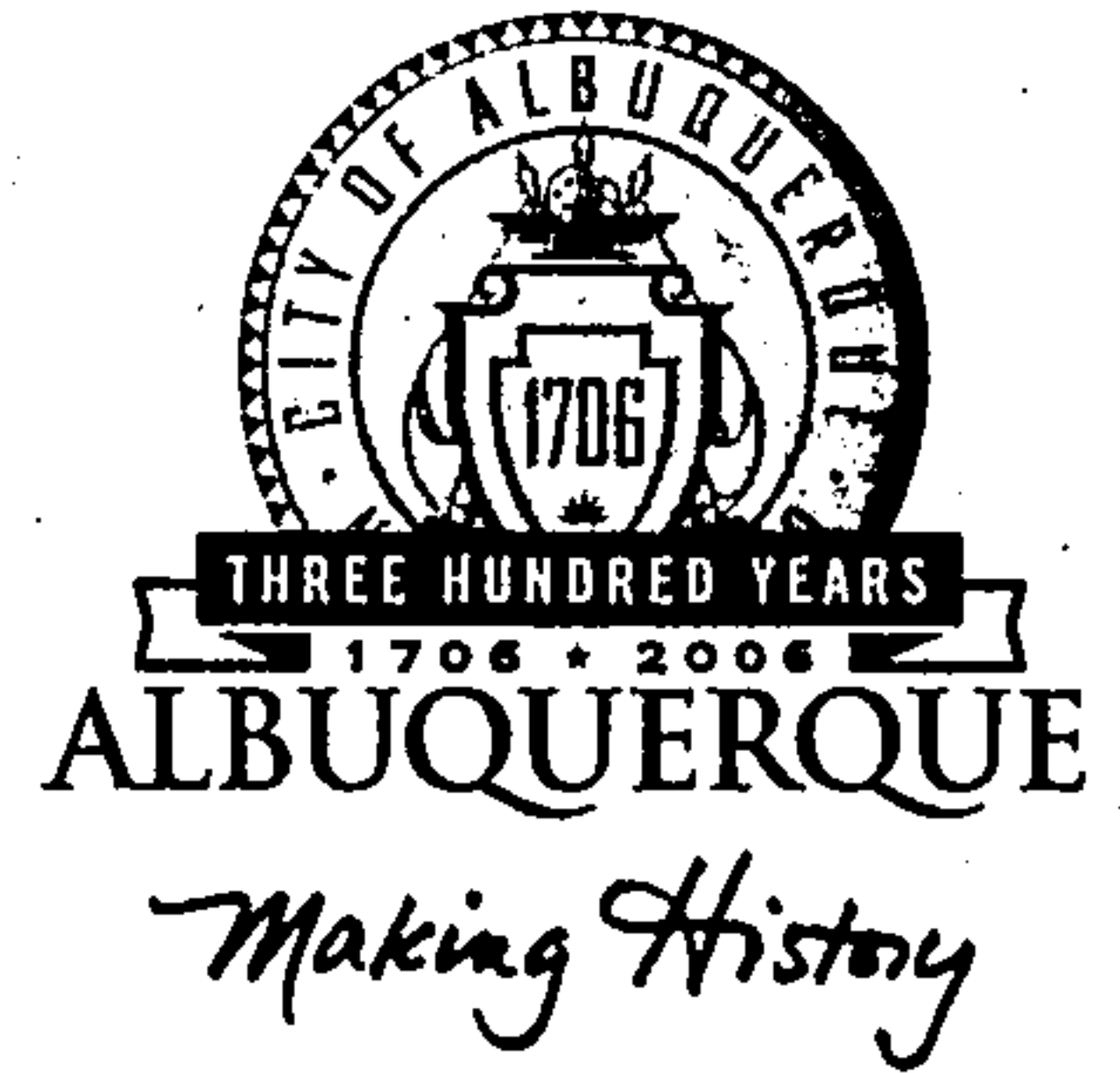


CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

April 13, 2006

David A. Aube, P.E.,
202 Central Ave. SE, Ste.200
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Outpost Performance Space, [K-16 / D12]
210 Yale Avenue SE
Engineer's Stamp Dated 04/12/06

Dear Mr. Aube:

P.O. Box 1293

The TCL / Letter of Certification submitted on April 12, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

