

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 2, 2024

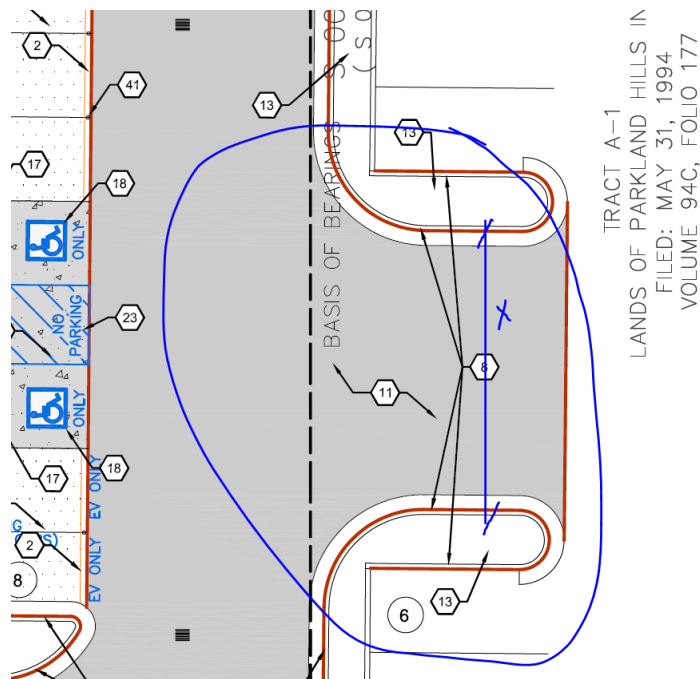
Dave Aube
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

Re: 2900 Central
2900 Central Ave. SE
Traffic Circulation Layout
Engineer's Stamp 12-01-23 (K16-D009A)

Dear Mr. Aube,

Based upon the information provided in your submittal received 12-20-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well-known landmarks.
2. Identify all existing access easements and rights of way width dimensions.
3. Please provide shared parking agreement with east side property.
4. Due to proposed new site access and removing some parking spaces from the east side property, please submit shared access agreement and parking calculation. This documentation should demonstrate that the remaining parking spaces on the east property still meet the required standard. Also, please provide the width for this access.



PO Box 1293

Albuquerque

NM 87103

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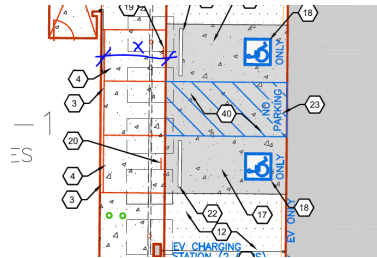
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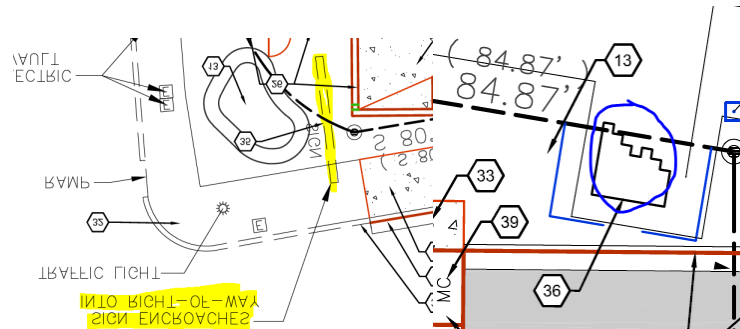


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5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
6. Show on the site plan this sidewalk width.



7. Please remove any non related transportation details from sheet C502, such as details E1,2,3,D5, and A5.
8. It appears there are two signs encroaching into right of way, either remove them or a revocable permit is required.



9. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
10. Provide a copy of Fire Marshal approval.
11. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
12. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
13. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
14. Please provide a letter of response for all comments given.

