

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 1, 2021

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**RE: The Strider
109 Vassar Dr SE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 01/08/21
Hydrology File: K16D022A**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 01/08/2021, the Conceptual Drainage Report is approved for action by the DRB on Site Plan for Building Permit.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: The Strider **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: North 5' of Lot 18, 19, 20, & 21, Block 24, University Heights Addition
City Address: 133 Vassar Dr SE, Albuquerque, NM 87106

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
☒ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

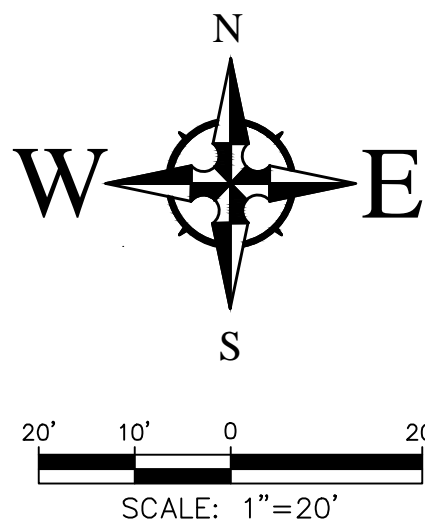
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: Jan 8, 2021 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

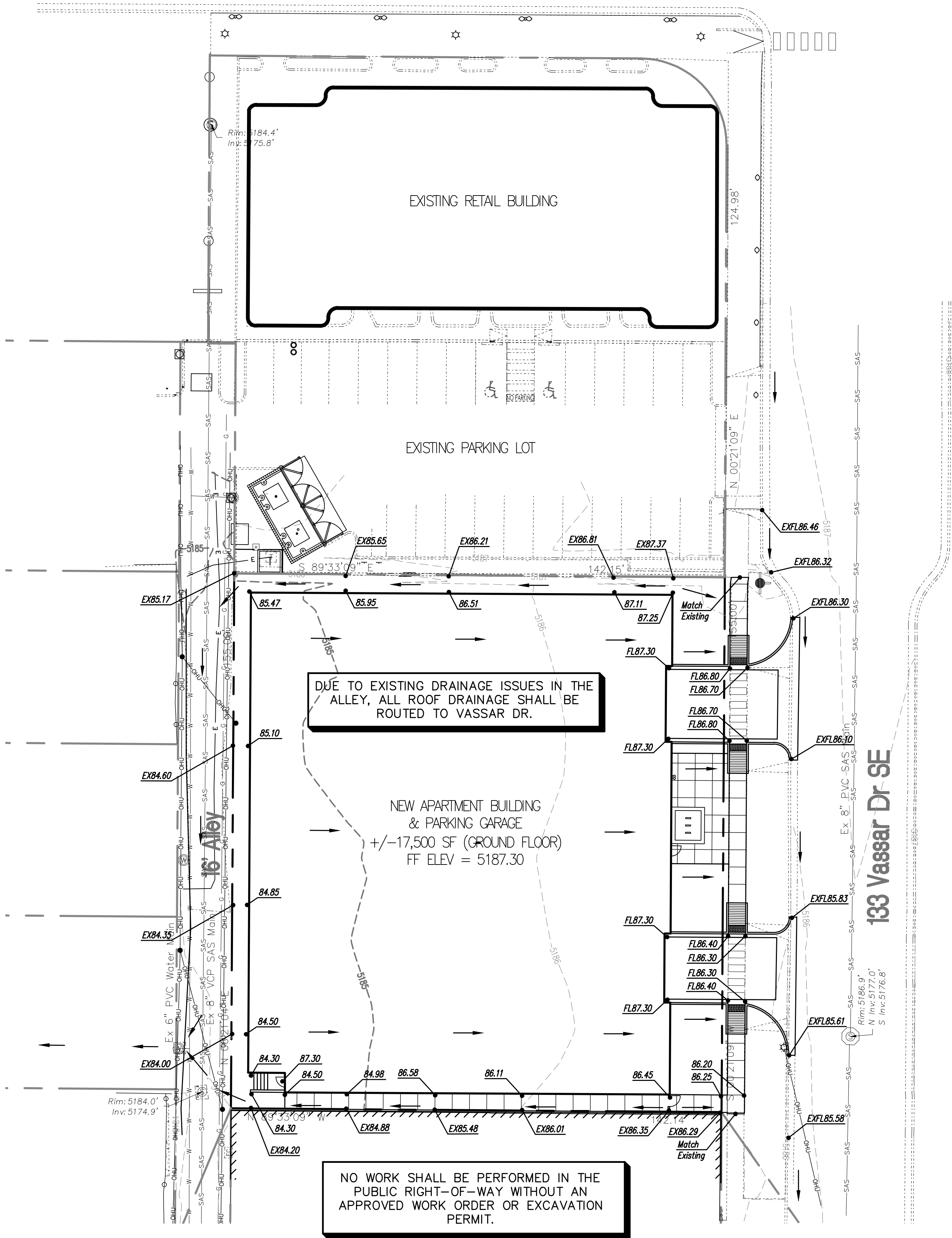
FEE PAID: _____



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Central Ave SE



LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the redevelopment of Lots 19-21 and a small portion of Lot 18, Block 24, University Heights addition. The site is located at 133 Vassar Drive SE in Albuquerque, NM. The site contains approximately 0.51 acres. The proposed development consists of a new multi-story apartment complex with a parking garage on the bottom floor. A City Drainage File Number could not be found for this site.

EXISTING HYDROLOGIC CONDITIONS

