

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

September 8, 2015

Dough Heller  
Mullen Heller Architecture, P.C.  
1718 Central Ave., SW Suite D  
Albuquerque, NM 87104

**Re: Building Renovations @ 2608 Central Ave.  
2606 Central Ave., SE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 9-4-15 (K16-D013)**

Dear Mr. Heller,

The TCL submittal received 9-4-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Building Renovations @ 2608 Central Avenue, SE. Building Permit #: \_\_\_\_\_ City Drainage #: File D23  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOTS 1 THRU 3, BLOCK 17 UNIVERSITY HEIGHTS  
City Address: 2608 Central Avenue SE., Albuquerque, NM 87106

Engineering Firm: N/A Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: Central Partners LLC. Contact: C/O: Doug Heller  
Address: 4700 Montgomery Blvd NE # 2, Albuquerque, NM 87109  
Phone#: 505-855-7650 Fax#: \_\_\_\_\_ E-mail: doug@mullenheller.com

Architect: Mullen Heller Architecture P.C. Contact: Mike Salvador  
Address: 1718 Central Avenue SW, Suite D Albuquerque, NM 87104  
Phone#: 505-268-4144 Fax#: 505-268-4244 E-mail: mike@mullenheller.com

Surveyor: Surv-Tek, Inc. Contact: Russ Hugg  
Address: 9384 Valley View Drive, Albuquerque, NM 87114  
Phone#: 505-897-3366 Fax#: 505-897-3377 E-mail: max@survtek.com

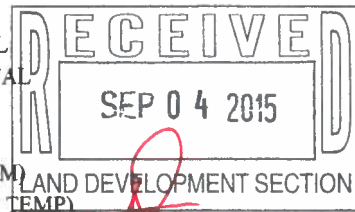
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided b. Heller  
DATE SUBMITTED: September 4, 2015 By: Doug Heller

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# TRANSMITTAL LETTER

PROJECT: **Building Renovations @ 2608 Central**  
2608 Central Avenue, SE.  
Albuquerque, New Mexico 87106

Project No.: 15-26  
Date: September 4, 2015

TO: City of Albuquerque – Transportation Development  
Planning Department  
Development & Building Services Division  
600 2<sup>nd</sup> Street, NW.  
Albuquerque, NM 87102

ATTN: **Jeanne Wolfenbarger – Traffic Engineer**

CC: File

Phone #: (505) 924-3924

SIGNED: Michael Salvador

## WE TRANSMIT:

- ☒ HEREWITH
- ☐ UNDER SEPARATE COVER
- ☐ IN ACCORDANCE WITH  
YOUR REQUEST

## FOR YOUR:

- ☐ APPROVAL
- ☒ REVIEW AND COMMENT
- ☐ RECORD
- ☐ USE

## THE FOLLOWING:

- ☐ DRAWINGS
- ☐ LETTER(S)
- ☐ SHOP DRAWINGS
- ☒ OTHER – **TCL Submittal**

## VIA:

- ☐ REGULAR MAIL
- ☐ FEDERAL EXPRESS
- ☐ FAX
- ☒ HAND PICKUP/DELIVERY

COPIES	DATE	DESCRIPTION
2 copies	9/4/2015	TCL Submittal – Building Permit Approval