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

PO Box 1293
Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Albuquerque

NM 87103

\ma via: email
C: CO Clerk, File

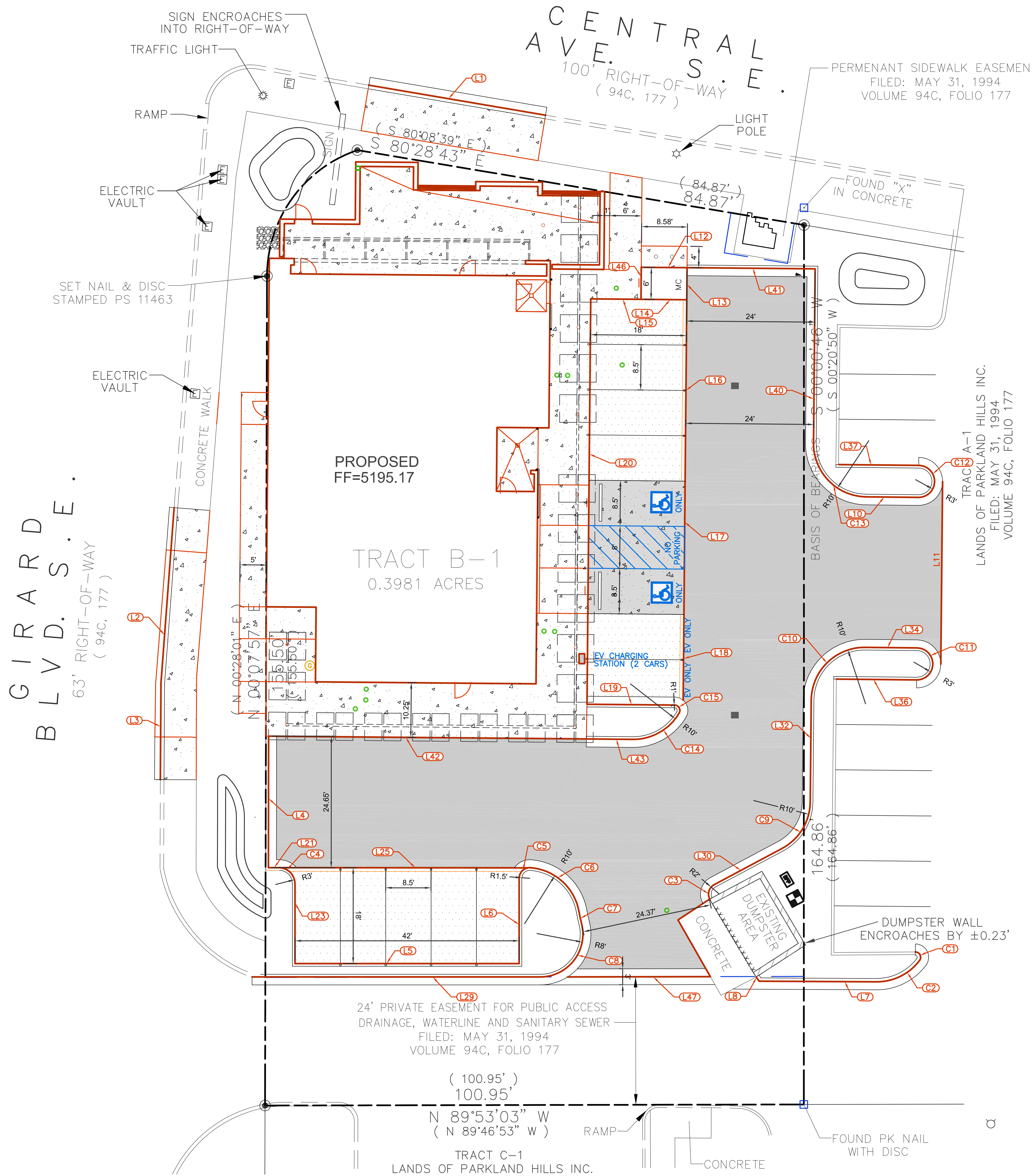
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A1

TRAFFIC CIRCULATION LAYOUT

1"=10'-0"



TCL GENERAL NOTES

I. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

Curve Table					
Curve #	Length	Radius	Delta	Chrd. Len.	Chrd Brg.
C1	2.20	1.00	126°16'17"	1.78	N26°20'29"W
C2	9.34	10.00	53°30'59"	9.00	N63°33'08"E
C3	3.14	2.00	90°00'00"	2.83	S16°56'29"W
C4	4.71	3.00	89°57'14"	4.24	N44°59'14"W
C5	3.30	2.00	94°29'26"	2.94	S47°14'06"W
C6	13.22	10.00	75°46'18"	12.28	N47°38'02"W
C7	2.22	26.00	4°53'41"	2.22	N12°11'43"W
C8	14.61	8.00	104°37'57"	12.66	N37°40'25"E
C9	10.72	10.00	61°25'03"	10.21	S31°13'58"W
C10	15.71	10.00	89°59'56"	14.14	S45°31'24"W
C11	9.42	3.00	180°00'00"	6.00	N0°31'22"E
C12	9.42	3.00	180°00'00"	6.00	S0°31'22"W
C13	15.71	10.00	90°00'04"	14.14	N44°28'36"W
C14	10.48	10.00	60°01'35"	10.00	N60°30'37"E
C15	2.09	1.00	119°58'23"	1.73	N29°29'22"W

