

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 9, 2026

David A Aube, PE  
Hartman + Majewski Design  
120 Vassar Dr SE  
Albuquerque, NM 87106

**Re: 2900 Central Project/ 2900 Central Ave SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 02-01-24 (K16D009A)  
Certification dated 02-09-26  
TRANS-2025-00343

Dear Mr. Aube,

PO Box 1293

Based upon the information provided in your submittal received 11-24-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

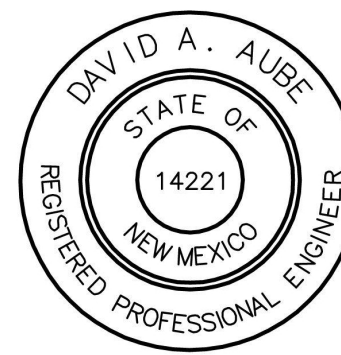
\EA via: email  
C: CO Clerk, File

Transportation Cert.(K16D009A)

I, David A Aube, NMPE 14221, representing the firm The Hartman + Majewski Design Group, hereby certify that the new building at 2900 Central Avenue SE is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout plan, prepared by David Thompson of Thompson Engineering Consultants, dated 2/1/2024. As-Built Information has been received from Andrew Medina NMSPE#12649. I certify that I have been visited the site, that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for the new building at 2900 Central Avenue SW.

This plan reflects revisions to the location of the Accessible Parking and corrections to the bike rack.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain



All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing

**TCL GENERAL NOTES**

- SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.

**TCL KEYED NOTES**

- CONCRETE VALLEY GUTTER PER DETAIL C4/C501.
- CONCRETE CUT OFF WALL PER DETAIL A5/C501.
- CONCRETE HEADER CURB, 6" TALL, PER DETAIL A5/C501.
- CONCRETE CURB ACCESS RAMP PER DETAIL A1/C501.
- CONCRETE SIDEWALK PER DETAIL C1/C501.
- CONCRETE SIDEWALK PER COA STD DWG 2430.
- STANDARD CONCRETE CURB AND GUTTER PER COA STD DWG 2415A.
- STANDARD 6" CONCRETE CURB AND GUTTER PER DETAIL A5/C501.
- 6" DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
- TURN DOWN EDGE SIDEWALK PER DETAIL C2/C501.
- ASPHALT PAVEMENT PER DETAIL D2/C501.
- GRAVEL PAVE 2 PAVEMENT PER DETAIL C1/C502. GRAVEL COLOR TO BE SELECTED BY OWNER.
- LANDSCAPED AREA. REFER TO LANDSCAPING PLANS
- PAINT CURB RED WITH 6" TALL LETTERS READING "NO PARKING FIRE LANE".
- NOT USED.
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/4" AND 6" TALL.
- ADA RESERVED PARKING STALL, PER DETAIL A1/C502.
- RESERVED PARKING SYMBOL PER DETAIL A3/C502.
- ADA RESERVED PARKING SIGN MOUNTED PER DETAIL A4/C502M B4/C502 AND C3/C502.
- ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL C3/C502, A4/C502 AND B4/C502.
- 12"x18" "MOTORCYCLE PARKING ONLY" MOUNTED PER DETAIL A4/C502.
- CONCRETE PARKING BLOCK PER DETAIL B3/C502.
- STRIPED UNLOADING ZONE PER DETAIL A1/C502.
- 2" WIDE CONCRETE SIDEWALK CULVERT PER COA STD DWG 2236.
- 4'-4" BY 4'-4" SPLASH BLOCK, 3" TO 6" COBBLES WIRE TIED PER DETAIL B4/C501 AND COA STD DWG 2270.
- 6" TALL CAST IN PLACE CONCRETE WALL PER ARCHITECTURAL ELEVATION AND STRUCTURAL DETAILS.
- FIRE DEPARTMENT KNOX BOX.
- STORM WATER RETENTION POND, SEE GRADING PLANS.
- NATURAL GAS METER OR REGULATOR SEE UTILITY PLANS.
- NOT USED.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING CURB ACCESS RAMP TO REMAIN.
- BIKE RACK PER DETAIL C4/C502.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING PYLON SIGN TO REMAIN.
- EXISTING NOB HILL GATEWAY SIGN BASE TO REMAIN.
- EXISTING REFUSE ENCLOSURE, GATES AND CONCRETE APRON TO REMAIN. PROTECT DURING CONSTRUCTION.
- PROVIDE 1" WIDE LANDSCAPING STRIP ALONG PATIO SCREEN WALL. (NOT USED)
- 12" TALL PAINTED LETTERS ON CONCRETE "MC".
- 6" THICK CONCRETE PAVEMENT PER DETAIL D4/C501.
- BRASS CAPS TO BE INSTALLED ON BOTH, TOP OF CONCRETE CUT OFF WALL, TOP OF TURNDOWN SIDEWALK, AND FACE OF THE HEADER CURB TO IDENTIFY PARKING STALL
- CONCRETE CURB ACCESS RAMP PER COA STD DWG 2441 AND 2443.