## REMARKS

Mullen Heller Architecture PC



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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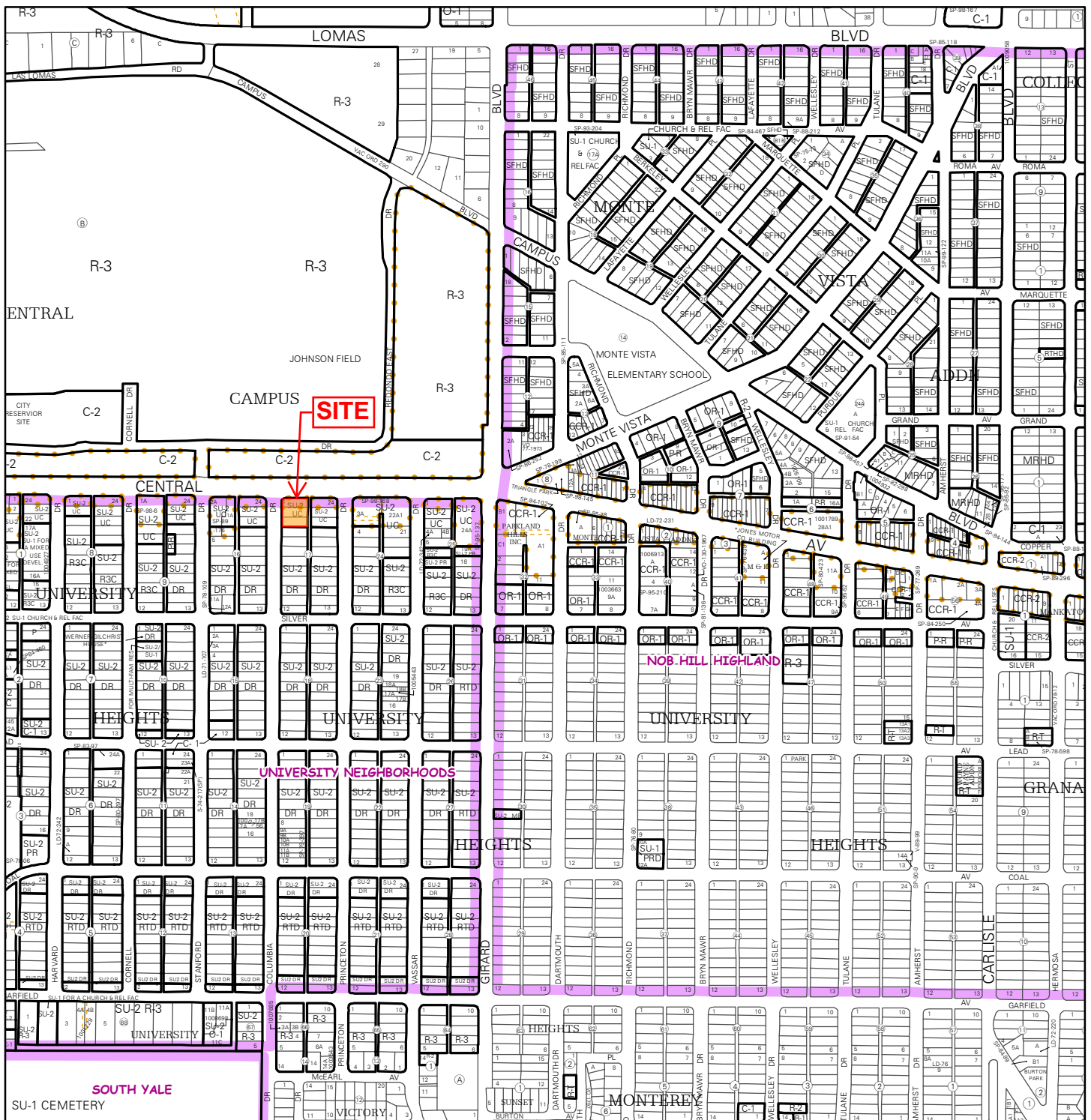
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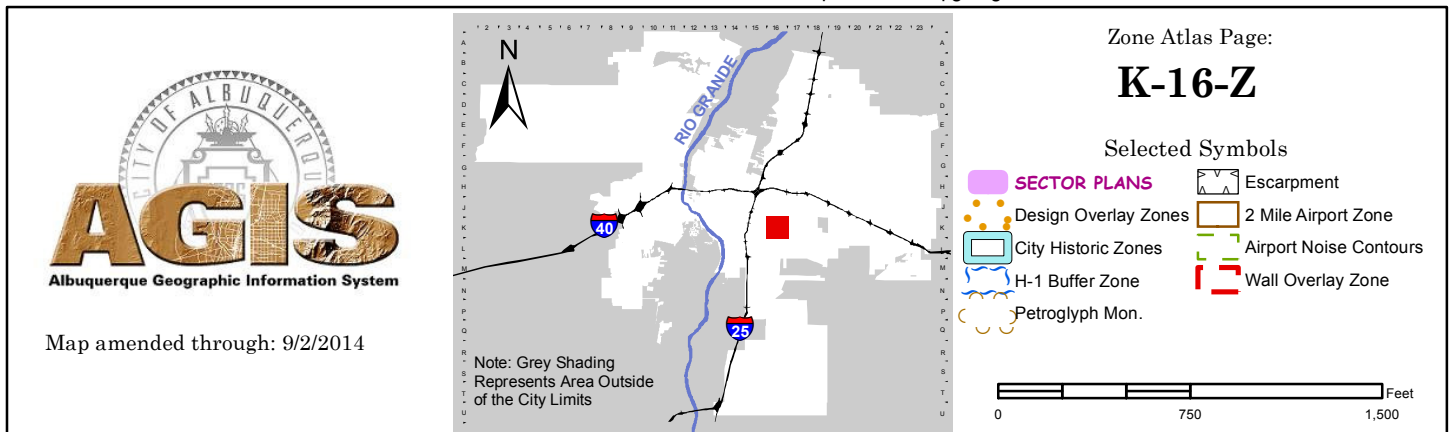
DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_ *b. eltm*