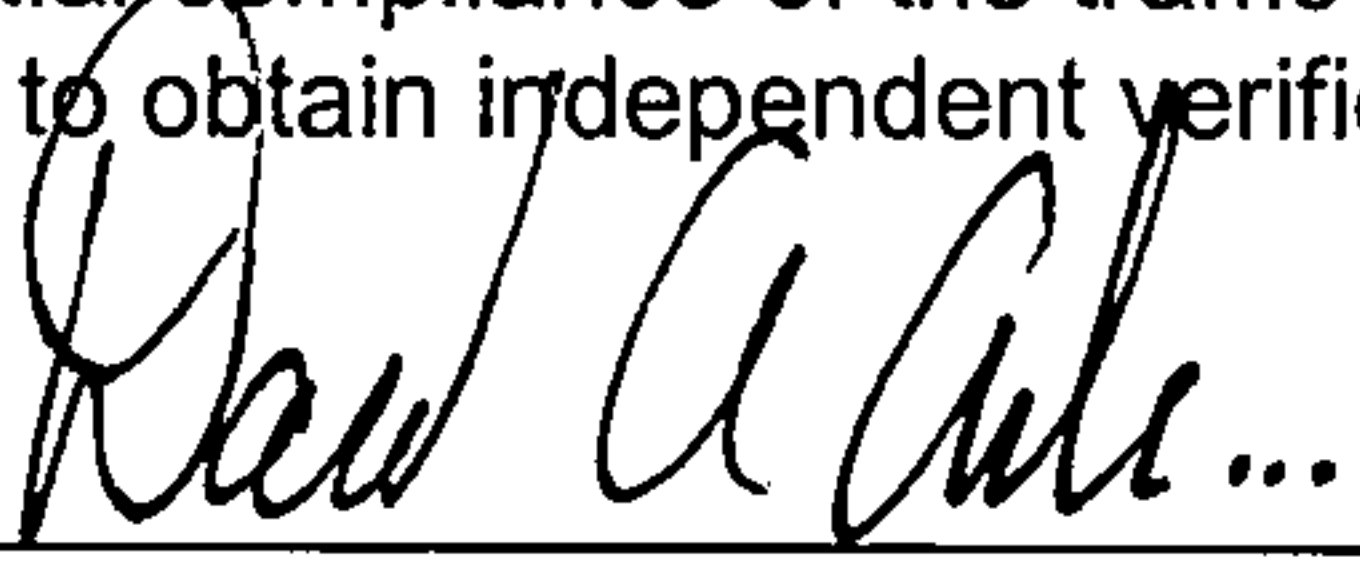
c: Engineer
Hydrology file
CO Clerk

April 12, 2006

Traffic Certification

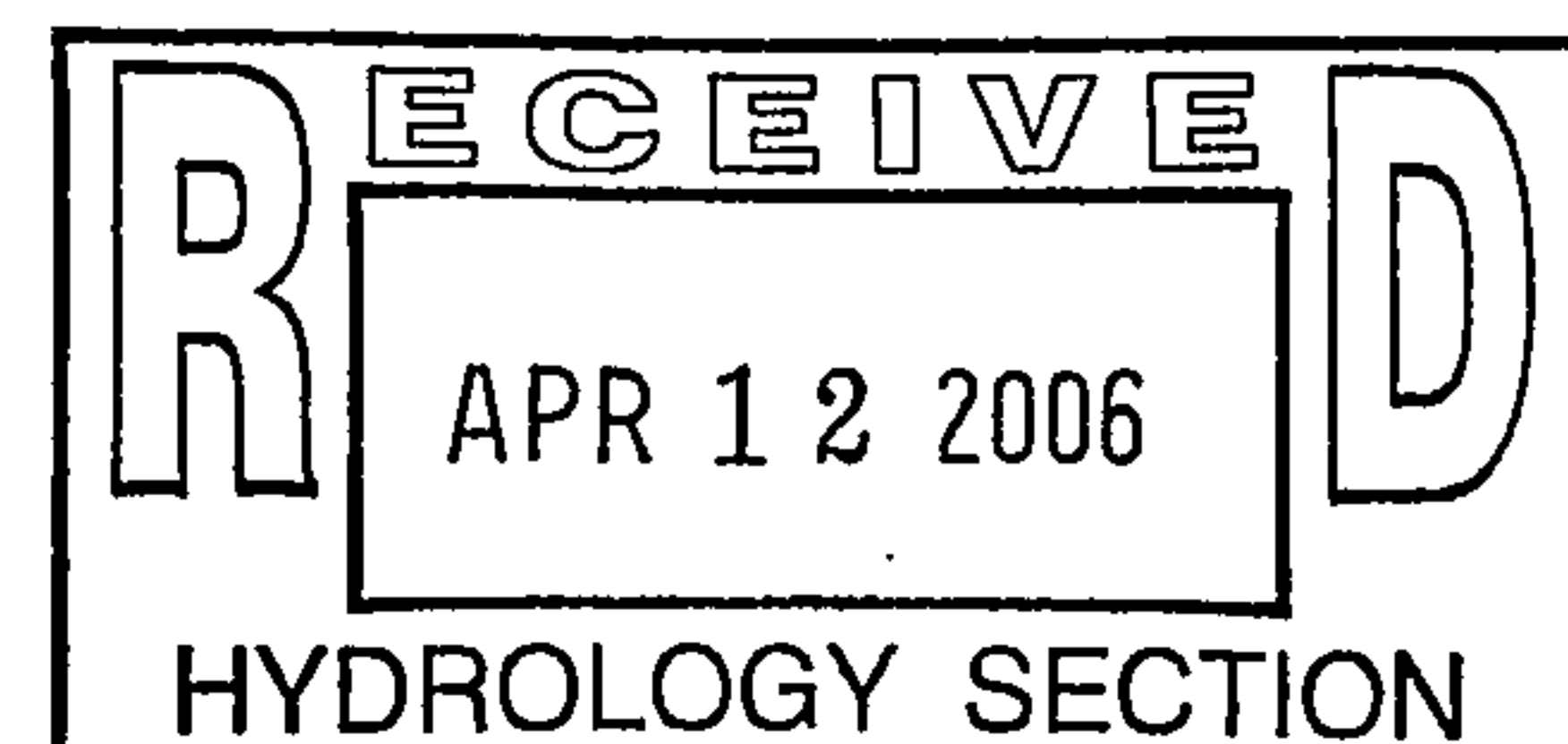
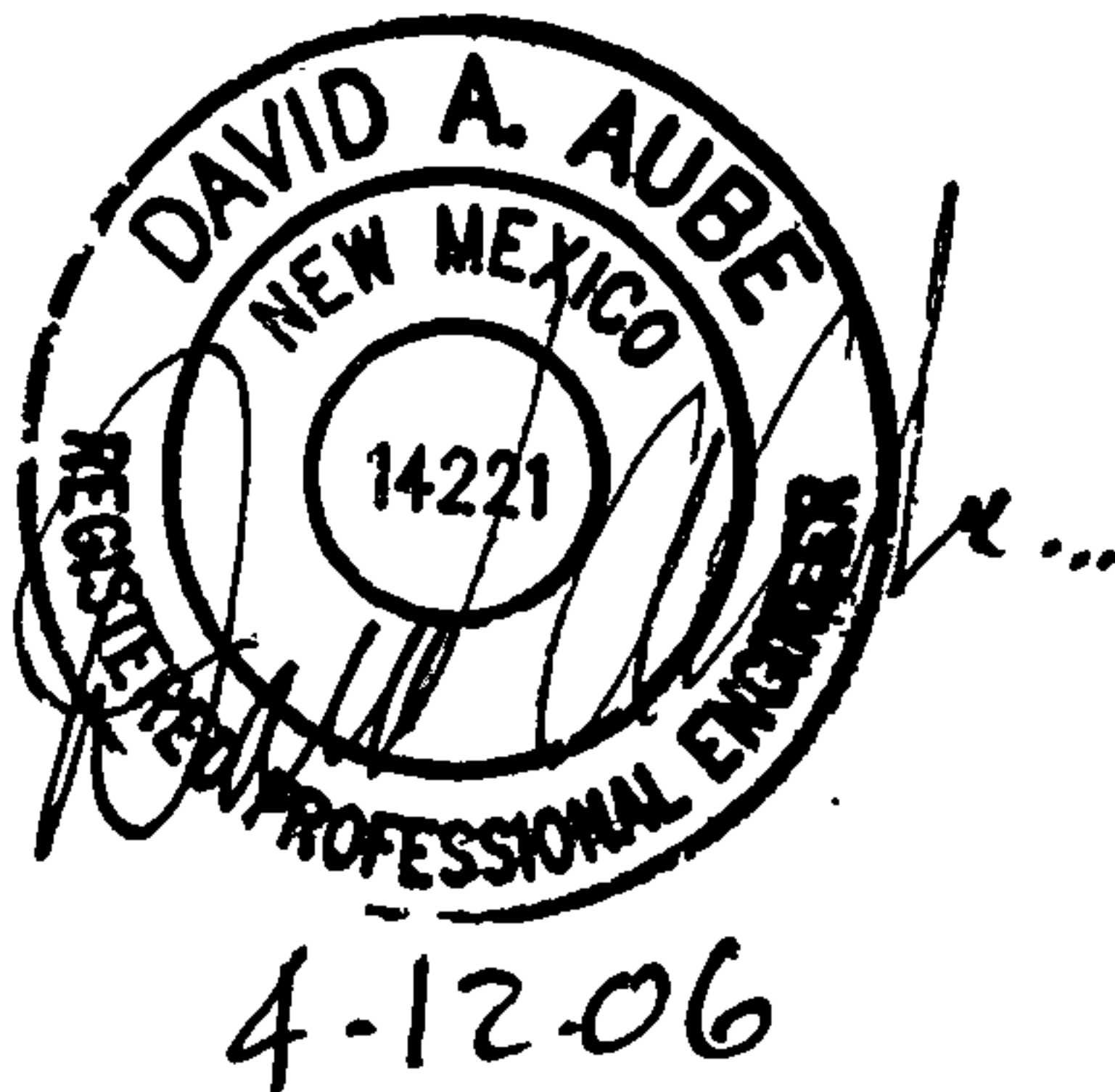
I, David A Aube. NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment to the Site Development Plan for Building Permit approved and dated Nov 19, 2004. The record information edited onto the original design documents has been obtained by Brent Murray, BDM Construction. I further certify that I have personally visited the project site on March 29, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