Line Table		
Line #	Length	Direction
L1	33.58	S80° 21' 51"E
L2	33.20	N4° 15' 59"E
L3	17.96	N0° 20' 36"E
L4	24.65	N0° 04' 17"E
L5	42.00	S89° 59' 23"W
L6	15.98	S0° 00' 37"E
L7	22.00	S89° 41' 22"E
L8	0.97	S35° 01' 30"E
L10	9.74	N89° 28' 38"W
L11	34.22	N0° 33' 39"E
L12	8.58	N89° 29' 55"W
L13	6.01	S0° 31' 26"W
L14	8.58	N89° 28' 24"W
L15	9.42	N89° 28' 43"W
L16	34.00	S0° 31' 26"W
L17	25.00	N0° 31' 26"E
L18	16.08	S0° 31' 26"W
L19	16.40	N89° 28' 34"W
L20	76.00	N0° 31' 26"E
L21	1.98	N89° 57' 50"W
L23	14.98	N0° 00' 37"W
L25	46.64	N89° 57' 50"W
L29	54.01	N89° 59' 23"E
L30	14.41	S61° 56' 29"W
L32	19.06	S0° 31' 26"W
L34	9.72	N89° 28' 38"W
L36	15.06	S89° 28' 38"E
L37	15.01	S89° 28' 38"E
L40	32.66	N0° 31' 26"E
L41	24.00	N89° 29' 55"W
L42	59.55	N89° 29' 57"W
L43	8.67	S89° 28' 34"E
L46	6.00	N0° 30' 05"E
L47	26.75	N89° 53' 03"E



CONSULTANT

STAMP



PERMIT SET

PROJECT NAME
2900 Central Project

2900 Central Ave SE
Albuquerque, New Mexico

Parkland Hills Inc.

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

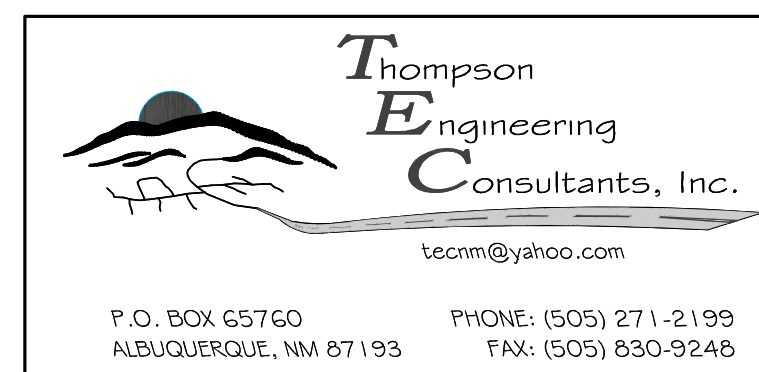
Drawn by: MTD
Checked by: DBT
Date: 12-1-2023
Project number: 2594

SHEET TITLE

Traffic
Circulation
Layout

SHEET NUMBER

TCL2





CONSULTANT

TCL GENERAL NOTES

- I. SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.