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For more current information and details visit: <http://www.cabq.gov/gis>





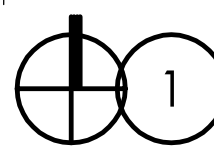
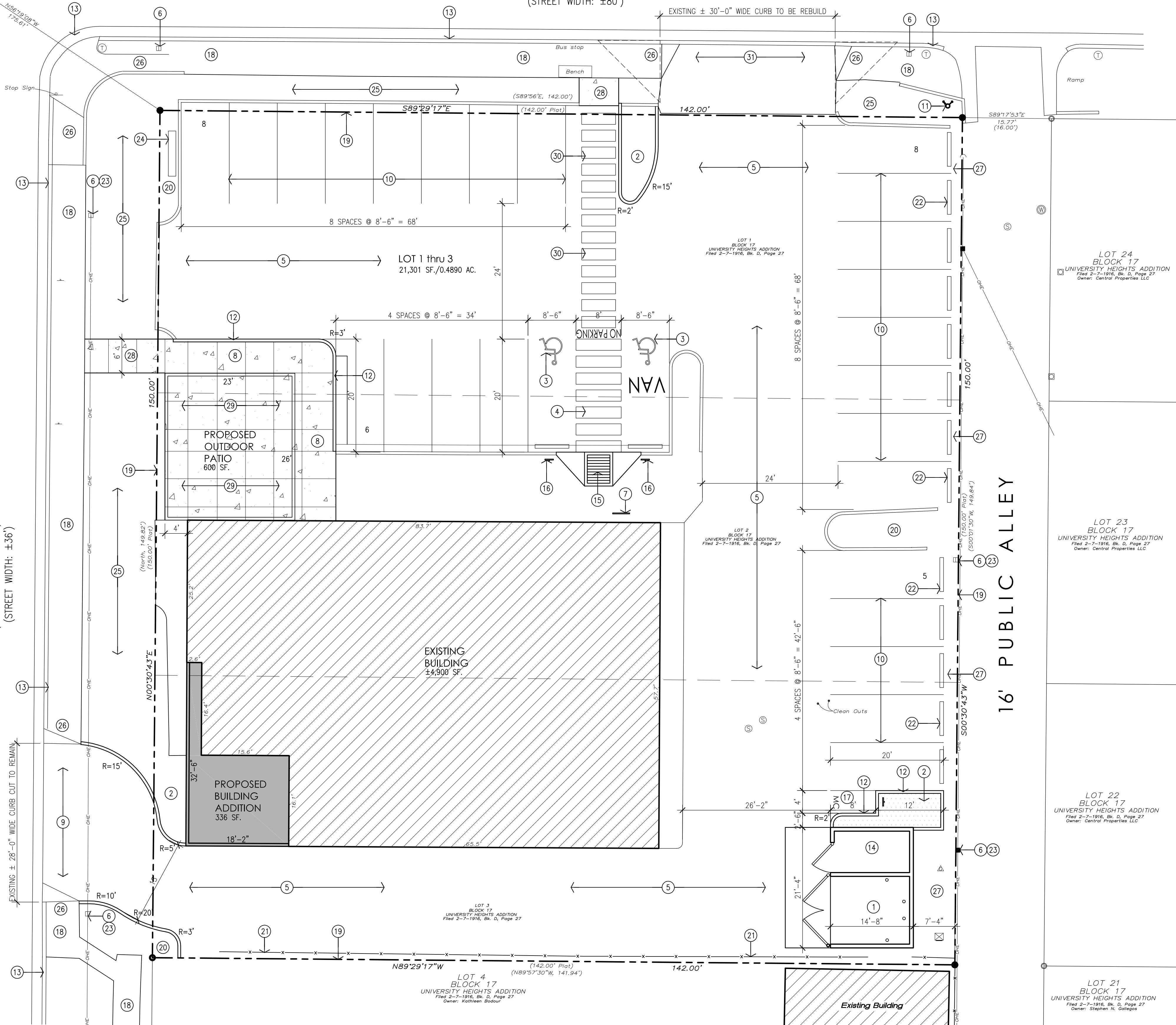
ACS Monument "S\_K16A"  
NAD83/NA83/USFT  
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E=1,530,495.99  
COG=0.999670253