David A. Aube P.E.
Principal
The Hartman & Majewski Design Group, Inc.

4-12-06



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Outpost Performance Space
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: K-16-7D12
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 5 and 6 of Block 2, University Heights Addition
CITY ADDRESS: 210 Yale Avenue SE
210

ENGINEERING FIRM: Design Group
ADDRESS: 202 Central Avenue Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: David Aube
PHONE: 242-6880
ZIP CODE: 87106

OWNER: Outpost Performance Space
ADDRESS: 210 Yale Avenue S.E.
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: MW Architecture
ADDRESS: 1245 Princeton Drive N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Mark Weaver
PHONE: 255-8045
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

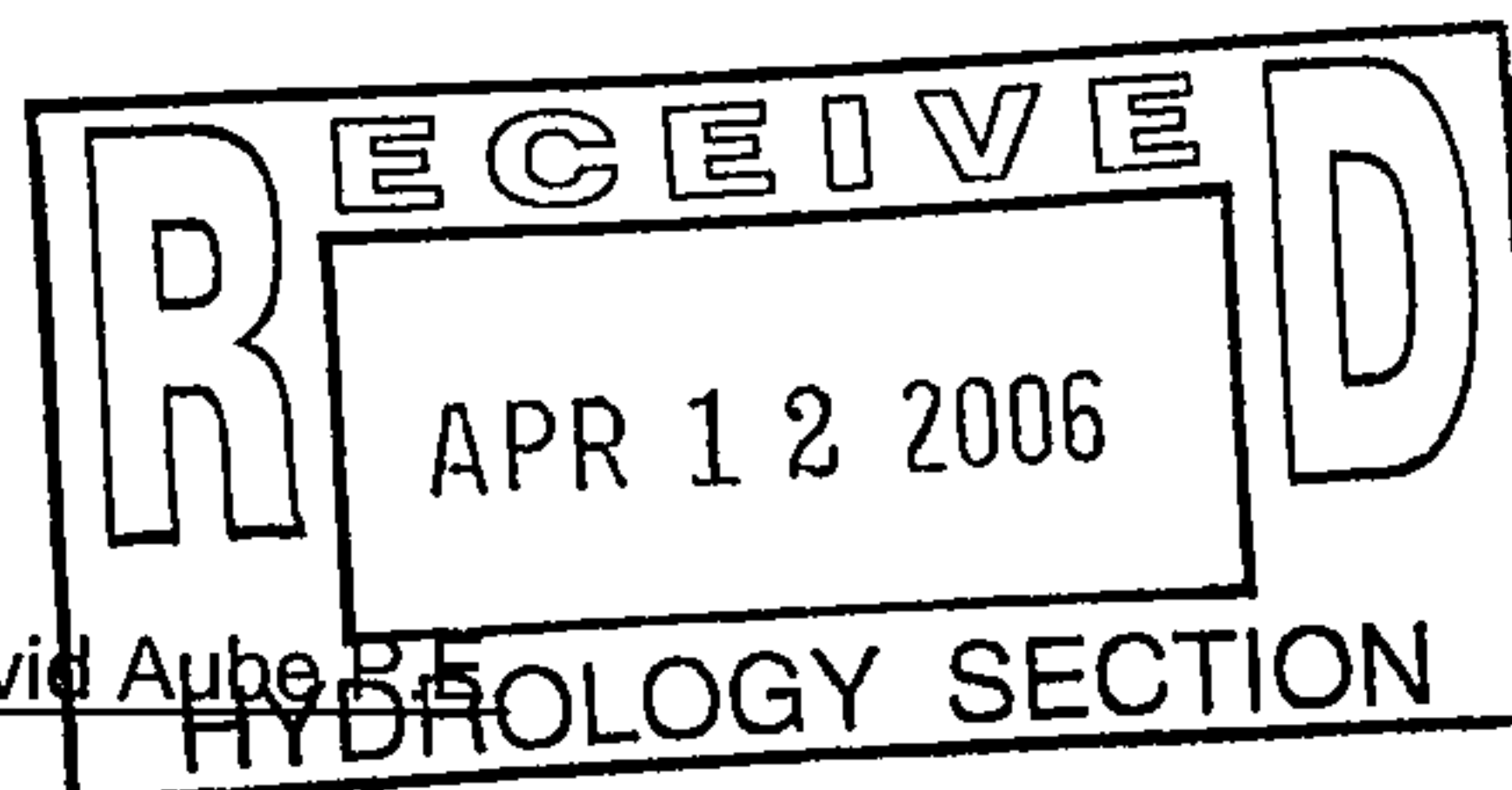
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4-12-06

