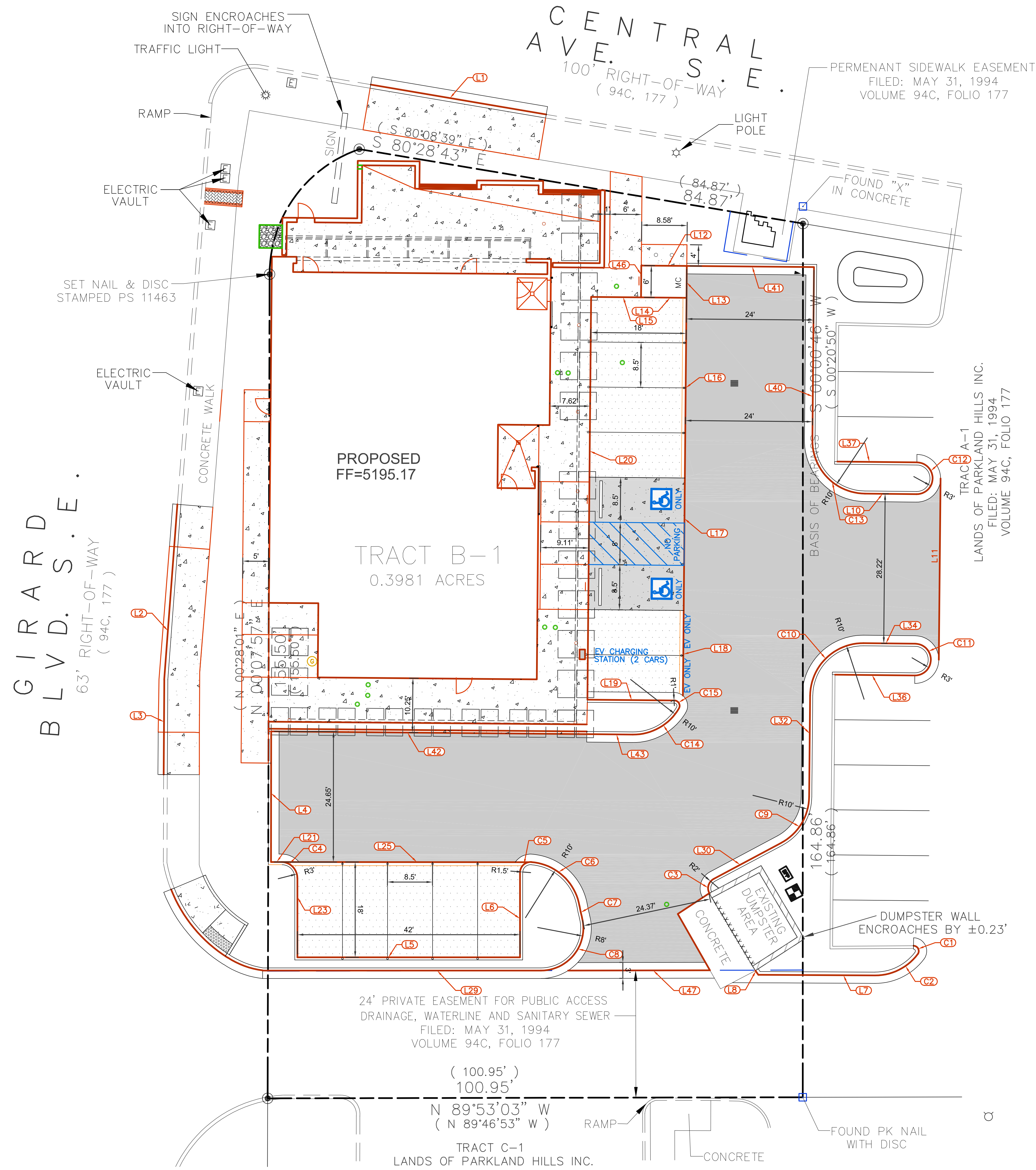
Traffic Circulation Layout

SHEET NUMBER

TCL1

Thompson
Engineering
Consultants, Inc.
Loccm@yahoo.com
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Arriaga 3/22/2024
Signed Date



TCL GENERAL NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

Curve Table					
Curve #	Length	Radius	Delta	Chrd. Len.	Chrd. Brg.
C1	2.20	1.00	126°16'17"	1.78	N26°20'29"W
C2	9.34	10.00	53°30'59"	9.00	N63°33'08"E
C3	3.14	2.00	90°00'00"	2.83	S16°56'29"W
C4	4.71	3.00	89°57'14"	4.24	N44°59'14"W
C5	3.30	2.00	94°29'26"	2.94	S47°14'06"W
C6	13.22	10.00	75°46'18"	12.28	N47°38'02"W
C7	2.22	26.00	4°53'41"	2.22	N12°11'43"W
C8	14.61	8.00	104°37'57"	12.66	N37°40'25"E
C9	10.72	10.00	61°25'03"	10.21	S31°13'58"W
C10	15.71	10.00	89°59'56"	14.14	S45°31'24"W
C11	9.42	3.00	180°00'00"	6.00	N0°31'22"E
C12	9.42	3.00	180°00'00"	6.00	S0°31'22"W
C13	15.71	10.00	90°00'04"	14.14	N44°28'36"W
C14	10.48	10.00	60°01'35"	10.00	N60°30'37"E
C15	2.09	1.00	119°58'23"	1.73	N29°29'22"W

Line Table		
Line #	Length	Direction
L1	33.58	S80° 21' 51"E
L2	33.20	N4° 15' 59"E
L3	17.96	N0° 20' 36"E
L4	24.65	N0° 04' 17"E
L5	42.00	S89° 59' 23"W
L6	15.98	S0° 00' 37"E
L7	22.00	S89° 41' 22"E
L8	0.97	S35° 01' 30"E
L10	9.74	N89° 28' 38"W
L11	34.22	N0° 33' 39"E
L12	8.58	N89° 29' 55"W
L13	6.01	S0° 31' 26"W
L14	8.58	N89° 28' 24"W
L15	9.42	N89° 28' 43"W
L16	34.00	S0° 31' 26"W
L17	25.00	N0° 31' 26"E
L18	16.08	S0° 31' 26"W
L19	16.40	N89° 28' 34"W
L20	76.00	N0° 31' 26"E
L21	1.98	N89° 57' 50"W
L23	14.98	N0° 00' 37"W
L25	46.64	N89° 57' 50"W
L29	52.52	N89° 59' 24"E
L30	14.41	S61° 56' 29"W
L32	19.06	S0° 31' 26"W
L34	9.72	N89° 28' 38"W
L36	15.06	S89° 28' 38"E
L37	15.01	S89° 28' 38"E
L40	32.66	N0° 31' 26"E
L41	24.00	N89° 29' 55"W
L42	59.55	N89° 29' 57"W
L43	8.67	S89° 28' 34"E
L46	6.00	N0° 30' 05"E
L47	26.75	N89° 53' 03"E

STAMP



PERMIT SET

PROJECT NAME
2900 Central Project

2900 Central Ave SE
Albuquerque, New Mexico

Parkland Hills Inc.

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by: MTD
Checked by: DBT
Date: 12-1-2023
Project number: 2594

SHEET TITLE

Traffic Circulation Layout

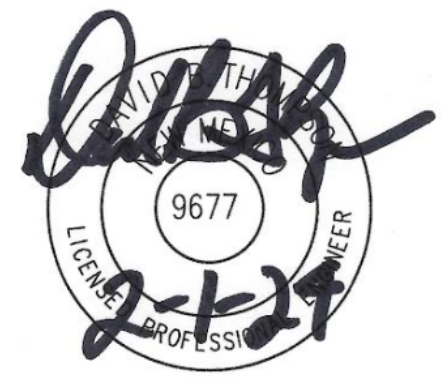
SHEET NUMBER

TCL2

A1 TRAFFIC CIRCULATION LAYOUT
1"=10'-0"

Thompson
Engineering
Consultants, Inc.
Loccm@yahoo.com
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9246

