

January 4, 2021

Matt Grush, PE, PTOE
Senior Engineer, Planning Department
Development Review Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Response to TCL Comments Dated 12-30-2020 (K16d022A)**
The Strider
Address: 109 Vassar Drive SE

Dear Mr. Grush:

This letter serves to address your review comments of the Traffic Circulation Layout (TCL) submitted for The Strider project. As a continually developing project, minor revisions have been made to the site plan to coordinate with updates to the building design. However, the primary intent of the site plan remains unchanged from the original submittal.

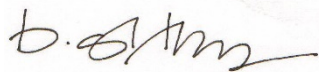
Please refer to the summary below for the responses to each of your comments, listed by each respective item number.

- 1) Shared access agreement: Both lots are owned by the same owner and shall be considered a single premise; therefore, negating the requirement for a shared access agreement. Should ownership change, a shared access agreement shall be implemented and recorded with the City.
- 2) Sealed documents: The submitted TCL drawing sheets are now stamped and signed by a registered architect: John Douglas Heller, NM Stamp No. 2827.
- 3) Existing easements: Only one existing easement exists on the property: a 7'x14' PNM easement for underground and transformer components. This easement is now shown on the TCL site plan.
- 4) On-street parking: Per section 5-5(C)(5)(f) of the COA Integrated Development Ordinance (IDO), "Any on-street parking space abutting the subject property may be counted as 1 required off-street parking space if the street does not have residential parking permit restrictions." Vassar Drive does not have residential parking restrictions; therefore, abutting on-street parking spaces may be counted towards the required off-street parking calculations. Approval from the City is not required.
- 5) Access driveways: Both new access driveways are now noted on the TCL site plan, with the associated COA standard detail number. Additionally, a typical access driveway detail has been added to the typical site details sheet TCL003.

- 6) Fire Marshal's Office Approval: Please refer to the attached approved FIRE001 Fire Safety Site Plan. As a continually developing project, the site plan underlay deviates slightly from the submitted TCL documents. However, the primary intent of approved fire access components remains unchanged.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture, PC