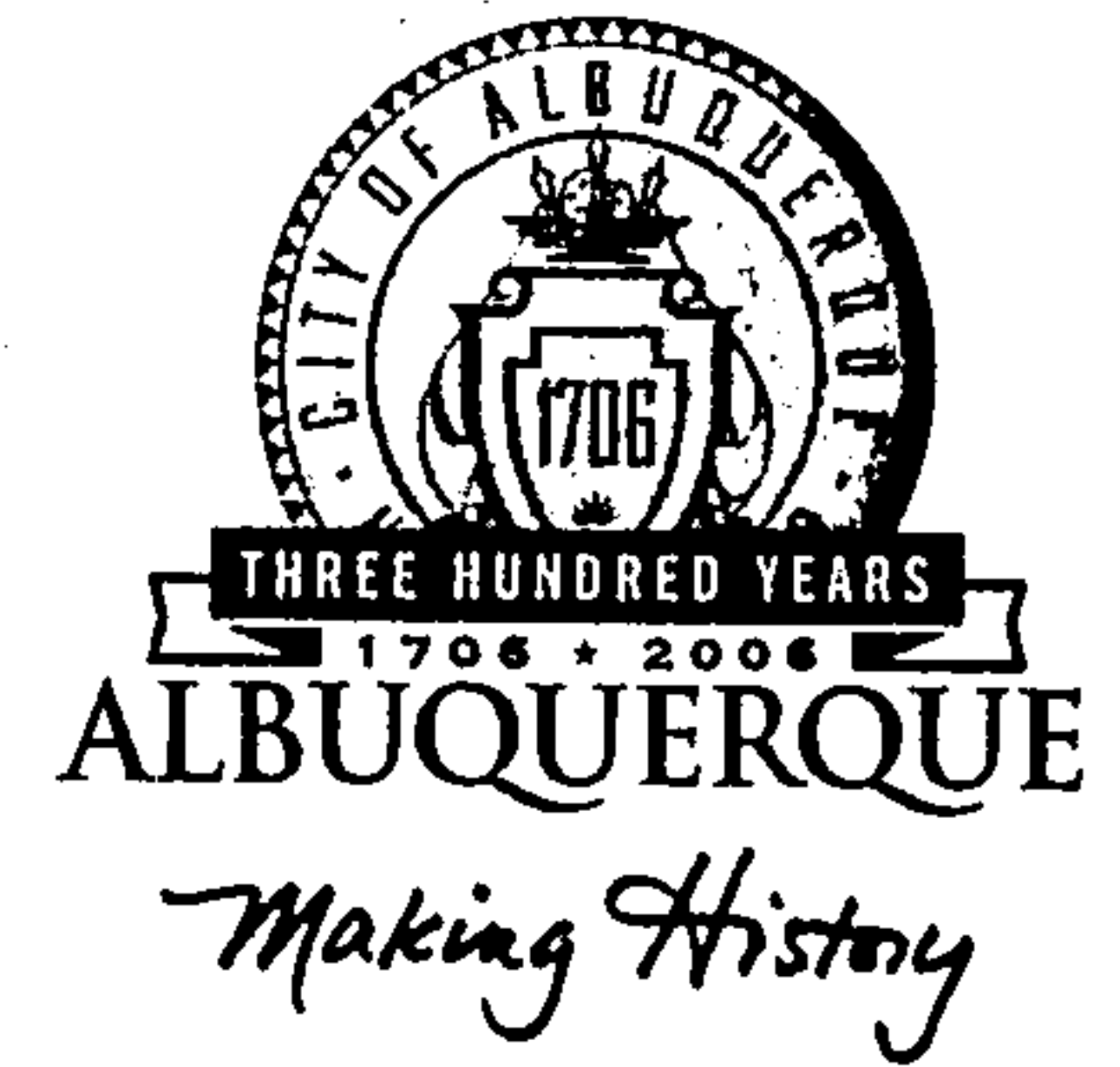
BY: David Aube, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 12, 2006

Mr. David Aube, P.E.
DESIGN GROUP
202 Central Avenue SE, Suite 200
Albuquerque, NM 87102

Re: OUTPOST PERFORMANCE SPACE
210 Yale Blvd. SE
Approval of Permanent Certificate of Occupancy (C.O.)
Approved Engineer's Stamp dated 09/07/2005/2005 (K-16/D12)
Certification dated 04/12/2006

Dear David:

P.O. Box 1293

Based upon the information provided in your submittal received 04/12/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Outpost Performance Space
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: K-16-112
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 5 and 6 of Block 2, University Heights Addition
CITY ADDRESS: 24 Yale Avenue SE
210

ENGINEERING FIRM: Design Group
ADDRESS: 202 Central Avenue Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: David Aube
PHONE: 242-6880
ZIP CODE: 87106

OWNER: Outpost Performance Space
ADDRESS: 210 Yale Avenue S.E.
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: MW Architecture
ADDRESS: 1245 Princeton Drive N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Mark Weaver
PHONE: 255-8045
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