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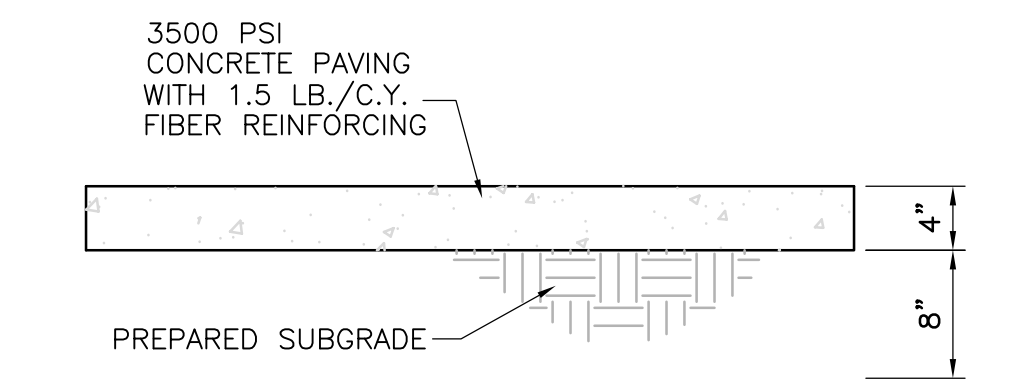
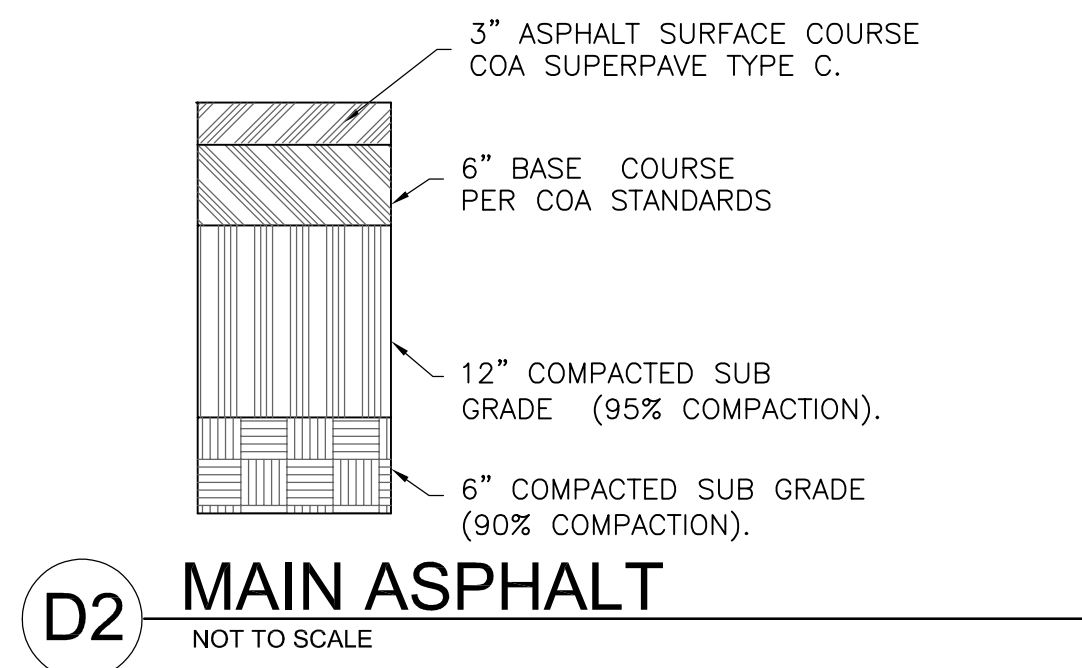
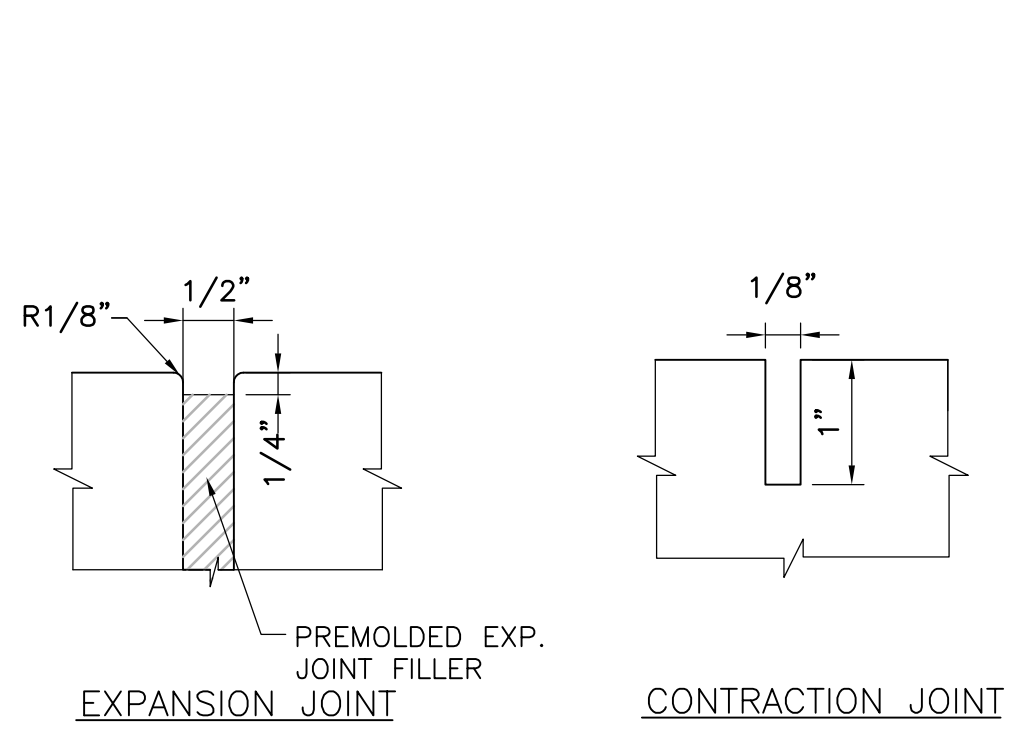
Drawn by: MTD
Checked by: DBT
Date: 12-1-2023
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SHEET TITLE

Civil Details

SHEET NUMBER

C501



NOTE:
PROVIDE TRANSVERSE CONTRACTION JOINTS AT INTERVALS NOT EXCEEDING 6'-0" ON CENTER. PROVIDE CENTERLINE CONTRACTION JOINTS IN SIDEWALKS WIDER THAN 8'-0". SPACING OF CENTERLINE CONTRACTION JOINTS SHALL NOT EXCEED 6'-0".

PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 30'-0" ON CENTER.

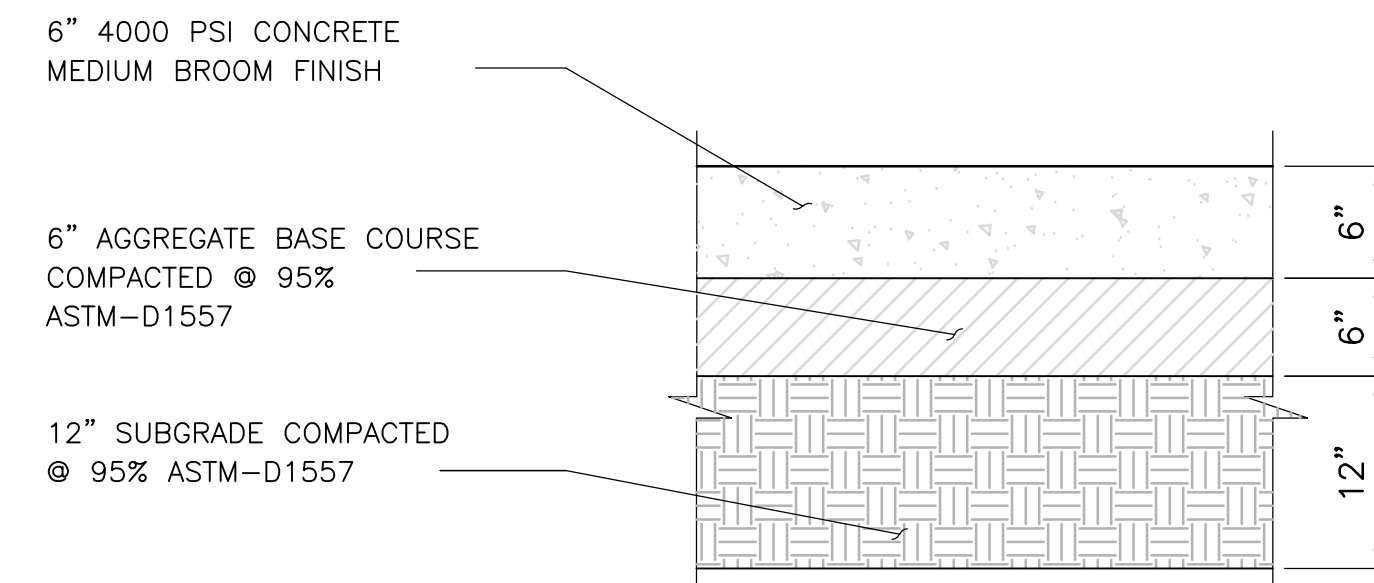
FIBER REINFORCING IN CONCRETE TO BE SIKA SYNTHETIC MICROFIBERS FIBER 150, AND USED AT 1.5 LB./ CUBIC YARD.