The site is currently a parking lot which is near 100% impervious and sheet flows from east to west and into the alley. This drainage then flows across a residential property to the west (112 Princeton Dr SE or Lot 6, Block 24, University Heights Addn). The house and other improvements on this lot were recently removed for unknown reasons and the lot is currently vacant. Drainage continues to flow from the alley and then across this lot. Although this is a historical condition, we are unaware of a Drainage Easement across this residential property.

PROPOSED HYDROLOGIC CONDITIONS

The proposed development will be a multi-story apartment building with a parking garage at the ground level. There will be a slight reduction in runoff due to the decrease in impervious area. Due to the existing drainage issue where the stormwater flows across the private residential lot, we are proposing that all roof drainage be directed eastward and into Vassar Dr SE. This drainage will then flow to the south along Vassar to Silver St and then west toward Princeton where the flow will converge with its original Basin. Per the Drainage Calculations table this sheet, there will be approximately 2.30 cfs of drainage leaving the site and onto Vassar.

STORMWATER QUALITY PONDING REQUIREMENTS

Due to the size of the new building, it is not likely that Stormwater Quality features will be installed. In the event the Developer cannot provide the Stormwater Quality Ponding, they will be required to make a Payment-in-Lieu per Chapter 6.2 of the DPM. This will be determined as part of the future Final Grading Plan submittal.

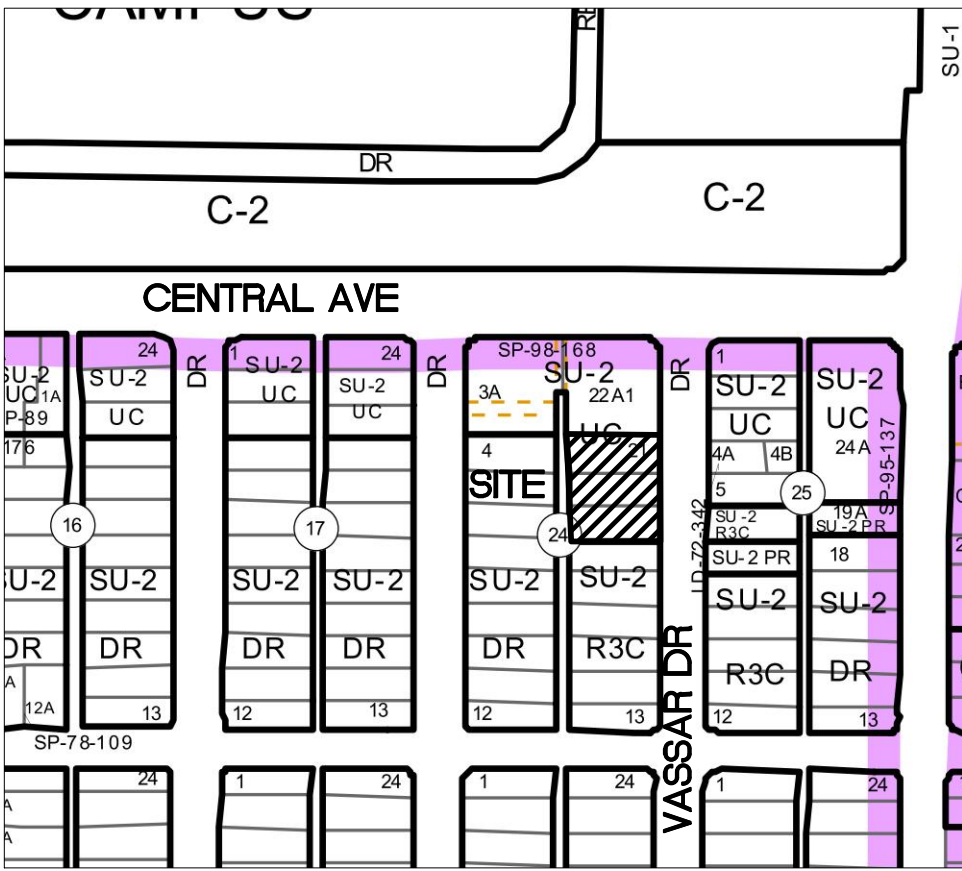
CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The redirection of drainage to Vassar will have a minimal impact to the Roadway drainage; however, it will greatly reduce the impact of drainage flowing across the residential property at 112 Princeton SE. With this submittal, we are requesting approval of a Conceptual Grading Plan for the Site Plan for Building Permit and Subdivision Plat.