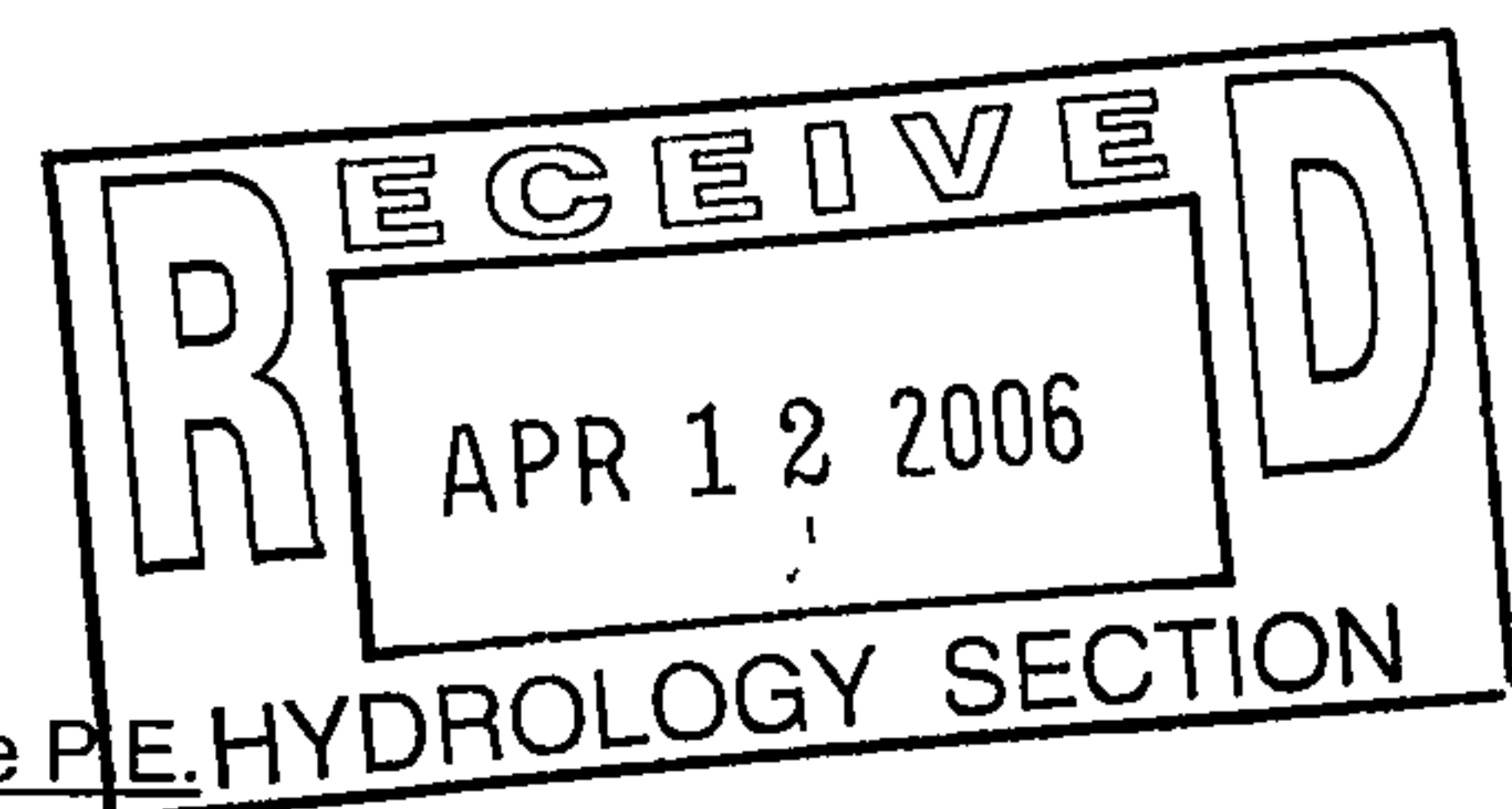
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4-12-06