C1 TYPICAL SIDEWALK
NOT TO SCALE

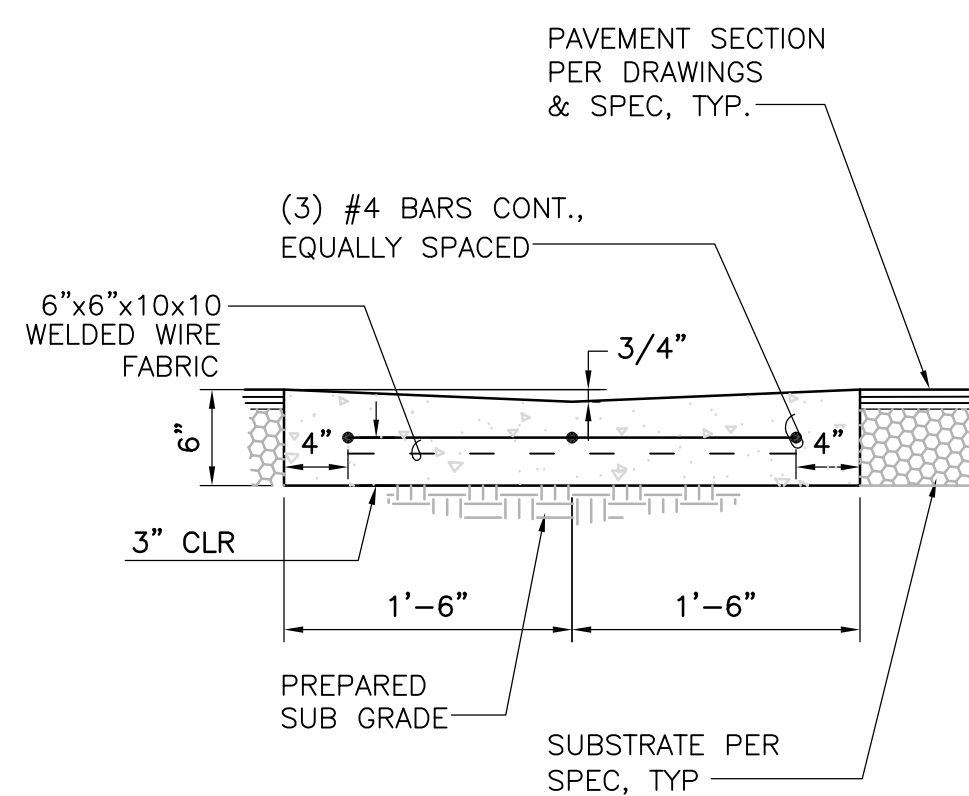
C2 TURNDOWN EDGE
NOT TO SCALE

C3 CONCRETE STOOP
NOT TO SCALE

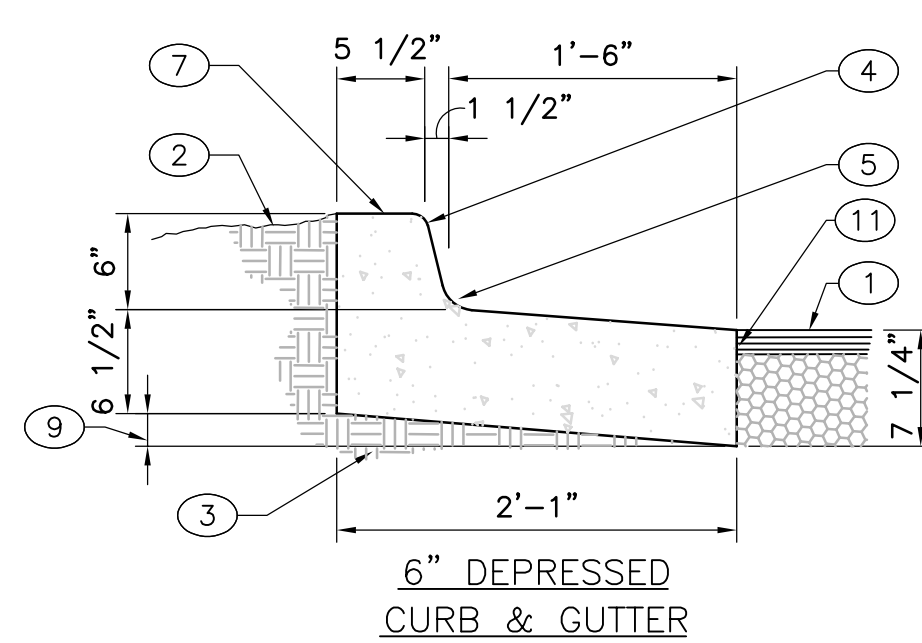
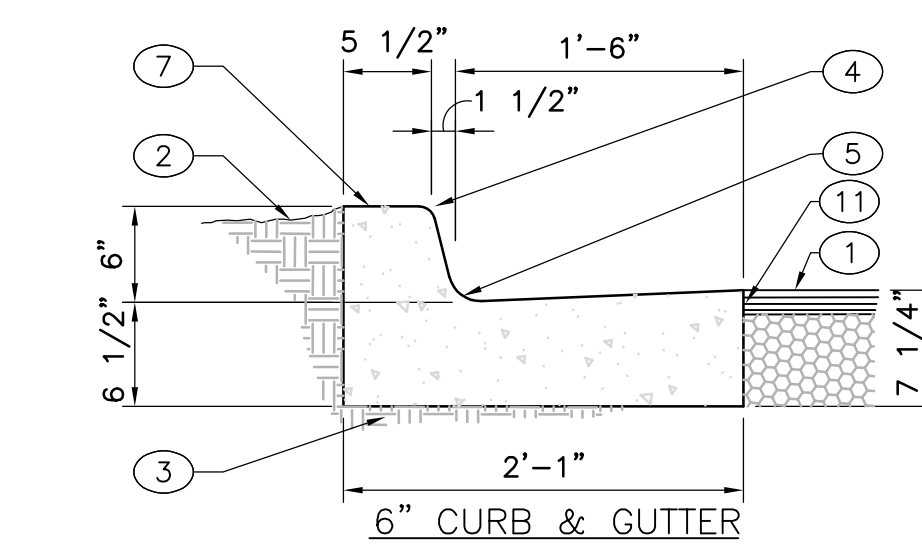
D4 CONCRETE PAVEMENT
NOT TO SCALE



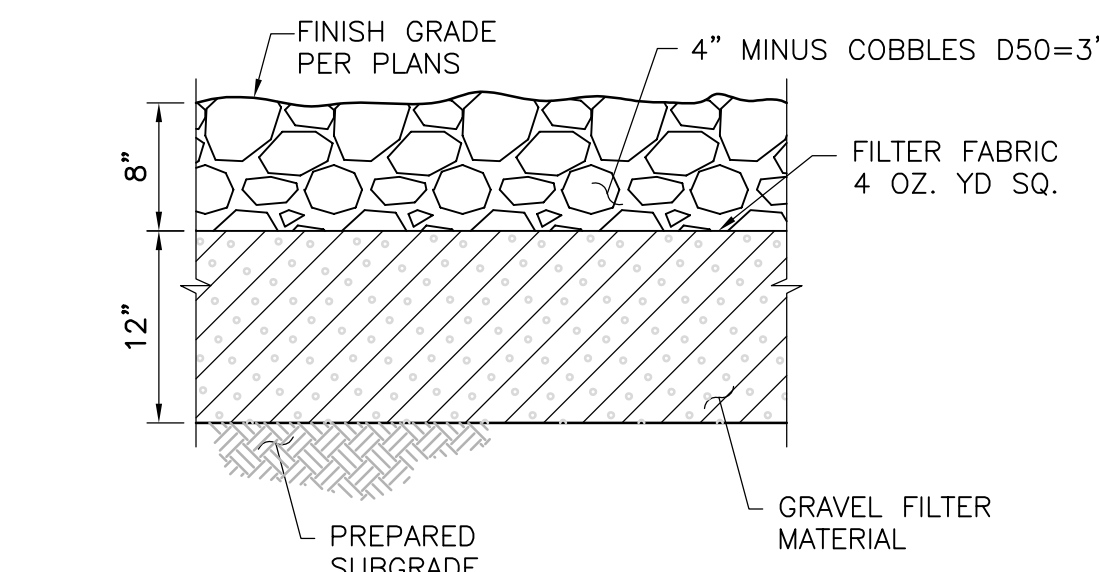
TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Arriaga 3/22/2024
Signed Date



C4 VALLEY GUTTER
NOT TO SCALE



B4 RIP-RAP
NOT TO SCALE



NOTE: Install gravel filter material or filter fabric. Color of riprap to be coordinated to match landscaping gravel mulch.