**AREA CALCULATIONS IN GROSS SF**

<b>SUITE A</b>	
Heated	1650 GSF
Patio	0903 GSF
<b>TOTAL</b>	<b>2,553 GSF</b>
<b>SUITE B</b>	
Heated	1965 GSF
Patio	0333 GSF
<b>TOTAL</b>	<b>2,298 GSF</b>
<b>TOTAL</b>	<b>4,851 GSF</b>

**PARKING CALCULATIONS**

UC-MS-PT 5 spaces / 1000 GSF (Restaurant)  
 Table 5-5-1, IDO July 2023  
 Required spaces: 4,851 GSF/1000=4.85 x 5 = 16.97; per 5-5(C)(1)(c) round down to 16 spaces

LESS 30% Reduction for proximity to transit per 5-5(C)(5)(c)(1):  
 0.3x16=4.8. Per 5-5(C)(1)(d)(1) round up to 5.  
 16 spaces - 5 = 11 spaces required.

LESS 10% Reduction for proximity to transit per 5-5(C)(5)(c)(2):  
 0.1x16=1.6. Per 5-5(C)(1)(d)(1) round up to 2.  
 11 spaces - 2 = 9 spaces required.

SPACES REQUIRED: 16 - 5 - 2 = 9

ELECTRIC VEHICLE CHARGING STATION CREDIT per 5-5(C)(6)(a): Four (4) extra spaces as credit for two 2-car electric vehicle charging station.

ON-STREET PARKING CREDIT per 5-5(C)(6)(d): 3

SPACES PROVIDED: 12 + 2 + 3 = 17

NOTES:  
 1. 900 feet from A.R.T. Stop (qualifies for PT).

One (1) = MOTORCYCLE SPACE REQUIRED per 5-5(D) & PROVIDED

Three (3) = BICYCLE SPACES REQUIRED per 5-5(E)

**SHARED PARKING WITH ADJACENT DEVELOPMENT**

**WALGREENS**

AREA 17,544 SF.  
 STANDARD 3.5 spaces / 1000 GSF (General Retail)  
 UC-MS-PT 1.75 spaces / 1000 GSF (General Retail)

Table 5-5-1, IDO July, 2023  
 Required spaces: 17,544 GSF/1000=5.12 x 3.5 = 61.4; per 5-5(C)(1)(c) round down to 61 spaces

Only 31 required utilizing UC-MS-PT.

AVAILABLE PARKING 81 STALLS. (65 in front of building and 16 spaces behind building for employees and overflow).