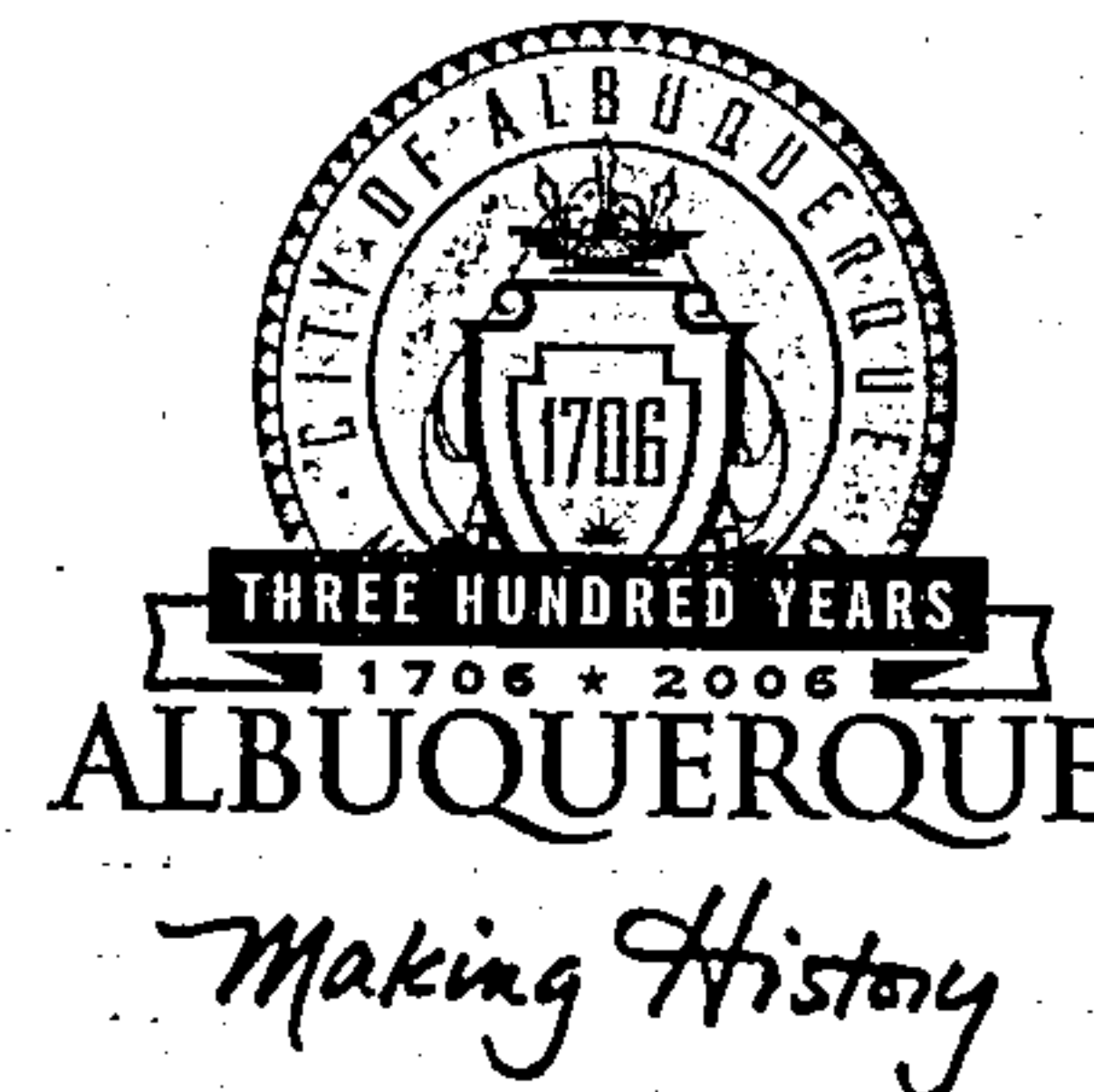
BY: David Aube



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 7, 2005

David Aube, PE
The Design Group
202 Central SE, Ste 200
Albuquerque, NM 87102

**Re: Outpost Performance Space Building Addition Grading and Drainage Plan
Engineer Stamp 9-7-05 (K16/D12)**

Dear Mr. Aube,

Based upon information provided in your submittal dated 8-18-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Outpost Performance Space

DRB #: _____

EPC#: _____

1002049

Admin Amend #04-01640

ZONE MAP/DRG. FILE #: K-16-7D12

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 5 and 6 of Block 2, University Heights Addition

CITY ADDRESS: 210 Yale Avenue SE

ENGINEERING FIRM: Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: David Aube

PHONE: 242-6880

ZIP CODE: 87106

OWNER: Outpost Performance Space

ADDRESS: 210 Yale Avenue S.E.

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: MW Architecture

ADDRESS: 1245 Princeton Drive N.E.

CITY, STATE: Albuquerque, NM

CONTACT: Mark Weaver

PHONE: 255-8045

ZIP CODE: 87106

SURVEYOR: _____

ADDRESS: \

CITY, STATE: _

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

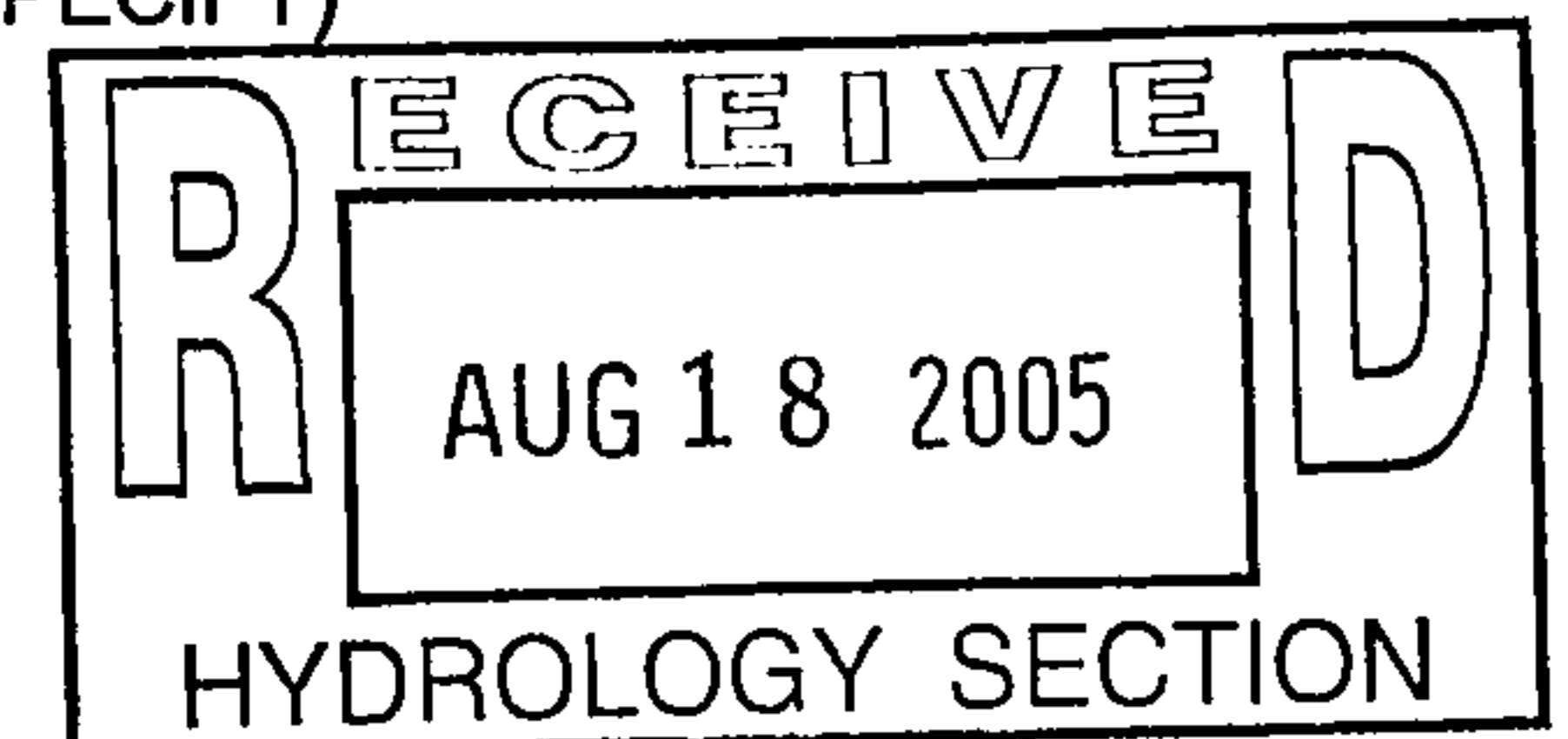
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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- ☐ CLOMR/LOMR
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