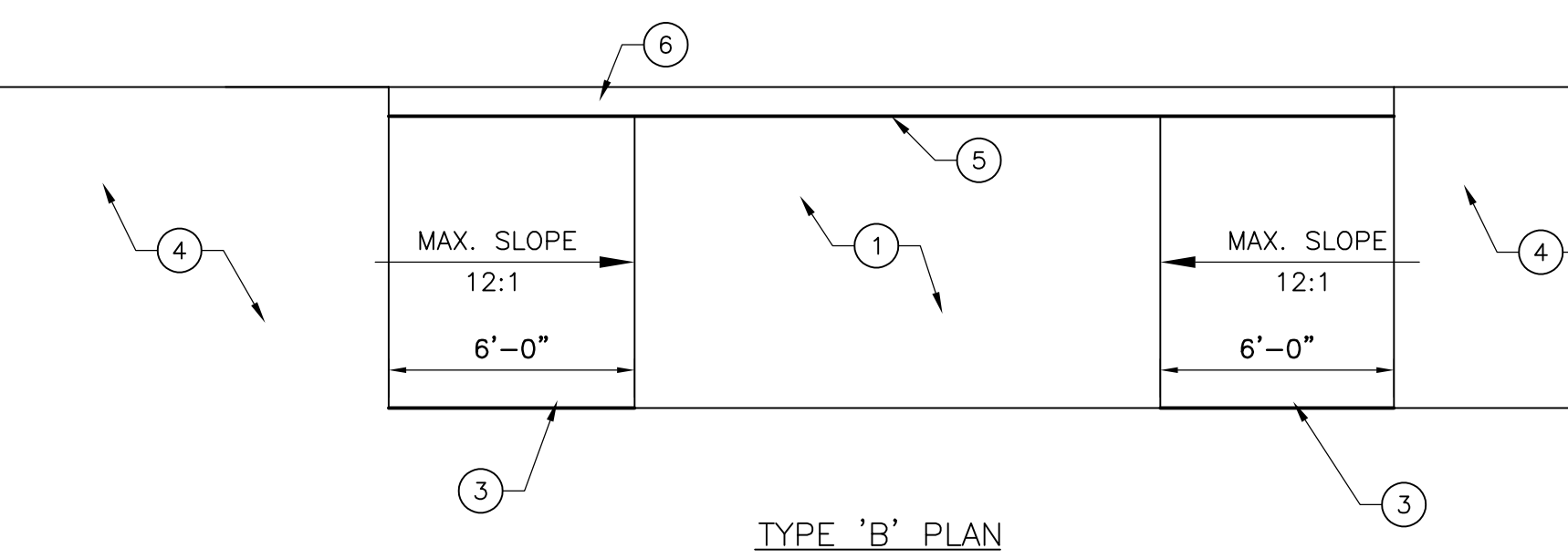
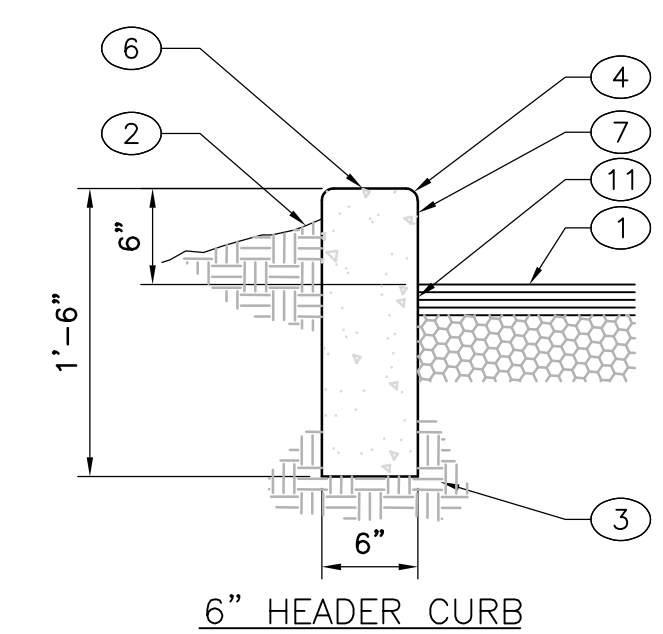
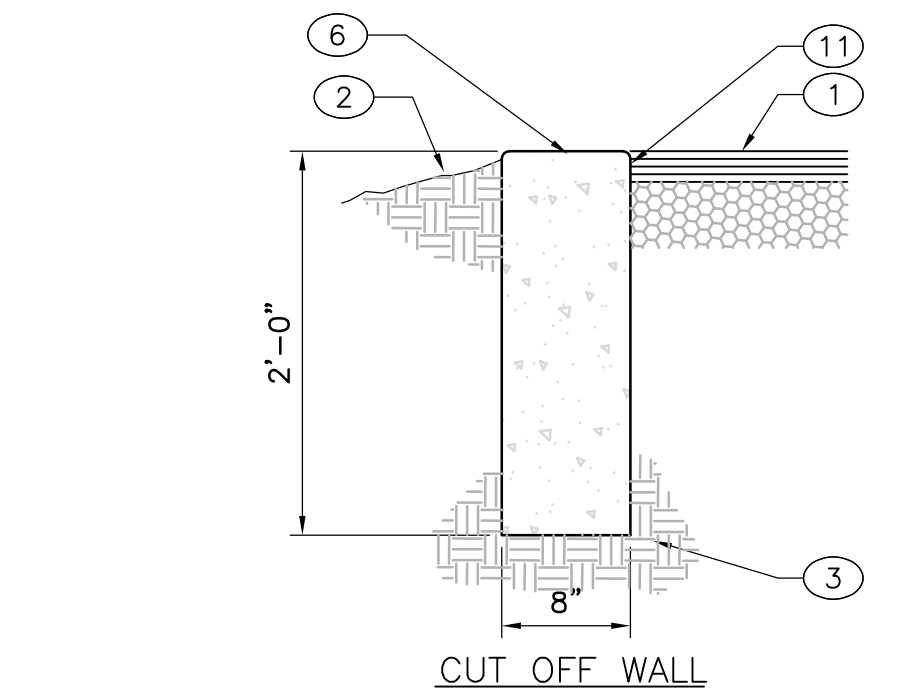
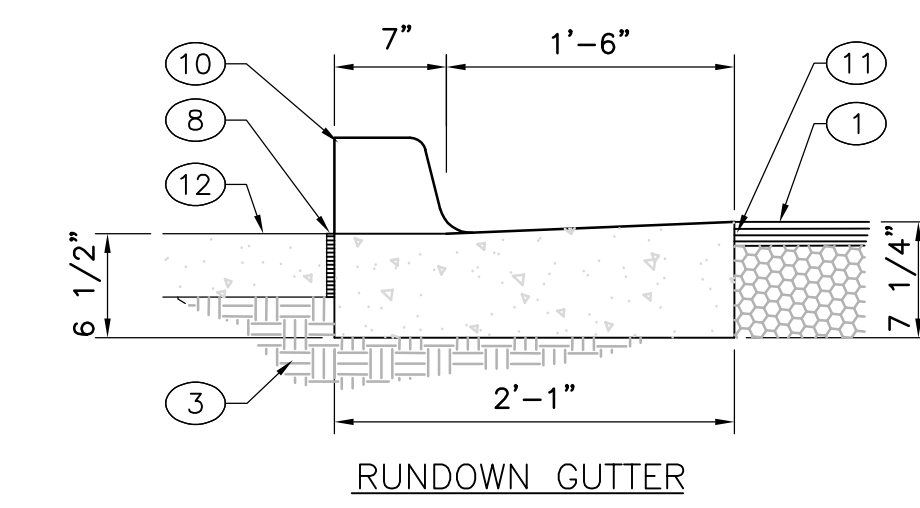
KEYED NOTES:

- PAVEMENT SECTION PER DRAWINGS AND SPECS.
- FINISHED GRADE.
- PREPARED SUBGRADE.
- 3/4" RADIUS.
- 1 1/2" RADIUS.
- SMOOTH RUBBED FINISH
- CONCRETE CURB.
- EXPANSION JOINT.
- VARIES, DEPRESS AS NEEDED.
- OMIT 6" CURB.
- TACK COAT
- SIDEWALK SEE PLANS

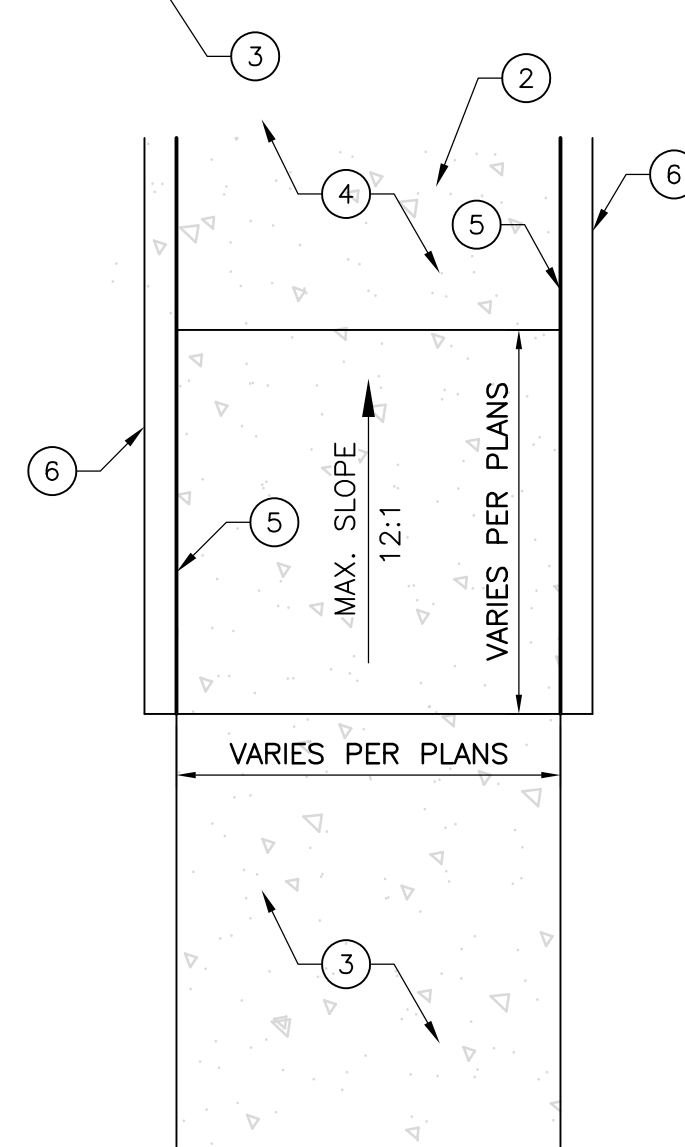
CURB & GUTTER CONSTRUCTION NOTES:

- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURNS, & AT EACH SIDE OF DRIVEWAYS.
- FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 10' O.C., PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.