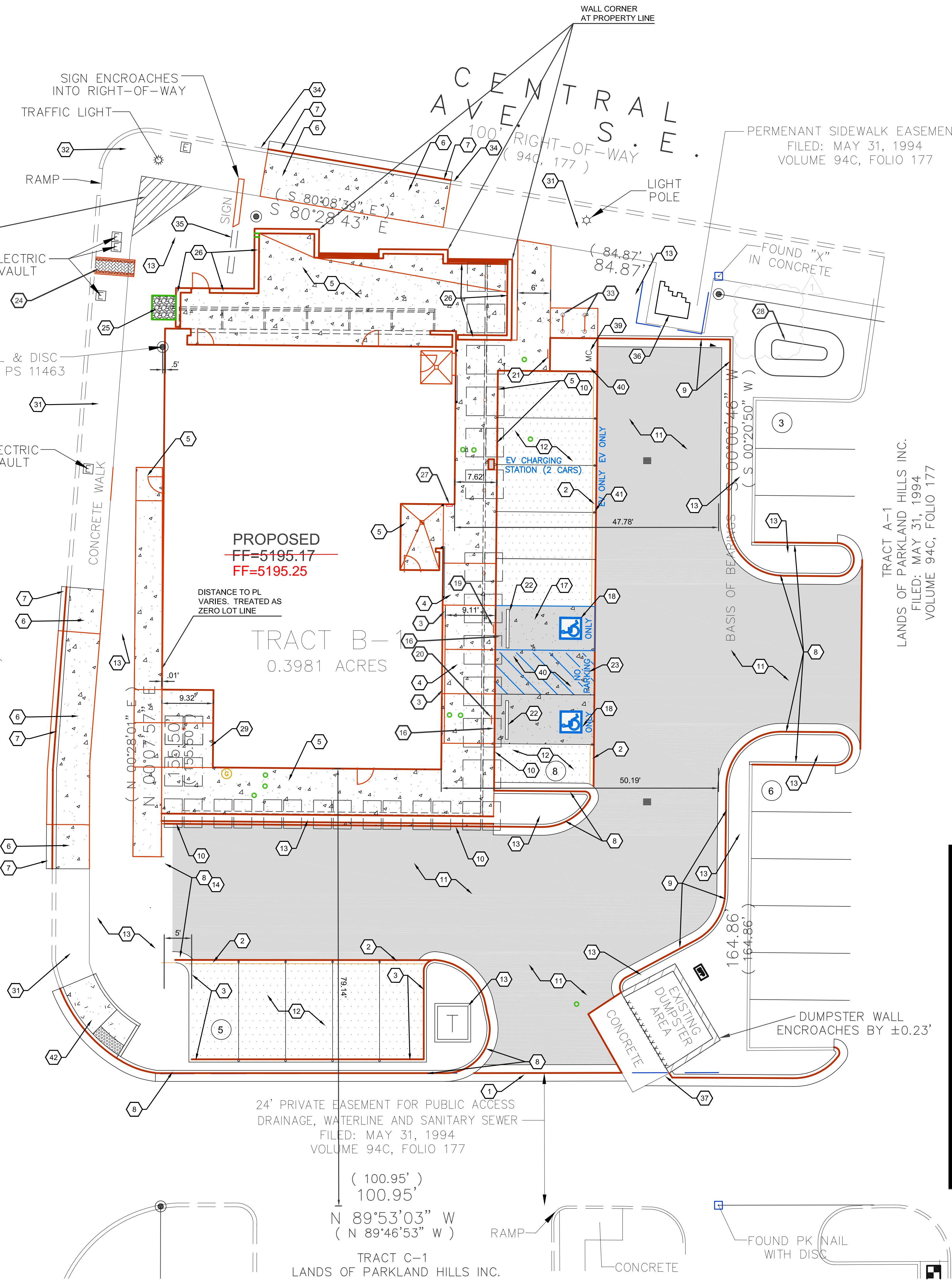
Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle

CLEAR SIGHT TRIANGLE.