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- ☐ NO
- ☐ COPY PROVIDED

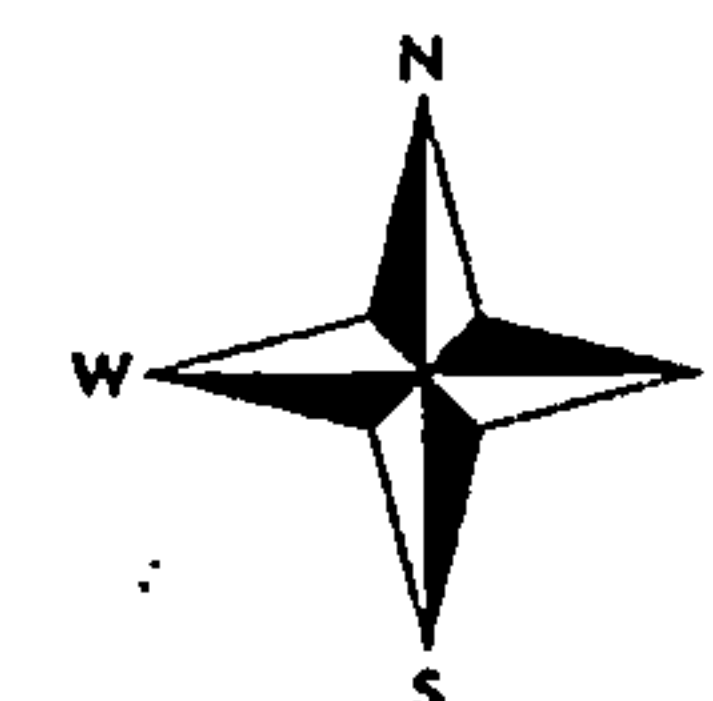
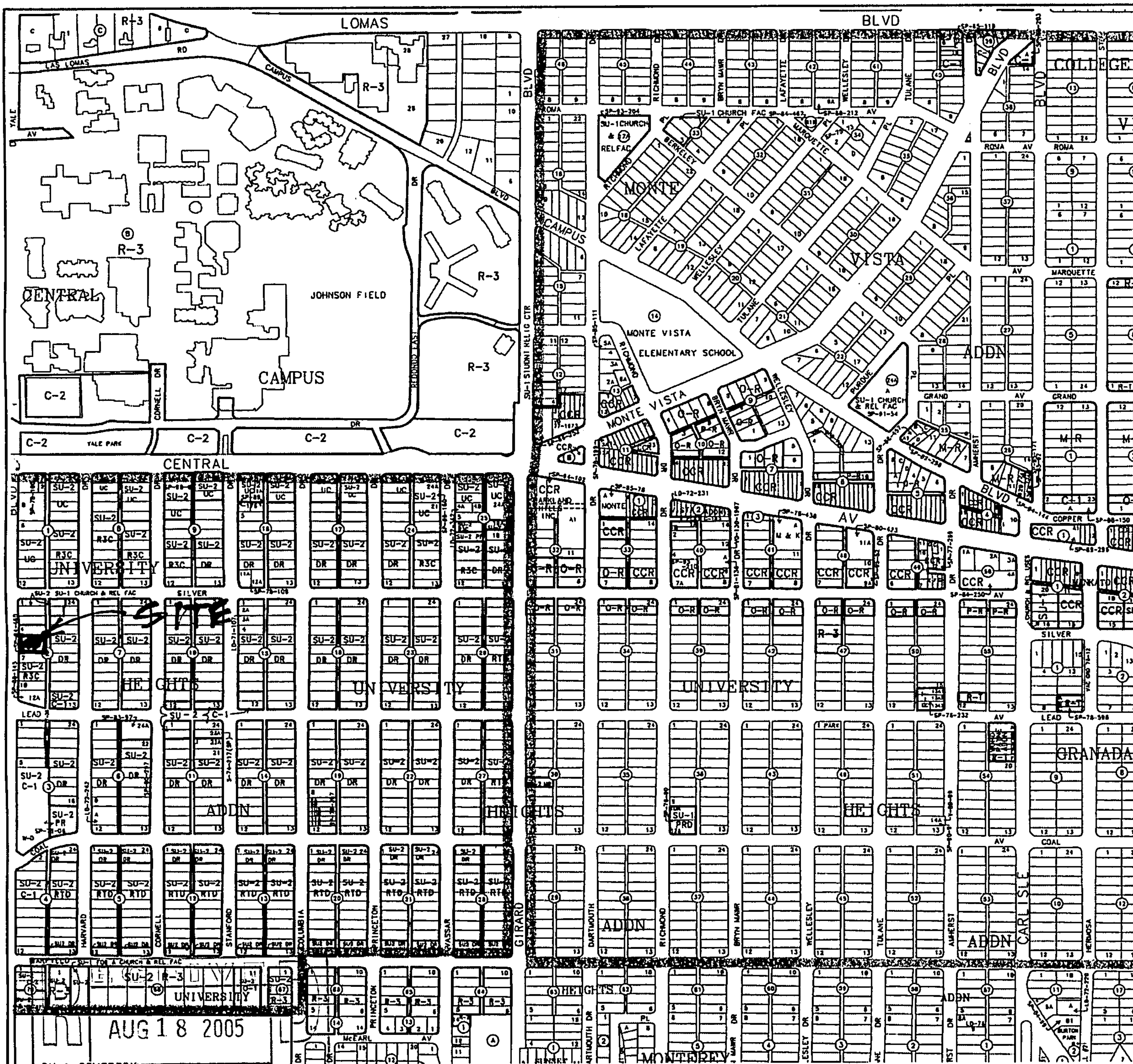