A5 CURB SECTIONS
NOT TO SCALE



TYPE 'B' PLAN

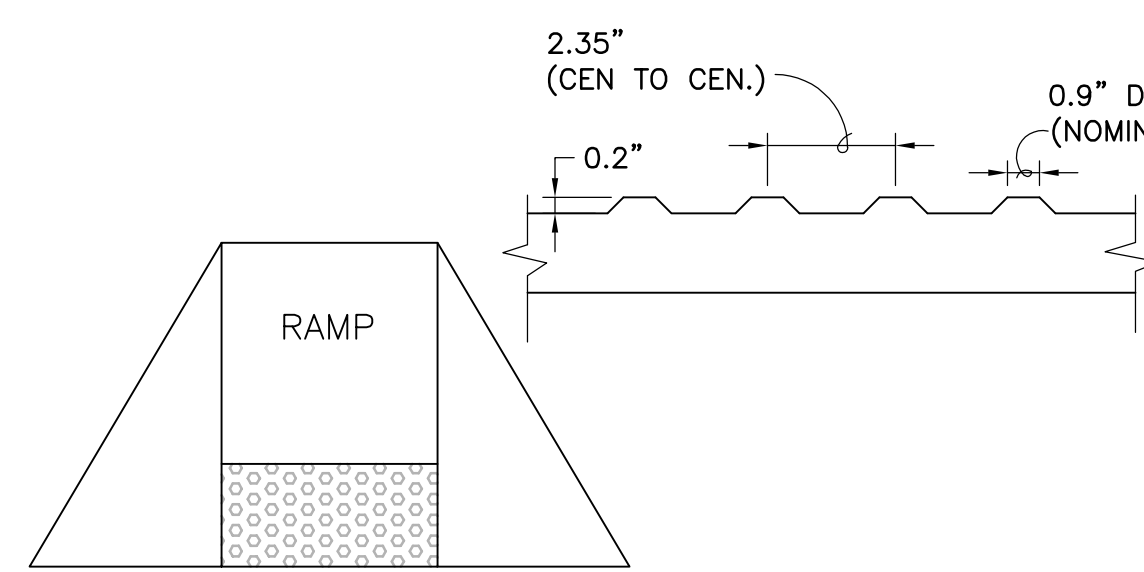


TYPE 'A' PLAN

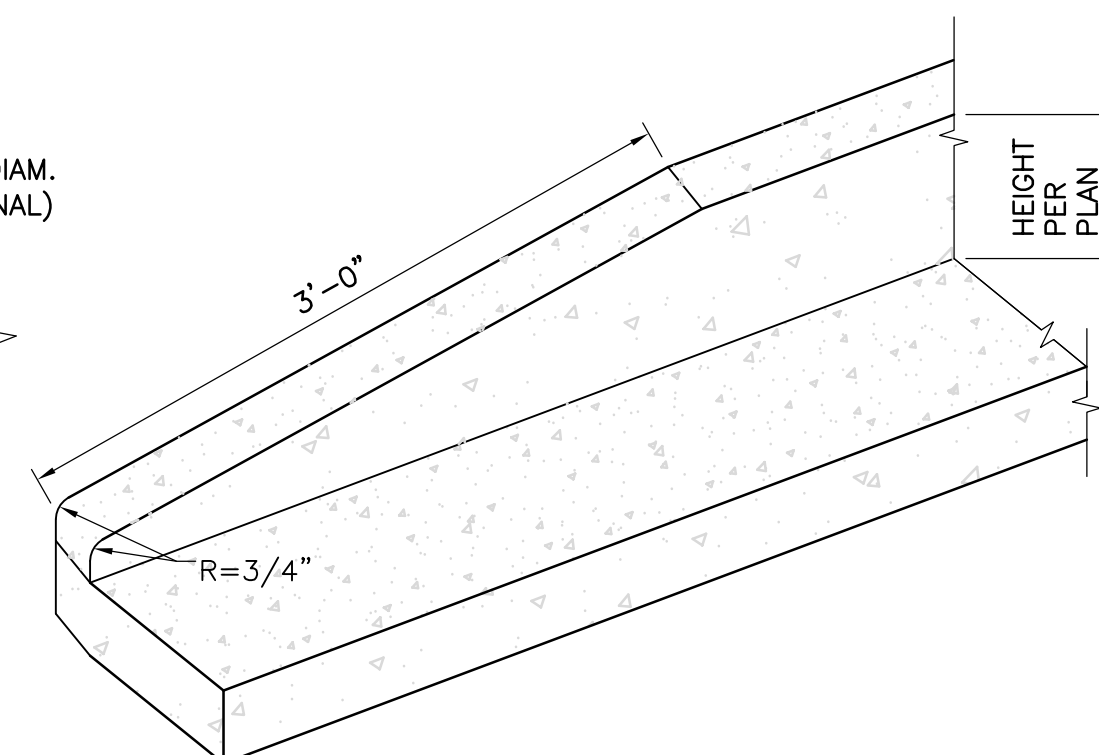
KEYED NOTES:

- 2% CROSS SLOPE MADE IN ANY DIRECTION.
- DETECTABLE WARNING SURFACE PER A3/C501.
- SLOPE CONCRETE SIDEWALK PER PLANS
- RAMP LANDING PER PLANS
- 1/2" EXPANSION MATERIAL.
- STD. CONC. HEADER CURB AS REQUIRED