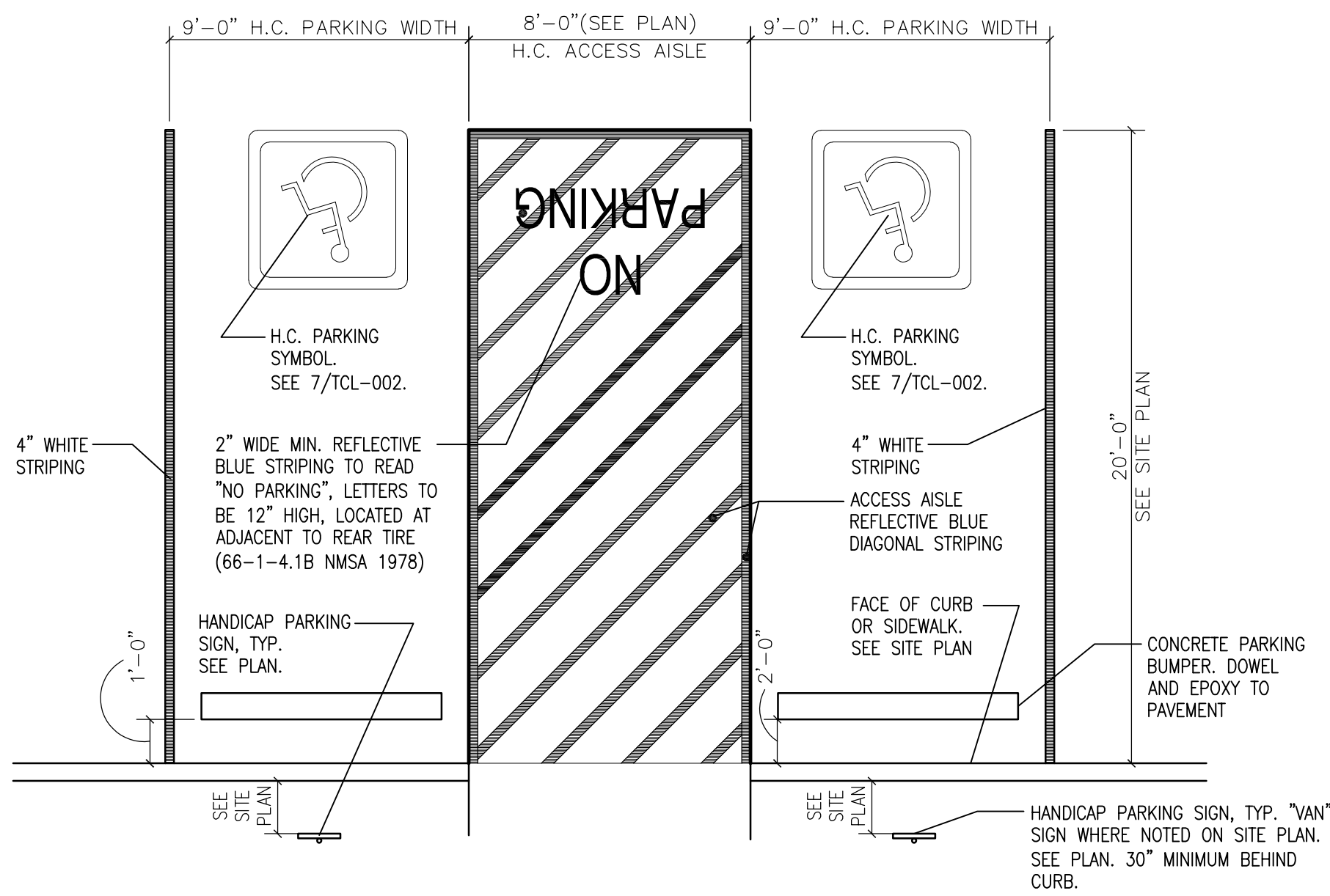


Douglas Heller, AIA, LEED AP

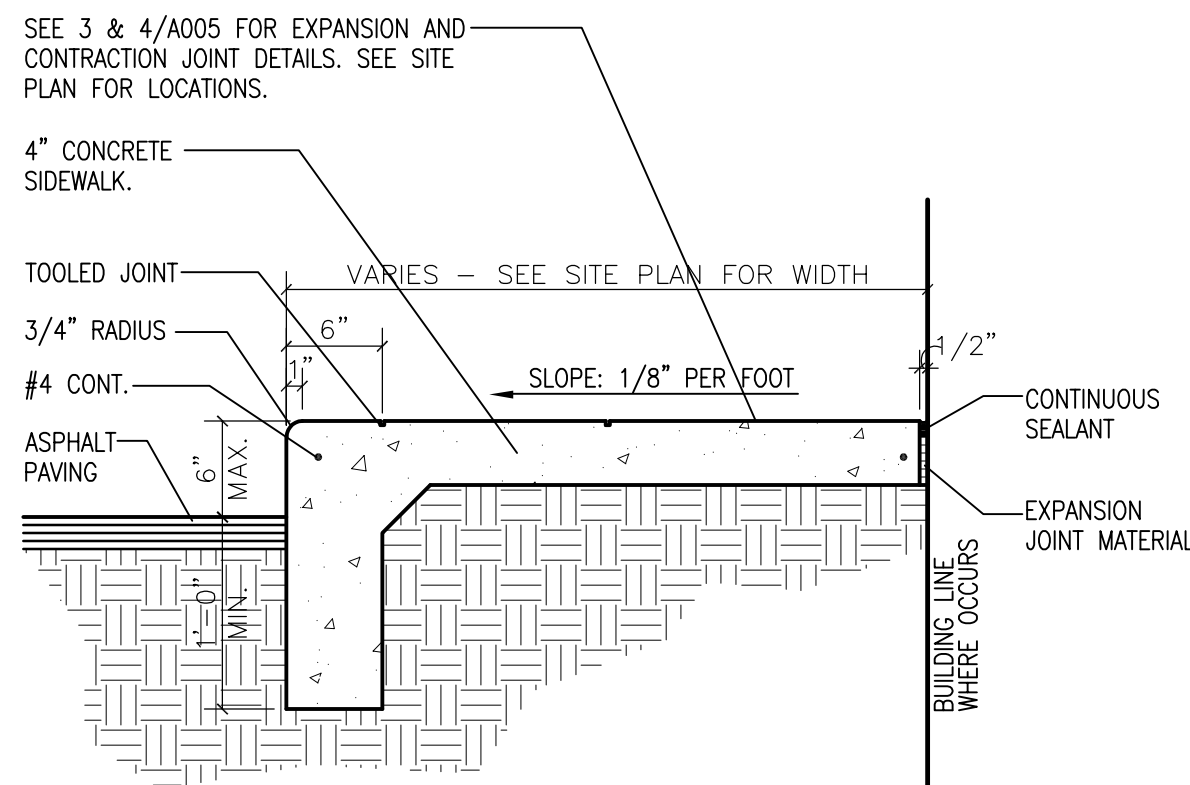


1-4-2021

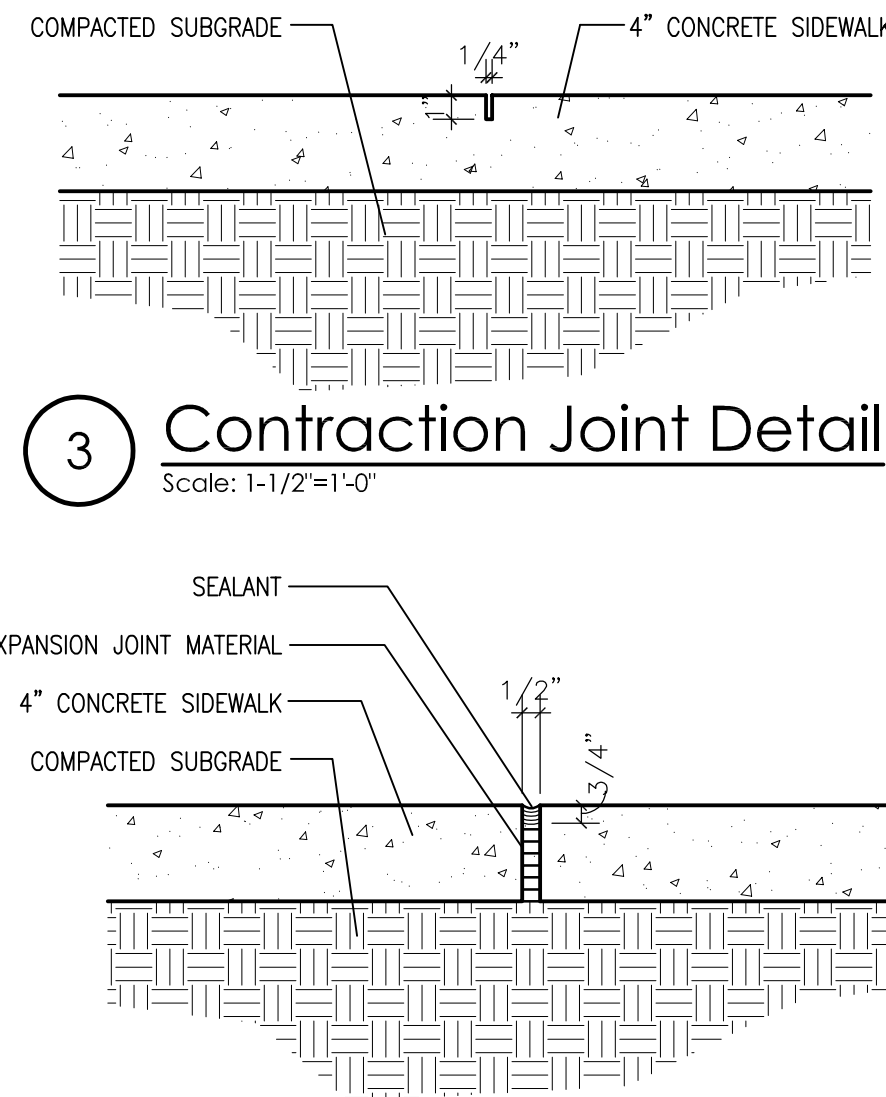
Attachments: Updated TCL001 – Traffic Circulation Layout Site Plan, dated 01-04-2021
Sheet TCL002 – TCL Site Details, dated 01-04-2021 (no revisions made)
Added Sheet TCL003 – TCL Site Details, dated 01-04-2021
Approved FIRE001 Fire Safety Site Plan, dated 09-01-2020