DATE SUBMITTED: 8-18-05

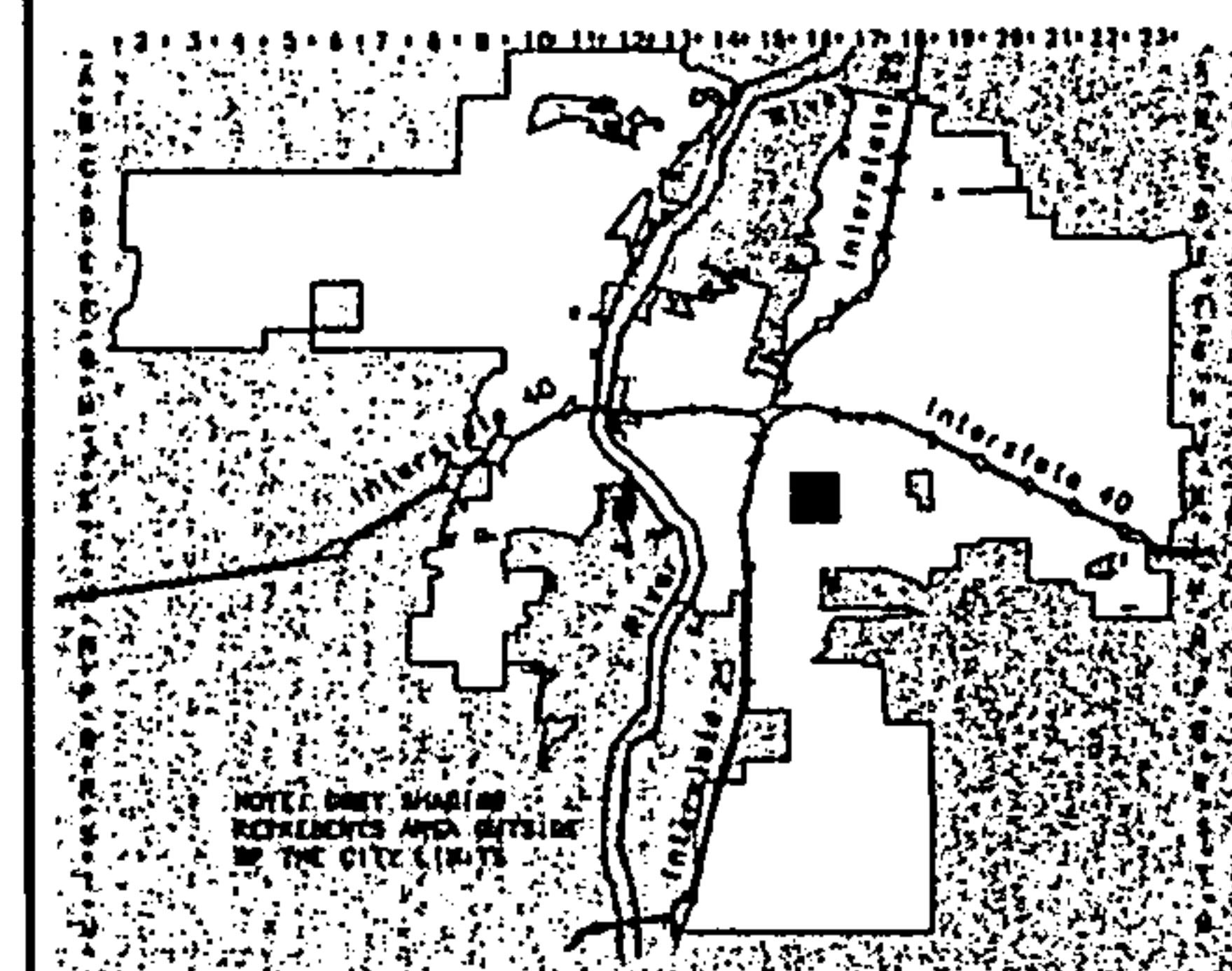
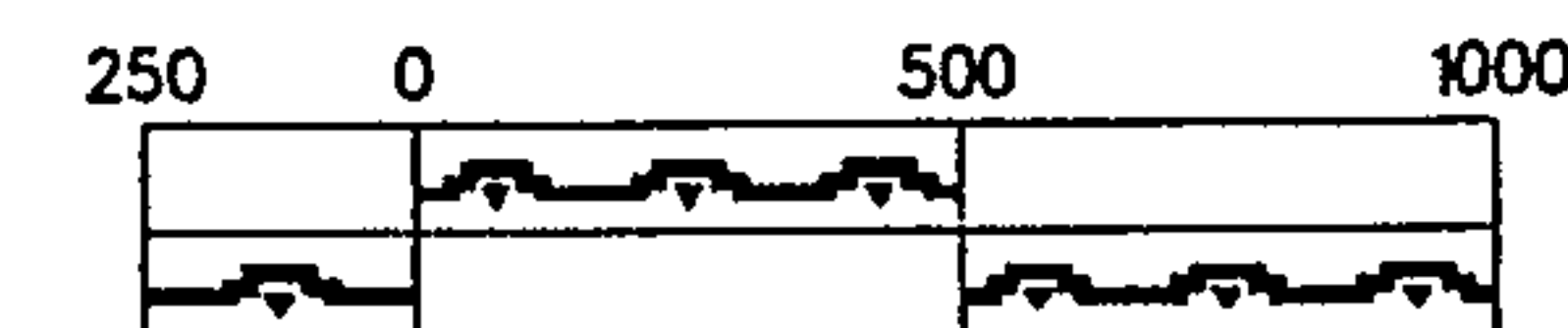
BY: David Aube P.E.

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GRAPHIC SCALE IN FEET



Zone Atlas Page
K-16-Z

**Map Amended through
February 28, 1998**