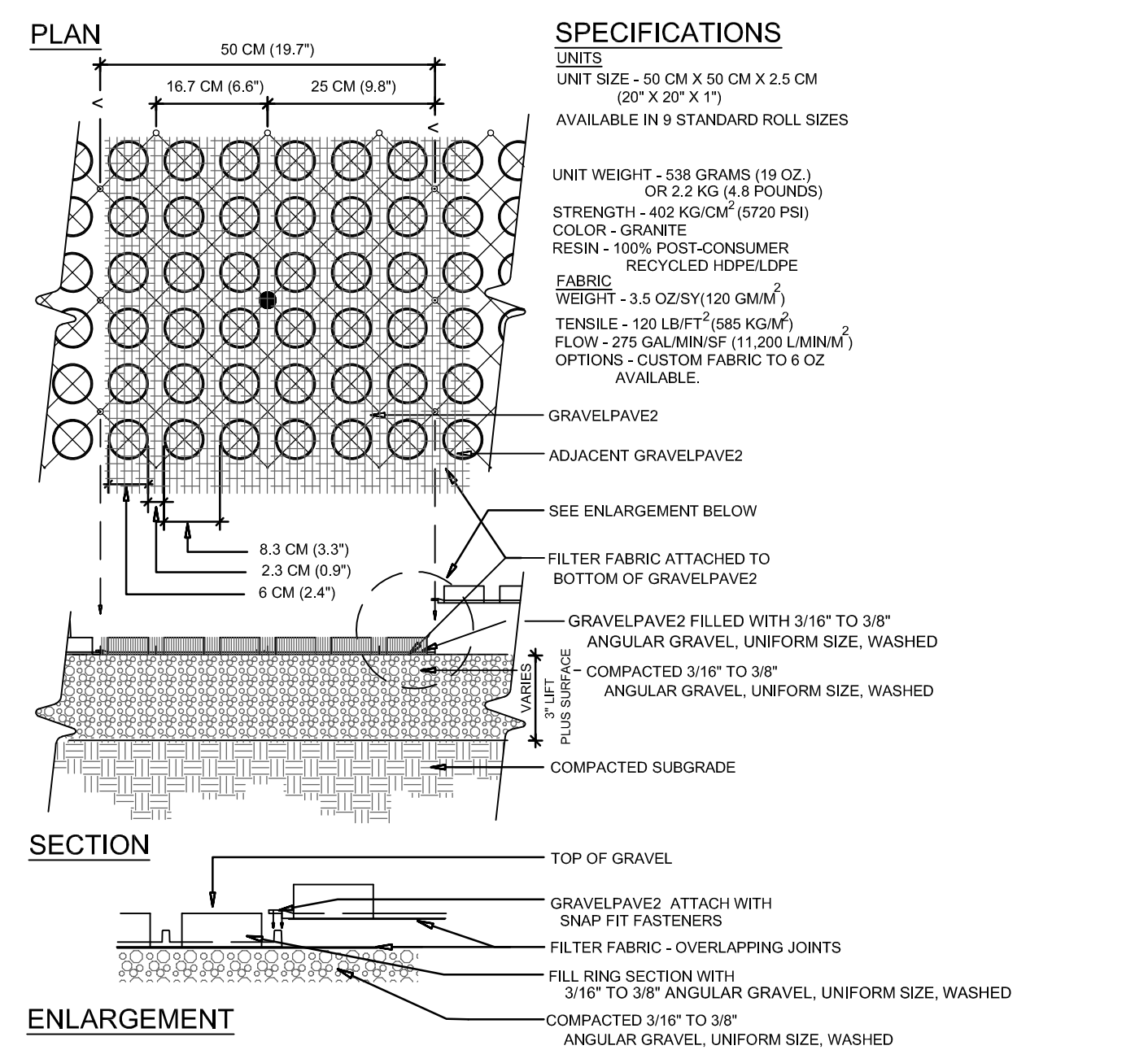
A1 CURB ACCESS RAMPS
NOT TO SCALE



A3 DETECTABLE WARNING SURFACE
NOT TO SCALE

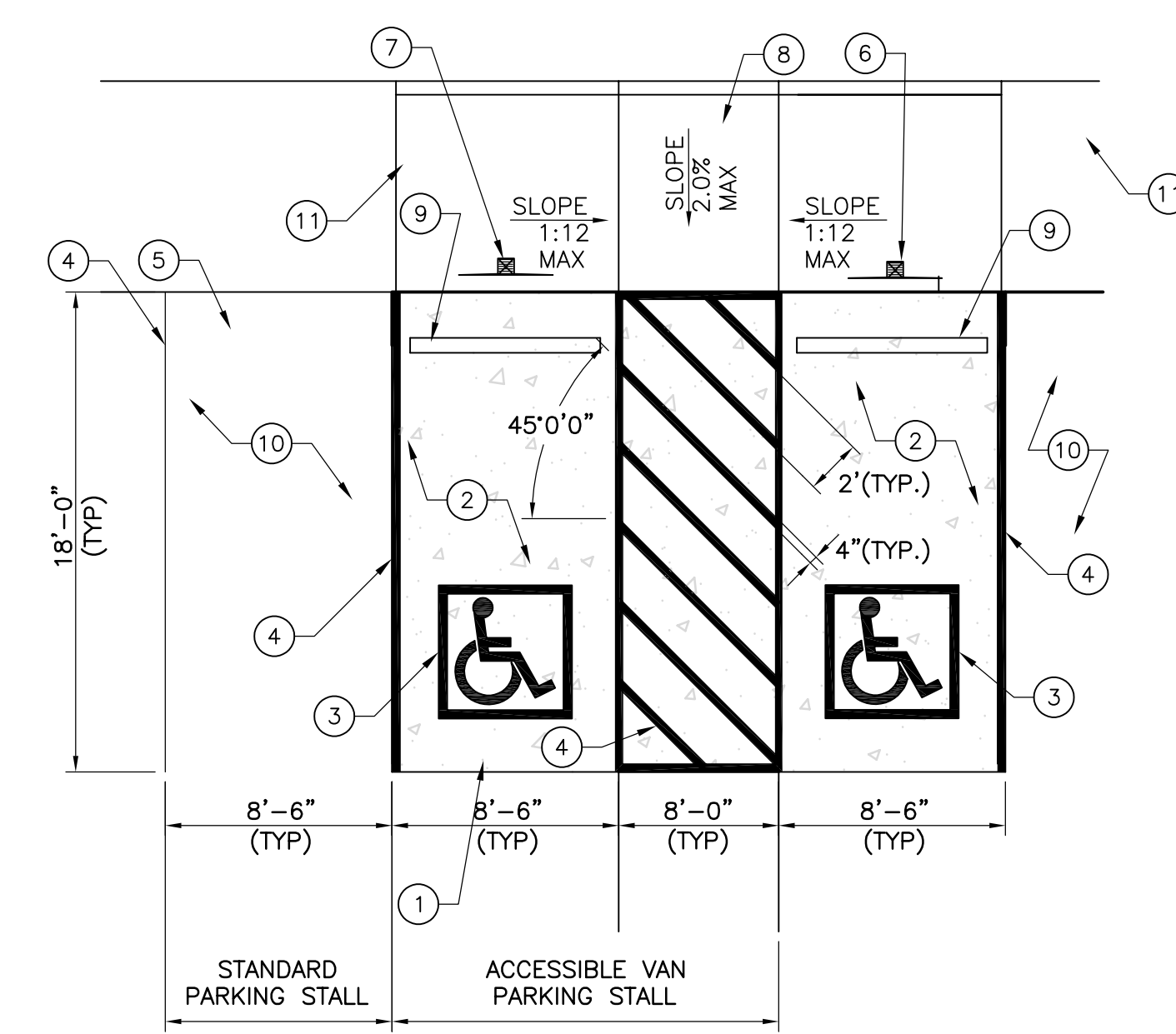


A4 CURB TRANSITION
NOT TO SCALE



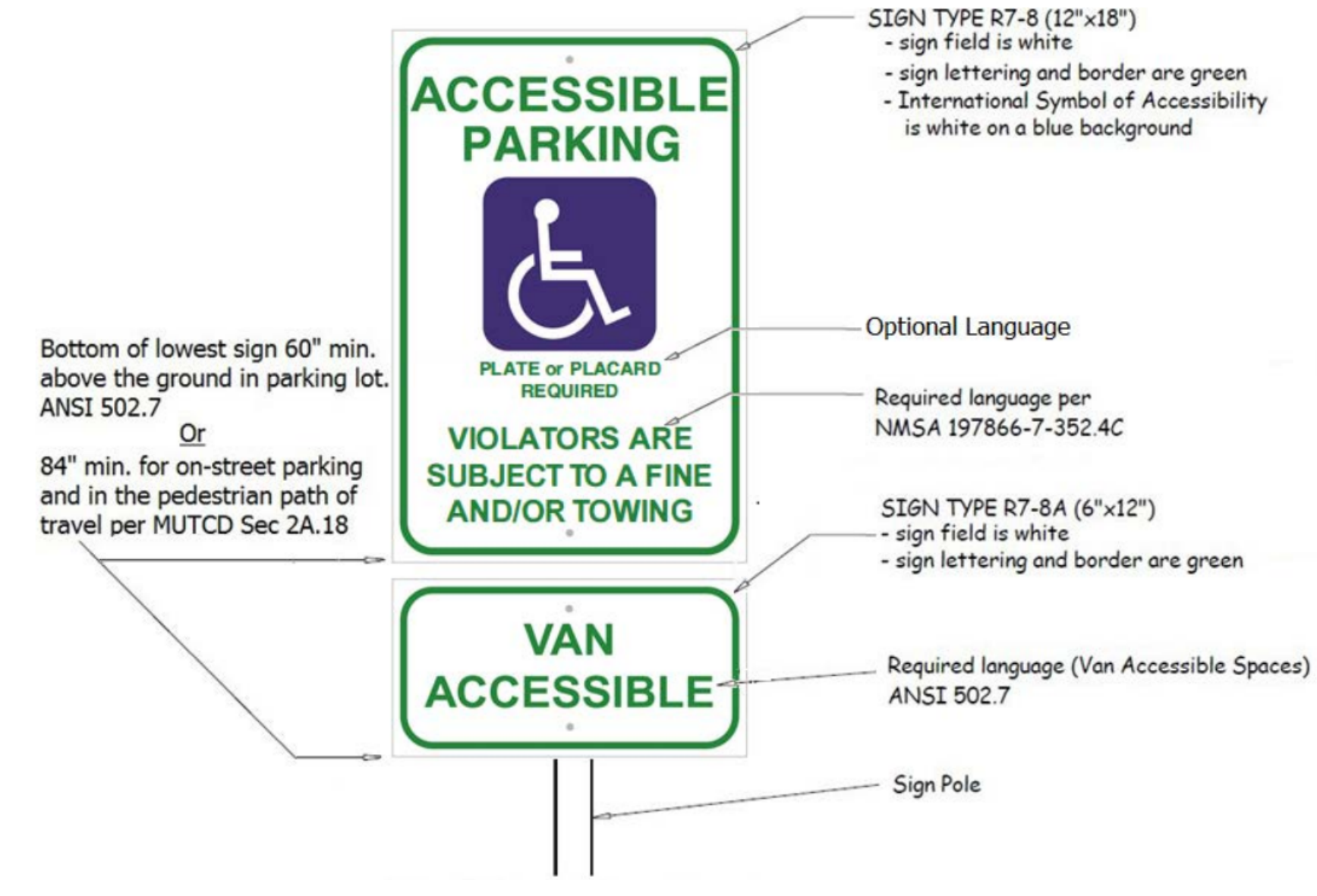
SPECIFICATIONS
UNITS
UNIT SIZE - 50 CM X 50 CM X 2.5 CM (20" X 20" X 1")
AVAILABLE IN 9 STANDARD ROLL SIZES
UNIT WEIGHT - 538 GRAMS (19 OZ.) OR 2.2 KG (4.8 POUNDS)
STRENGTH - 402 KPa (5720 PSI)
COLOR - GRANITE
RESIN - 100% POST-CONSUMER RECYCLED HOPELDFE
FABRIC WEIGHT - 3.5 OZ/5(120 G/M²)
TENSILE - 100 LB/FT² (486 KG/M²)
FLOW - 275 GAL/MIN/IN² (11,200 L/MIN/IN²)
OPTIONS - CUSTOM FABRIC TO 6 OZ AVAILABLE

C1 GRAVEL PAVEMENT (GRAVEL PAVE 2)
NOT TO SCALE
COLOR TO BE GRANITE

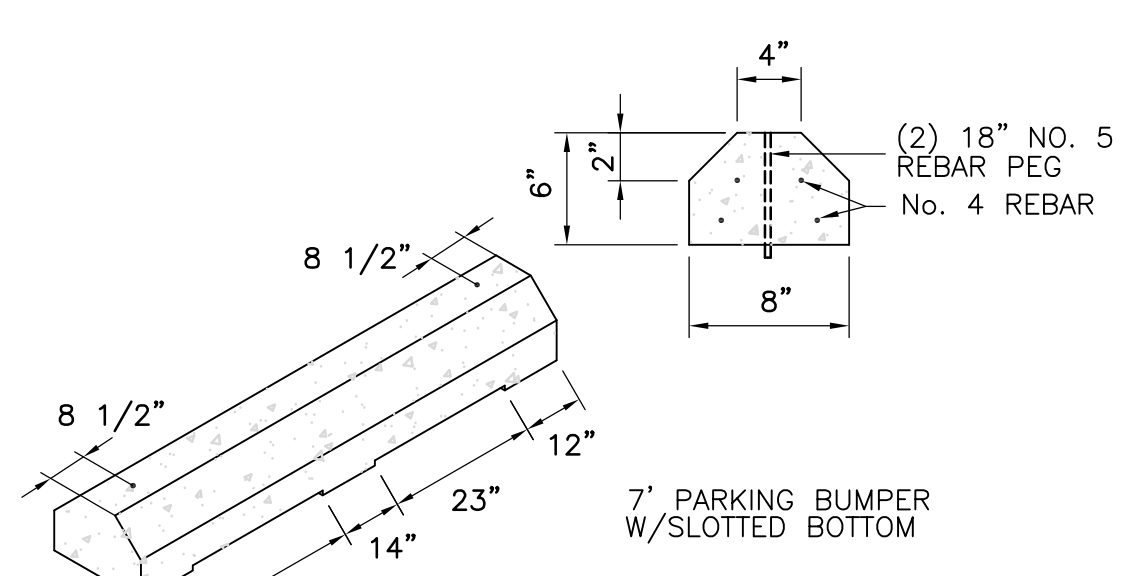


- KEYED NOTES:**
- TYPICAL VAN ACCESSIBLE SPACE.
 - TYPICAL STANDARD ACCESSIBLE SPACE.
 - RESERVED PARKING SYMBOL PER DETAIL A3/C502.
 - 4" WIDE WHITE STRIPING (TYP.).
 - CONCRETE HEADER CURB PER DETAIL A5/C501.
 - RESERVED PARKING SIGN PER DETAIL C3/C502.
 - VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL C3/C502.
 - TYPICAL TYPE 'B' CURB RAMP, PER DETAIL A1/C501.
 - CONCRETE PARKING BLOCK PER DETAIL B3/C502.
 - STANDARD PARKING STALL.
 - CONC. SIDEWALK, SEE PLANS AND DETAIL C1/C501.