COLUMBIA DRIVE S.E.

(75'-0" RIGHT-OF-WAY)  
(STREET WIDTH: ±36')

CENTRAL AVENUE S.E.

(100'-0" RIGHT-OF-WAY)  
(STREET WIDTH: ±80')



Architectural Site Plan For Traffic Circulation Layout

Scale: 1"=10'-0"



SITE DEVELOPMENT DATA: CONT'

LANDSCAPING CALCULATIONS:

LAND AREA:	21,301 S.F.
TOTAL BUILDING AREA:	5,236 S.F.
NET LOT AREA:	16,065 S.F.

LANDSCAPING REQUIRED:  
(15% OF NET LOT AREA)

16,065 SF./15% 2,410 SF. REQUIRED

NEW LANDSCAPING REQUIREMENT: 2,410 SF.

ON-SITE LANDSCAPING: 453 S.F.

OFF-SITE LANDSCAPING PROVIDED: 2,090 S.F.

TOTAL LANDSCAPING PROVIDED: 2,543 S.F.

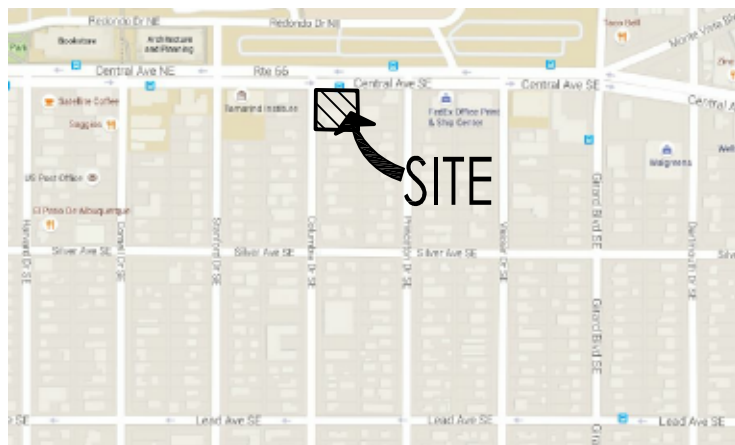
(REFER TO LANDSCAPING PLAN FOR NEW AND EXISTING LANDSCAPING AREAS.)

KEYED NOTES:

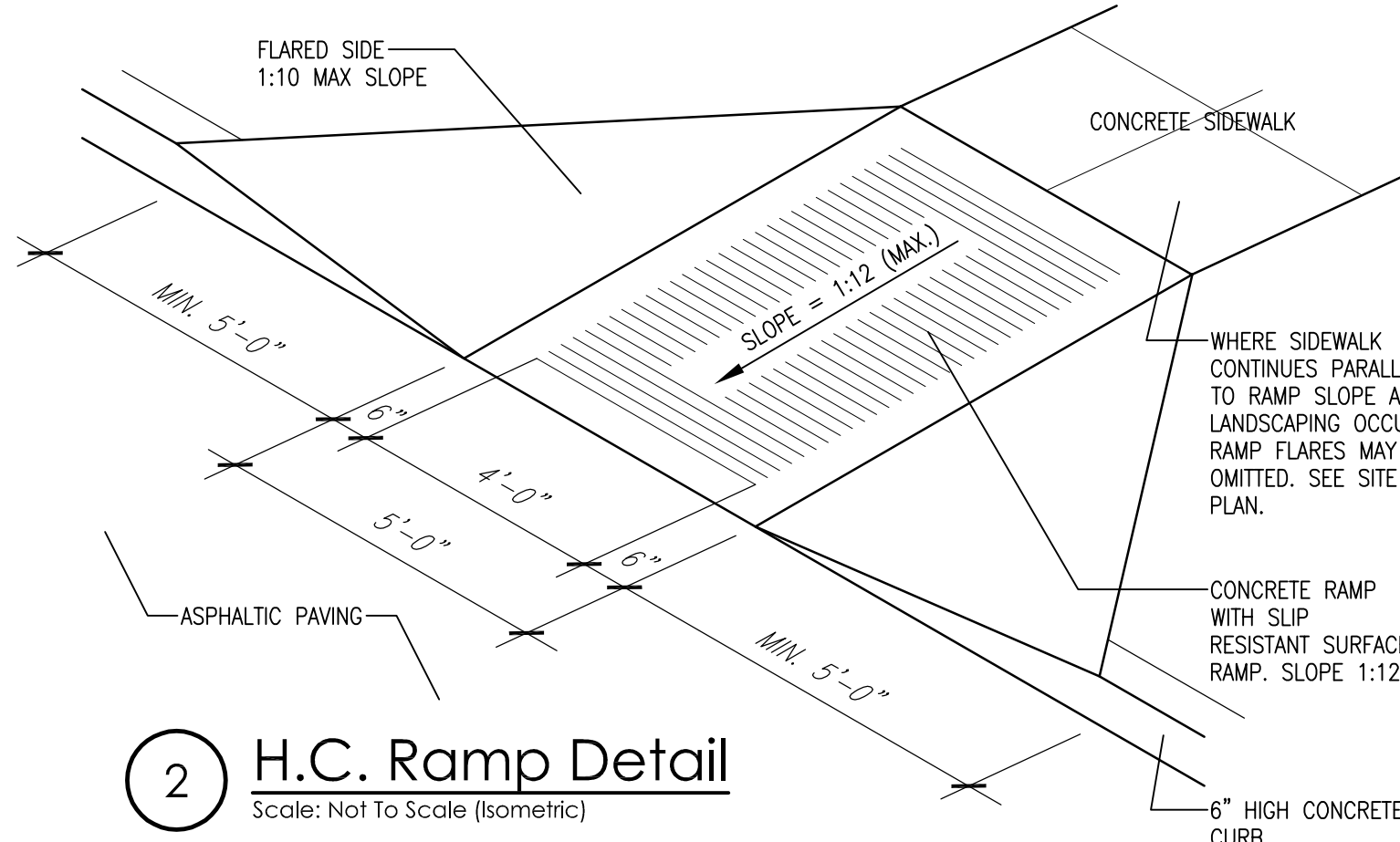
- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR AND CONCRETE APRON.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED PAINTED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT RE-SURFACING OF EXISTING PAVING.
- [6] EXISTING SITE LIGHTING.
- [7] PROPOSED BIKE RACK WITH 3 SPACES.
- [8] PROPOSED CONCRETE SIDEWALK.
- [9] EXISTING ENTRY DRIVEWAY TO REMAIN.
- [10] PROPOSED PAINTED PARKING STRIPING.
- [11] EXISTING FIRE HYDRANT TO BE REMAIN.
- [12] PROPOSED 6" HIGH CONCRETE CURB.
- [13] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [14] PROPOSED OVERFLOW REFUSE ENCLOSURE WITH GATE.
- [15] PROPOSED HANDICAP RAMP. REFER TO 2/A001.
- [16] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [17] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACE WITH SIGNAGE.
- [18] EXISTING CONCRETE SIDEWALK TO REMAIN.
- [19] EXISTING PROPERTY LINE.
- [20] EXISTING LANDSCAPING TO REMAIN OR UPDATED. REFER TO LANDSCAPING PLAN.
- [21] EXISTING FENCE TO REMAIN.
- [22] RELOCATED EXISTING CONCRETE PARKING BUMPERS.
- [23] EXISTING POWER POLE AND ANCHOR.
- [24] EXISTING PYLON SIGN TO REMAIN.
- [25] EXISTING OFF-SITE LANDSCAPING. REFER TO LANDSCAPING PLAN.
- [26] EXISTING CONCRETE RAMP TO REMAIN.
- [27] EXISTING PAVEMENT TO REMAIN.
- [28] CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12.
- [29] PROPOSED OUTDOOR CONCRETE PATIO.
- [30] PROPOSED PAINTED 6" WIDE PEDESTRIAN CROSSWALK.
- [31] EXISTING ENTRY DRIVEWAY OPENING TO REMAIN. RE-BUILT DRIVE PAD AS NECESSARY TO MEET COA STANDARD DWG. 2425.