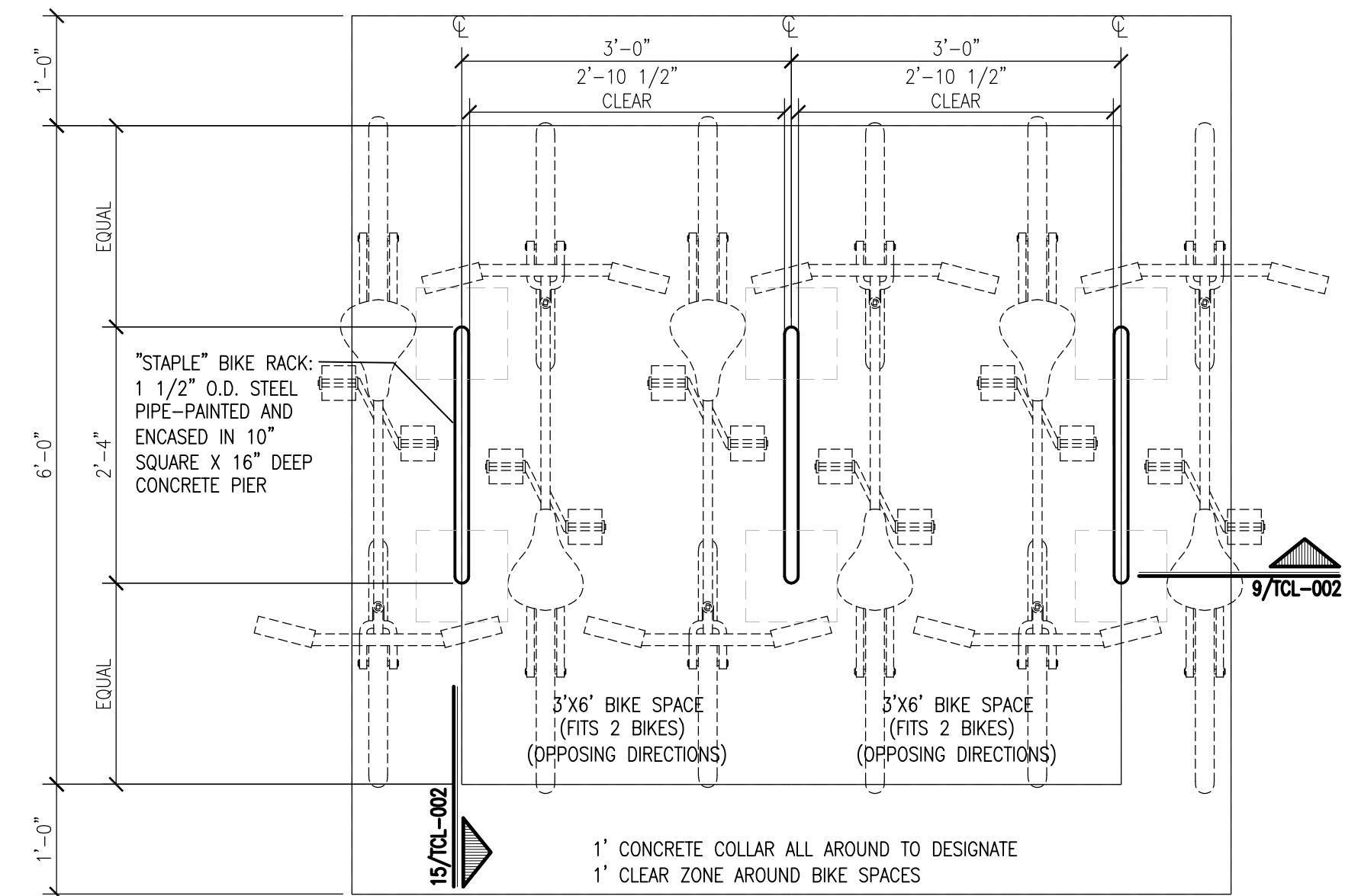
1 HC Parking Striping Detail
Scale: 1/4"=1'-0"