TCL KEYED NOTES

1. CONCRETE VALLEY GUTTER PER DETAIL C4/C501.
2. CONCRETE CUT OFF WALL PER DETAIL A5/C501.
3. CONCRETE HEADER CURB, 6" TALL, PER DETAIL A5/C501.
4. CONCRETE CURB ACCESS RAMP PER DETAIL A1/C501.
5. CONCRETE SIDEWALK PER DETAIL C1/C501.
6. CONCRETE SIDEWALK PER COA STD DWG 2443.
7. STANDARD CONCRETE CURBS AND GUTTER PER COA STD DWG 2415A.
8. STANDARD 6" CONCRETE CURB AND GUTTER PER DETAIL A5/C501.
9. 6" DEPRESSIONED CURB AND GUTTER PER DETAIL A5/C501.
10. TURN DOWN DITCH SIDEWALK PER DETAIL C2/C501.
11. ASPHALT PAVEMENT PER DETAIL D2/C501.
12. GRAVEL PAVE 2 PAVEMENT PER DETAIL C1/C502.
13. LANDSCAPED AREA. REFER TO LANDSCAPING PLANS
14. PAINT CURB RED WITH 6" TALL LETTERS READING "NO PARKING FIRE LANE".
15. CURB ACCESS RAMP PER COA STD DETAIL 2443.
16. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN $\frac{1}{2}$ " AND 6" TALL.
17. ADA RESERVED PARKING STALL, PER DETAIL A1/C502.
18. RESERVED PARKING SYMBOL PER DETAIL A3/C502.
19. ADA RESERVED PARKING SIGN MOUNTED PER DETAIL A4/C502M B4/C502, AND C3/C502.
20. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED PER DETAIL C3/C502, A4/C502 AND B4/C502.
21. 12"x18" MOTORCYCLE PARKING ONLY" MOUNTED PER DETAIL A4/C502.
22. CONCRETE PARKING BLOCK PER DETAIL B3/C502.
23. STRIPED UNLOADING ZONE PER DETAIL A1/C502.
24. 5" WIDE CONCRETE SIDEWALK CULVERT PER DETAIL B3/C501.
25. 4" BY 4" SPLASH BLOCK, 3" TO 6" COBBLES WIRE TIED PER DETAIL A1/C501 AND COA STD DWG 2270.
26. 6" TALL CAST IN PLACE CONCRETE WALL, PER ARCHITECTURAL ELEVATION AND STRUCTURAL DETAILS.
27. FIRE DEPARTMENT KNOX BOX.
28. STORM WATER RETENTION POND, SEE GRADING PLANS.
29. NATURAL GAS METER OR REGULATOR SEE UTILITY PLANS.
30. CONCRETE DRIVEPAD PER COA STANDARD DRAWING 2425A.
31. EXISTING CONCRETE SIDEWALK TO REMAIN.
32. EXISTING CURB ACCESS RAMP TO REMAIN.
33. BIKE RACK PER DETAIL C4/C502.
34. EXISTING CURB AND GUTTER TO REMAIN.
35. EXISTING PYLON SIGN TO REMAIN.
36. EXISTING NOB HILL GARDEN WALL BASE TO REMAIN.
37. EXISTING REFUSAL ENCLOSURE, GATES AND CONCRETE APRON TO REMAIN. PROTECT DURING CONSTRUCTION.
38. PROVIDE 1" WIDE UNLOADING STRIP ALONG PATIO SCREEN WALL. (NOT USED)
39. 12" TALL PAINTED LETTERS ON CONCRETE "MC".
40. 6" THICK CONCRETE PAVEMENT PER DETAIL D4/C501.
41. BRASS CAPS TO IDENTIFY DETAIL C1/C501.
42. CONCRETE SIDEWALK TO IDENTIFY PARKING STALL

STAMP

PERMIT SET

PROJECT NAME
2900 Central Project

2900 Central Ave SE
Albuquerque, New Mexico

Parkland Hills Inc.