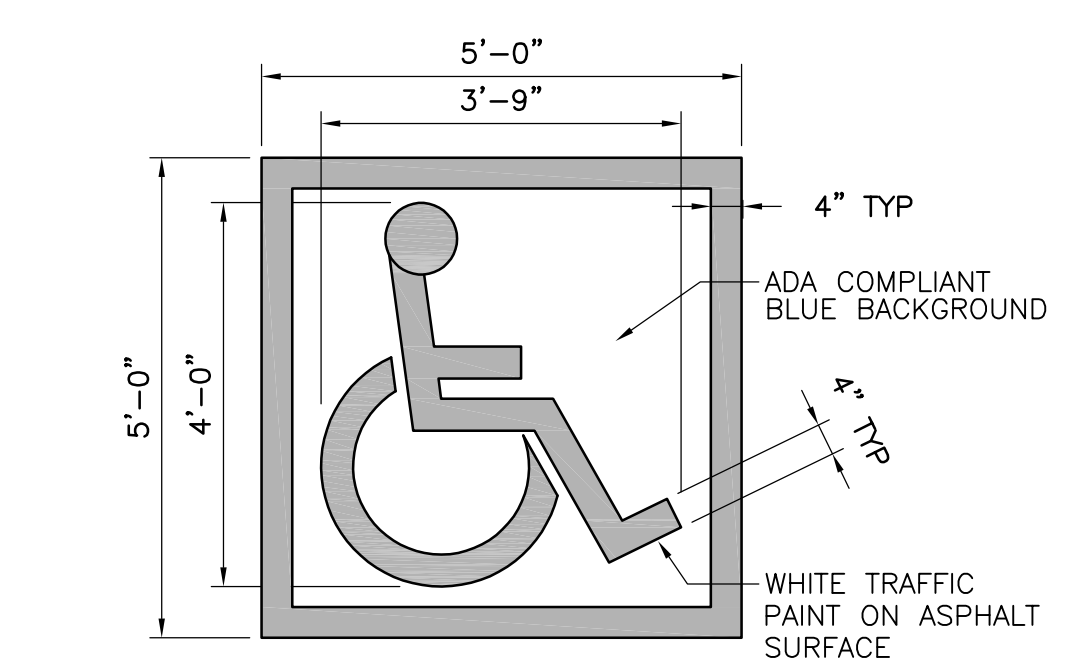
A1 ADA PARKING STALL
NOT TO SCALE



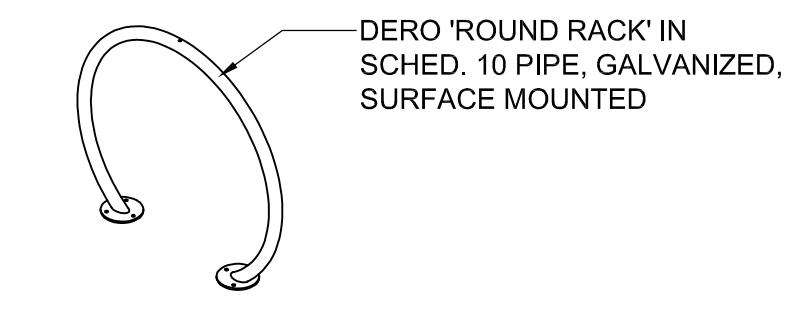
C3 RESERVED PARKING SIGNS
NOT TO SCALE



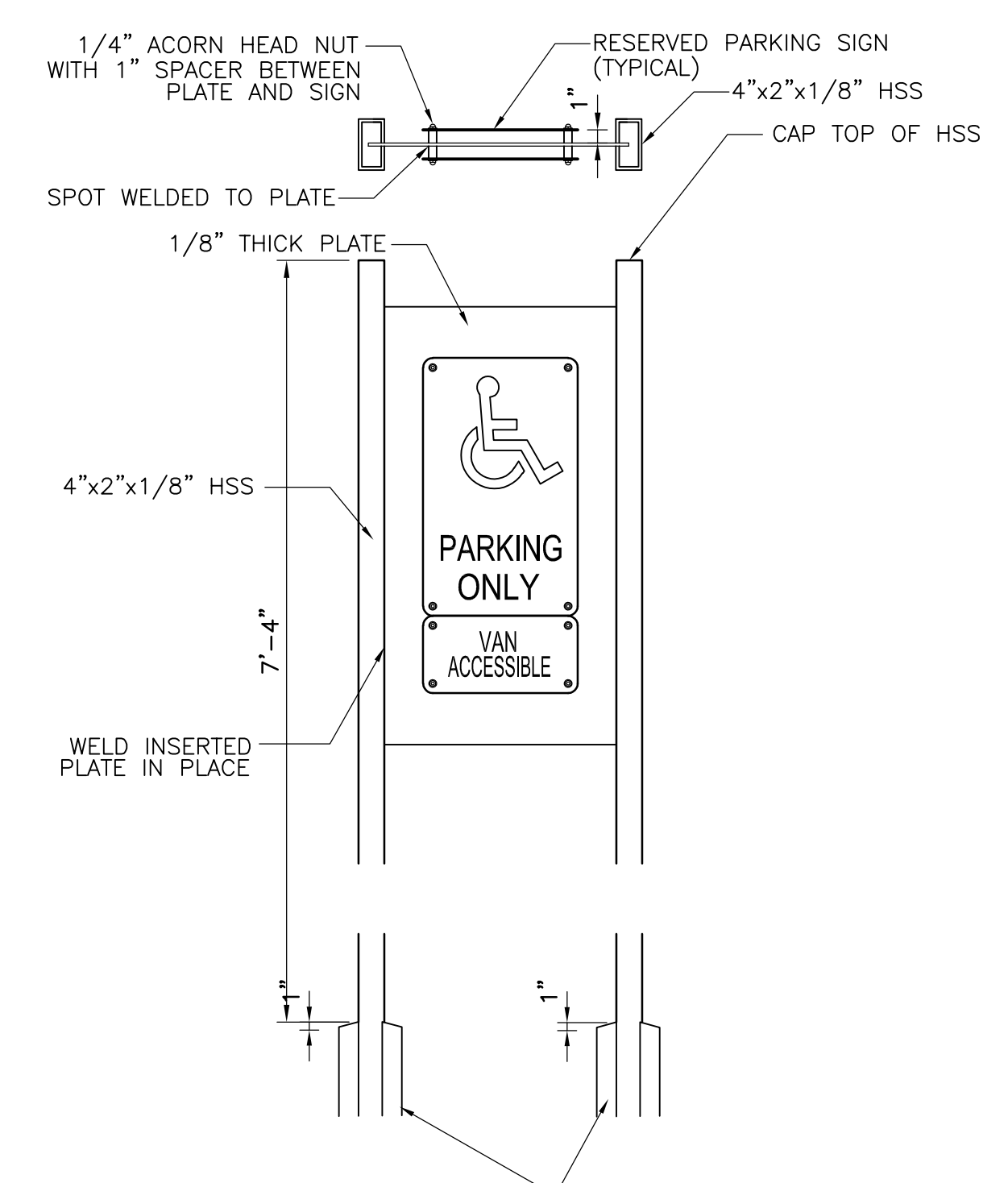
B3 PARKING BLOCK
NOT TO SCALE



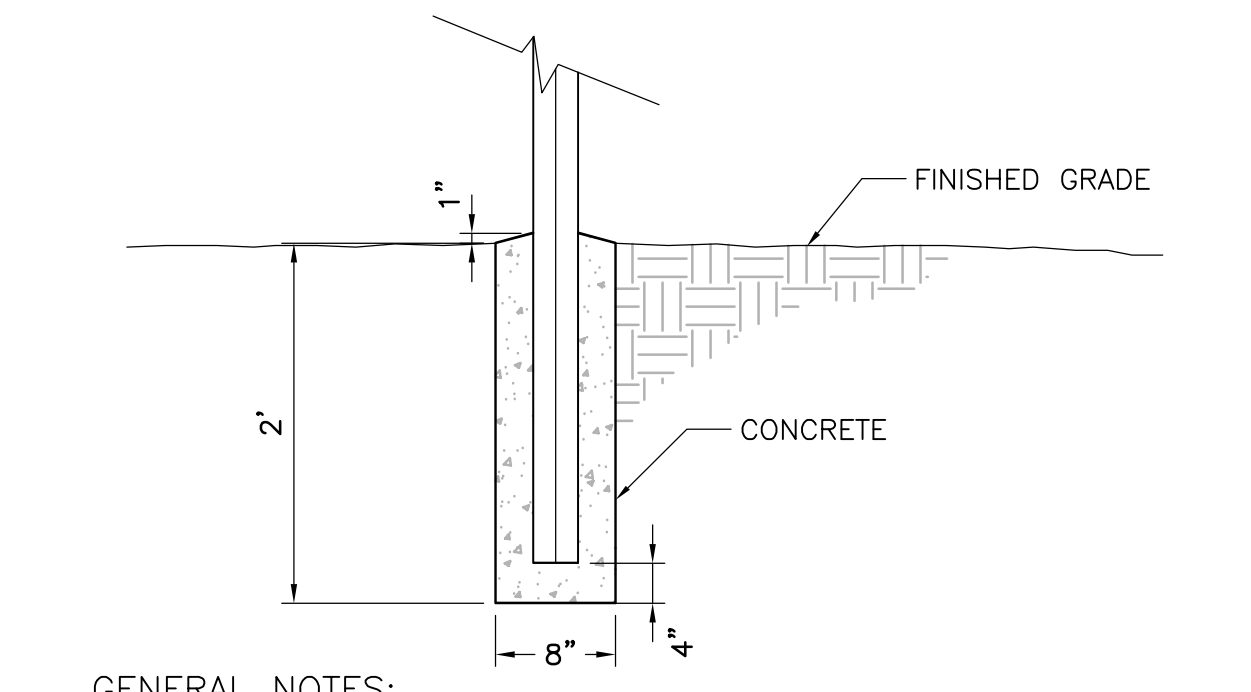
A3 RESERVED SYMBOL
NOT TO SCALE



D4 BIKE RACK DETAIL
NOTE:
BIKE RACK TO BE MOUNTED TO 8" FOOTING 18" DEEP MINIMUM. SECURE RACK TO FOOTING WITH TAMPER PROOF ANCHORS.