| DRAINAGE CALCULATIONS - COA Zone 2 | | | | | |
|------------------------------------|-------|----------|-------|------|------|
| Basin | Acres | C-Factor | Tc | I100 | Q100 |
| Site | 0.51 | 0.90 | 10.00 | 4.02 | 2.30 |

Drainage Calculations are per the COA DPM, Chapter 6.2.



VICINITY MAP - Zone Map K-16-Z

LEGAL DESCRIPTION:

Lots 19-21 and a Portion of Lot 18, Block 24, University Heights, 0.5058 Acres.



FIRM MAP 35001C0353H

Per FIRM Map 35001C0353H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

GRADING NOTES

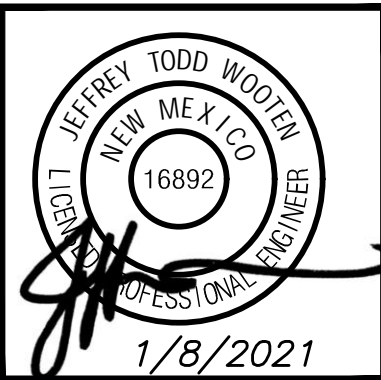
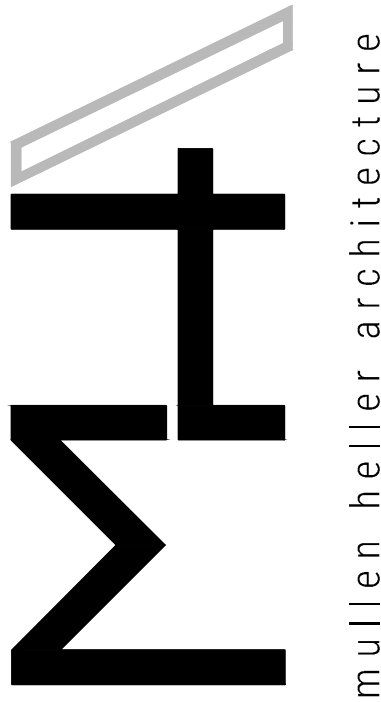
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

NOT FOR
CONSTRUCTION

| BENCH MARKS | |
|------------------------------------|--|
| A.C.S. MONUMENT "7-L15" | |
| MONUMENT TYPE 3 | |
| NEW MEXICO STATE PLANE COORDINATES | |
| (CENTRAL ZONE-N.A.D. 1983) | |
| N=1,479,550.205 | |
| E=1,529,067.366 | |
| PUB. EL=5164.135 NAVD 1988 | |
| GROUND TO GRID FACTOR=0.999671093 | |
| DELTA ALPHA ANGLE = -0712'49.65" | |



| REV | DATE | BY | DESCRIPTION |
|-----|------|----|-------------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | SITE D
ALBUQUERQUE, NM | 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

| | |
|-------------|------------|
| JOB NUMBER | 20-12 |
| DRAWN BY | OCG |
| PROJECT MGR | JW |
| DATE | 12-14-2020 |
| PHASE | SD |

PROJECT
109 VASSAR DRIVE S.E. REDEVELOPMENT
133 VASSAR DRIVE S.E.
ALBUQUERQUE NM 87106
TITLE
CONCEPTUAL GRADING PLAN

SHEET

C100