VICINITY MAP:



LOCATION MAP:



H.C. Ramp Detail

Scale: Not To Scale (Isometric)

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:

LOTS 1 THRU 3, BLOCK 17  
UNIVERSITY HEIGHTS  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

EXISTING BUILDING ADDRESS:  
2608 CENTRAL AVENUE, SE.  
ALBUQUERQUE, NEW MEXICO 871

LAND AREA:  
0.4890 ACRES (21,301 SQ. FT.)

CURRENT ZONING:  
SU-2 / UC  
(UNIVERSITY NEIGHBORHOODS SECTOR DEVELOPMENT PLAN)

ZONE ATLAS PAGE:  
J-20-Z

BUILDING AREAS:  
EXISTING BUILDING 4,900 SF.  
PROPOSED BUILDING ADDITION 336 SF.  
TOTAL BUILDING BUILDING AREA 5,236 SF.

GRADING & DRAINAGE REQUIREMENTS:  
PER ALBUQUERQUE COMPREHENSIVE ZONING CODE SECTION 14-5-2-12 (B), (1): STRUCTURES CONSTITUTING LESS THAN 1,000 SQUARE FEET ARE EXCLUDED.

NEW BUILDING ADDITION IS 336 SF. THEREFORE, A GRADING AND DRAINAGE PLAN IS NOT REQUIRED FOR THIS ADDITION.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] SIGNAGE AND FENCE CONSTRUCTION ARE UNDER SEPARATE PERMIT.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [C] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS:

5,236 SF./300 = 17 SPACES REQUIRED

TRANSIT REDUCTIONS:

17 SPACES REQ'D x 10% REDUCTION =  
(PROXIMITY TO BUS ROUTE 66 & 777)  
17 x 10% = 1.5 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 17 SPACES

TOTAL PARKING SPACES PROVIDED: = 27 SPACES

25 REGULAR SPACES  
2 HANDICAP VAN PARKING SPACE

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 1 SPACES  
TOTAL DISABLED SPACES PROVIDED = 2 SPACES

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE  
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =  
27 PARKING SPACES/20 = 1 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 1 SPACE

TOTAL BICYCLE SPACES PROVIDED: = 3 EXISTING SPACES

BUILDING SETBACKS:

FRONT: NONE  
SIDE: NONE-EXCEPT CORNERS TO MAINTAIN CLEAR SIGHT TRIANGLE.  
REAR: N/A

SETBACKS PER: UNIVERSITY NEIGHBORHOODS SECTOR DEVELOPMENT PLAN.

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 26'-0"

STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: SU-1 WHICH REFERENCES R-2 REQUIREMENTS (14-16-2-22) (C).

revision

by

date

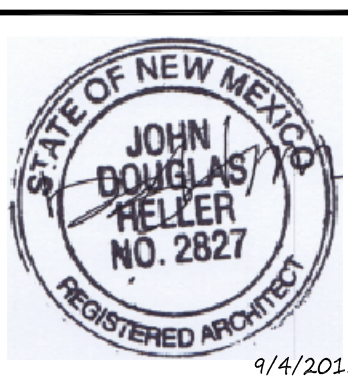
rev

1 2 3 4



Mullen Heller  
Architecture P.C.

1718 Cental Avenue SW  
Suite D  
Albuquerque, NM 87104  
505 268 4144[p]



15-26

mws

Douglas Heller, AIA

08/31/2015

job number

drawn by

project manager

date

project title  
Existing Building Renovation at:  
2608 Central Avenue, SE.  
Albuquerque, New Mexico 87106

sheet title

Architectural Site Plan for Traffic Circulation Layout

sheet-

TCL-1