B4 PARKING SIGNS
NOT TO SCALE
NOTE:
SIGNS SHOWN HERE ARE FOR ILLUSTRATION ONLY. RESERVED PARKING SIGNS PER DETAIL A4/C-502.



A4 PARKING SIGN POST
NOT TO SCALE
GENERAL NOTES:
1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE 4"x2" HSS FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM. PAINT POST POSTAL BLUE, (MATTE FINISH).
2. LOCATE POSTS 1'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.



REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group
Drawn by: MTD
Checked by: DBT
Date: 12-1-2023
Project number: 2594

SHEET TITLE

Civil Details

SHEET NUMBER

C502

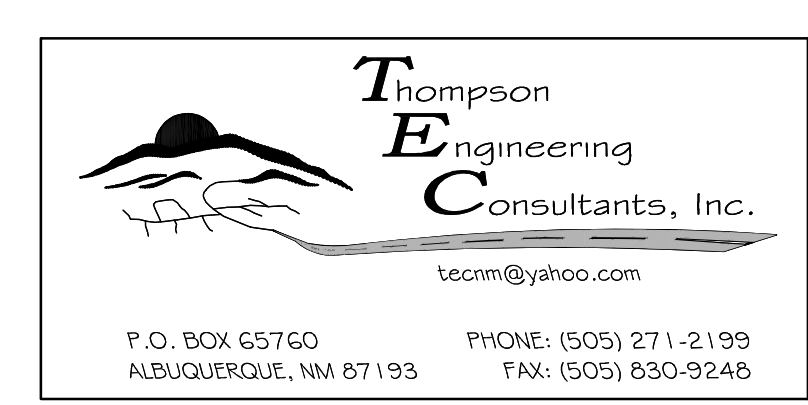


Figure 23.6.3

RECIPROCAL EASEMENTS FOR COMMON ACCESS

This Easement Agreement is entered into between PARKLAND HILLS, INC., owner of Tract A-1 Plat of Tracks A-1, B-1, & C-1 Lands of Parkland Hills Inc., being a replat of Tracks A, B, & C Lands of Parkland Hills Inc. containing 1.3742 acres M/L or 59,860 square feet M/L, City of Albuquerque, County of Bernalillo, State of New Mexico, and PARKLAND HILLS, INC., owner of Tract B-1 Plat of Tracks A-1, B-1, & C-1 Lands of Parkland Hills Inc., being a Replat of Tracks A, B, & C Lands of Parkland Hills Inc. containing 0.3981 acres M/L or 17,341 square feet M/L, City of Albuquerque, County of Bernalillo, State of New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and described as follows:

Track A-1 (2950 Central Avenue SE), and Track B-1 (2900 Central Avenue SE)

The parties desire to create a common access easement between the above-described adjoining tracks providing access, from a single access point on the abutting street, to said tracks owned by them for the benefit of each of them; therefore, agree as follows.

An easement for a common access in favor of Track B-1, owned by Parkland Hills, Inc., is created over the strip of land 50' (fifty feet) wide on the east side of the west boundary line of Track A-1 from the Central Avenue Right of Way to the south boundary of Track B-1 (see attached Exhibit A), owned by Parkland Hills, Inc., for the purpose of creating a common access easement for the benefit of both of the above-described tracks.

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run with the land.

The maintenance of the easement areas are the responsibility of the respective property owners.

In witness whereof, the parties hereto have executed this agreement as follows:

ACKNOWLEDGED:

Date 22 March 2024

Anthony Anella

Anthony Anella, President

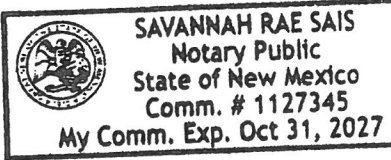
PARKLAND HILLS, INC.

WITNESSED:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 22 day of March, 192024, before me personally appeared Anthony Anella, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

Savannah Sais
Notary 1st Party



My Commission Expires

10-31-2027 :

ACKNOWLEDGED:

22 March 2024
Date 22, 192024

Anthony Anella
Owner #2

WITNESSED:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

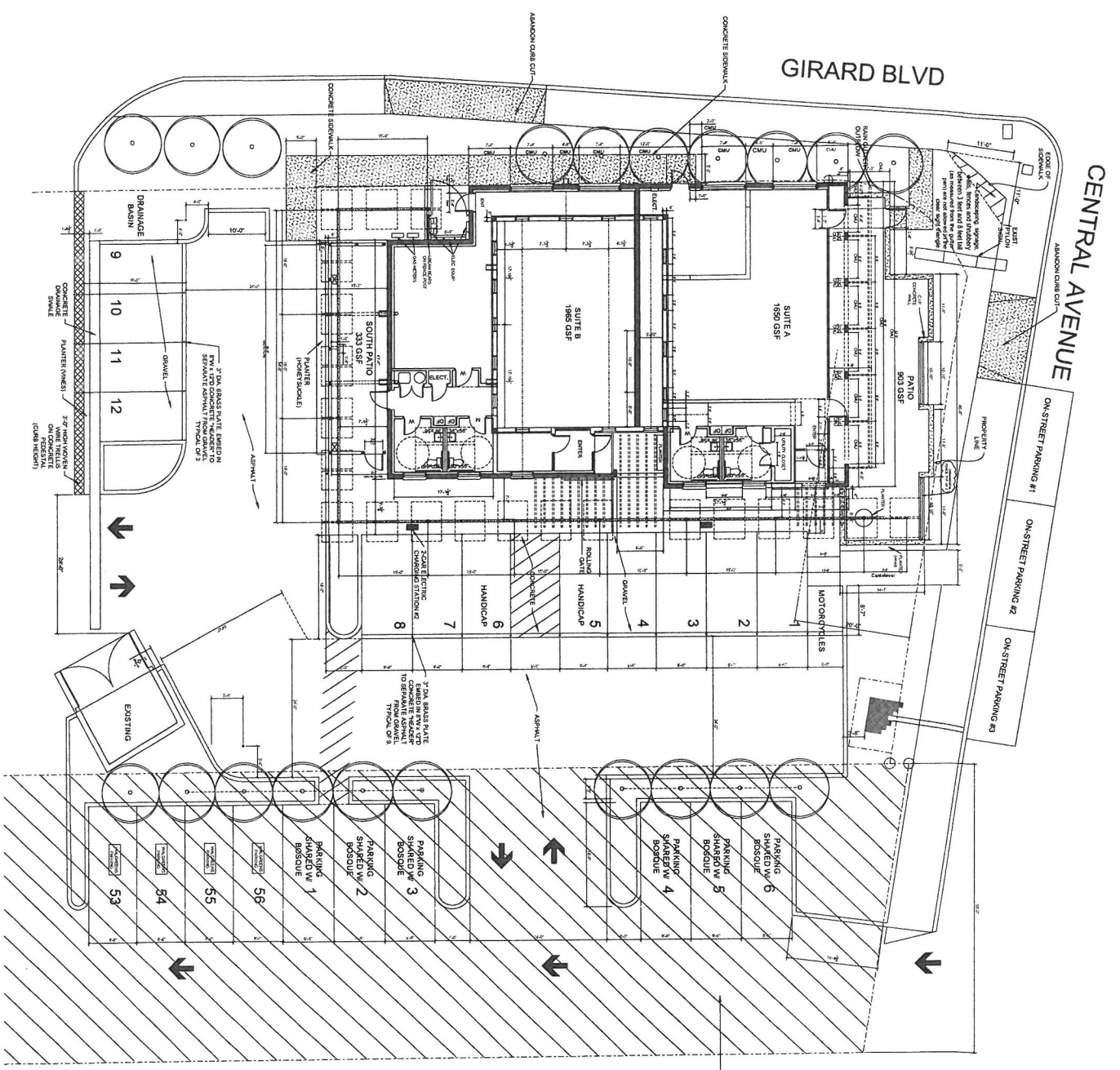
On this 22nd day of March, 192024, before me personally appeared _____, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

Rachael D. Miranda
Notary 2nd Party

My Commission Expires:

11-9-2025

STATE OF NEW MEXICO
NOTARY PUBLIC
Rachael Miranda
Commission No. 1119740
November 09, 2025



**RECIPROCAL EASEMENT
FOR COMMON ACCESS**

NOT FOR CONSTRUCTION

**ANTHONY ANELLA
ARCHITECTURE**
103 DORRIMOUTH ST., SE
ALBUQUERQUE, NM 87106
PHONE: 505.265.5713
WWW.ANELLIO.COM

2900 Central Project
2900 Central Avenue
Albuquerque, New Mexico

Revisions:

Sheet Title:
**EXHIBIT A: Reciprocal
Easement for
Common Access**

Scale: 1/8"=1'-0"
Date: 21 Mar 24
Drawn: A. Anella
Checked: A. Anella
Project: 2900 Central Project
Client: [Redacted]
Architect: Anthony Anella Architecture
Architect License: [Redacted]
Architect Registration State: NM
Architect Registration No.: [Redacted]
Architect Registration Exp. Date: [Redacted]



October 2024