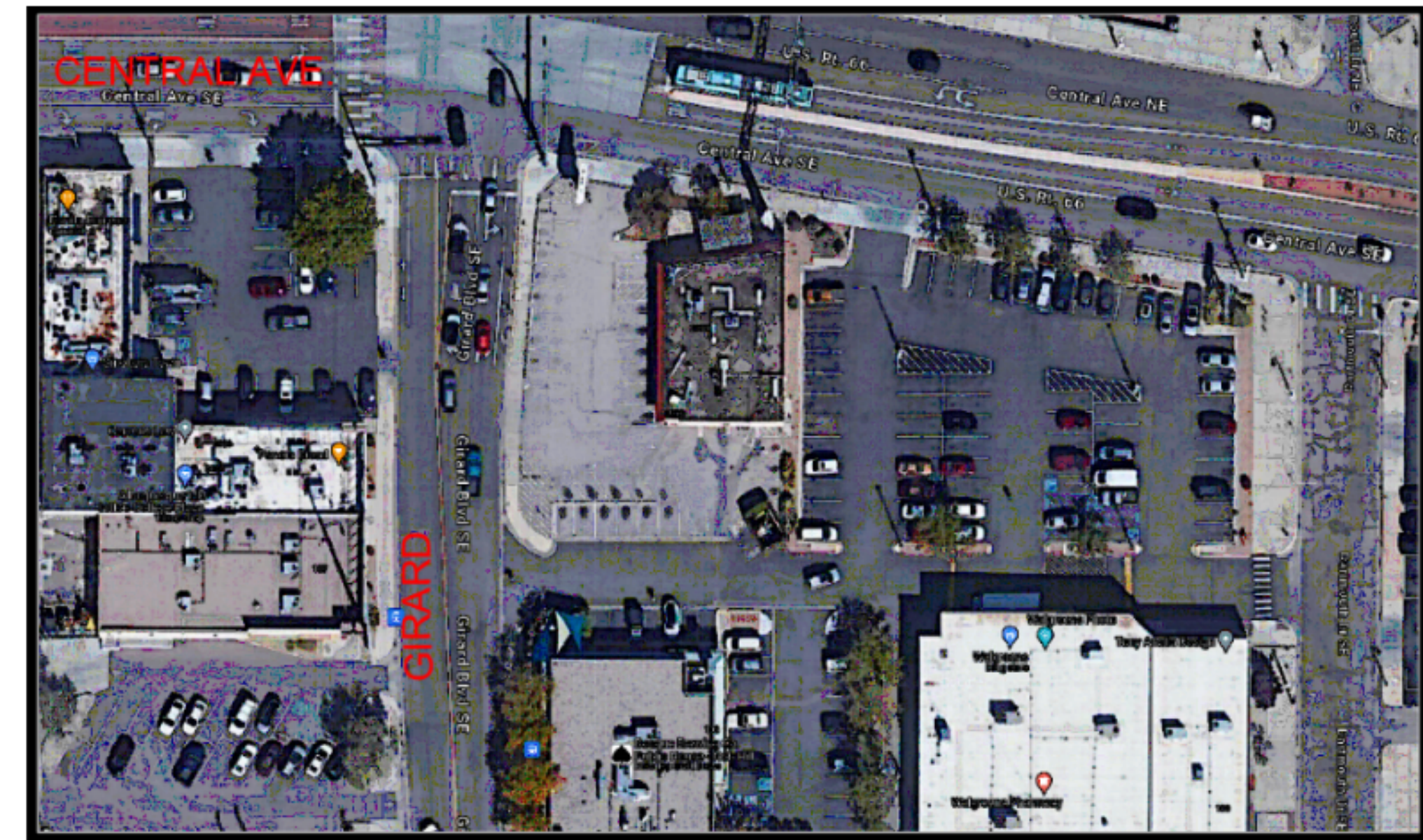
SET NAIL & DISC STAMPED PS 11463

ELECTRIC VAULT

GIRARD BLVD. S.E.  
 63' RIGHT-OF-WAY (94C, 177)



**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Amigo 3/22/2024  
 Signed \_\_\_\_\_ Date \_\_\_\_\_



**D5 AERIAL OF ACCESS ROUTES**  
 SCALE: NOT TO SCALE

**A1 TRAFFIC CIRCULATION LAYOUT**  
 1"=10'-0"



CONSULTANT

STAMP



PERMIT SET

PROJECT NAME  
**2900 Central Project**

2900 Central Ave SE  
 Albuquerque, New Mexico

Parkland Hills Inc.

**REVISIONS**

NO.	DATE	DESCRIPTION

Copyright: Design Group  
 Drawn by: MTD  
 Checked by: DBT  
 Date: 12-1-2023  
 Project number: 2594

**SHEET TITLE**

Traffic Circulation Layout

**SHEET NUMBER**

**TCL1**

Thompson Engineering Consultants, Inc.  
 tecm@yahoo.com  
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-3199 FAX: (505) 830-9240