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

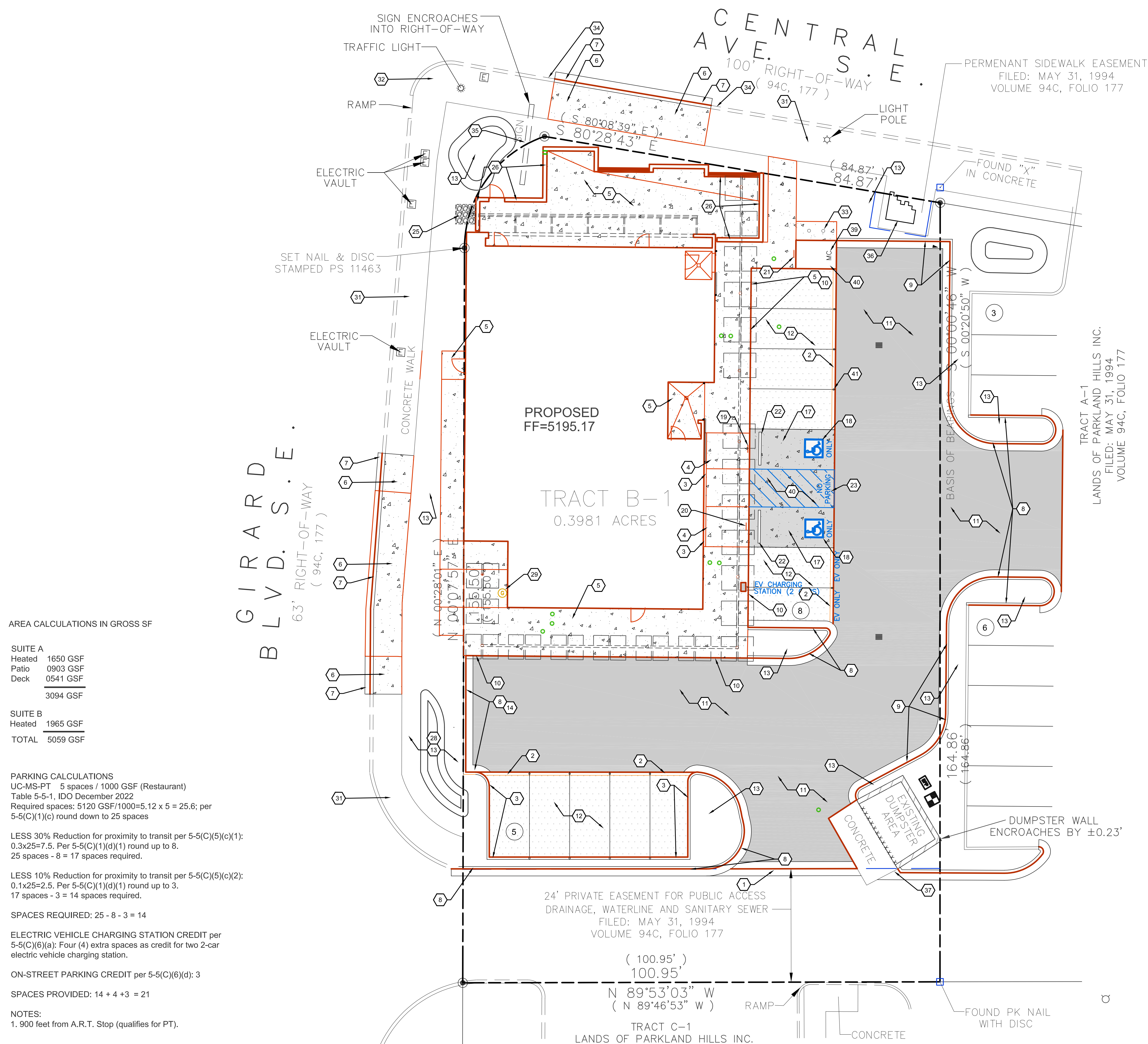
Drawn by	M
Checked by	D
Date	12-1-202
Project number	25

SHEET TITLE

Traffic Circulation Layout

SHEET NUMBER

TCL1



AREA CALCULATIONS IN GROSS SF

SUITE A	
Heated	1650 GSF
Patio	0903 GSF
Deck	0541 GSF
	<hr/> 3094 GSF

SUITE B	
Heated	1965 GSF
	<hr/>
TOTAL	5059 GSF

PARKING CALCULATIONS

PARKING CALCULATIONS
UC-MS-PT 5 spaces / 1000 GSF (Restaurant)
Table 5-5-1, IDO December 2022
Required spaces: $5120 \text{ GSF} / 1000 = 5.12 \times 5 = 25.6$; per
5-5(C)(1)(c) round down to 25 spaces

LESS 30% Reduction for proximity to transit per 5-5(C)(5)(c)(1):
 $0.3 \times 25 = 7.5$. Per 5-5(C)(1)(d)(1) round up to 8.
 25 spaces - 8 = 17 spaces required.

LESS 10% Reduction for proximity to transit per 5-5(C)(5)(c)(2):
 $0.1 \times 25 = 2.5$. Per 5-5(C)(1)(d)(1) round up to 3.
 17 spaces - 3 = 14 spaces required.

SPACES REQUIRED: $25 - 8 - 3 = 14$

ELECTRIC VEHICLE CHARGING STATION CREDIT per 5-5(C)(6)(a): Four (4) extra spaces as credit for two 2-car electric vehicle charging station.

ON-STREET PARKING CREDIT per 5-5(C)(6)(d): 3

NOTES:
1. 900 feet from A.R.T. Stop (qualifies for PT)

One (1) = MOTORCYCLE SPACE REQUIRED per 5-5(D) & PROVIDED

Three (3) = BICYCLE SPACES REQUIRED per 5-5(E)

A1 TRAFFIC CIRCULATION LAYOUT
1"=10'-0"

$$1'' = 10' - 0'$$