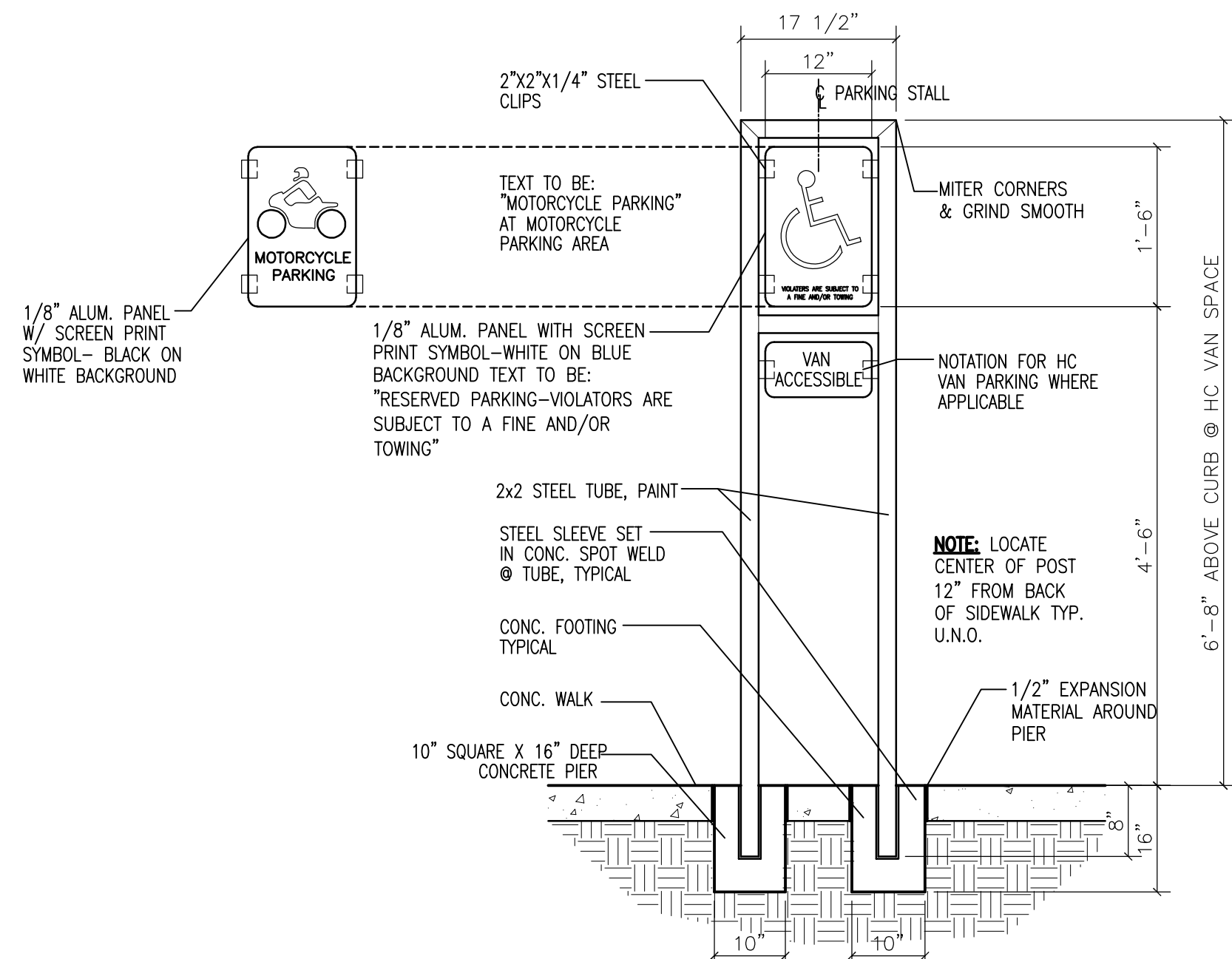
2 Concrete Sidewalk Detail
Scale: 1"=1'-0"



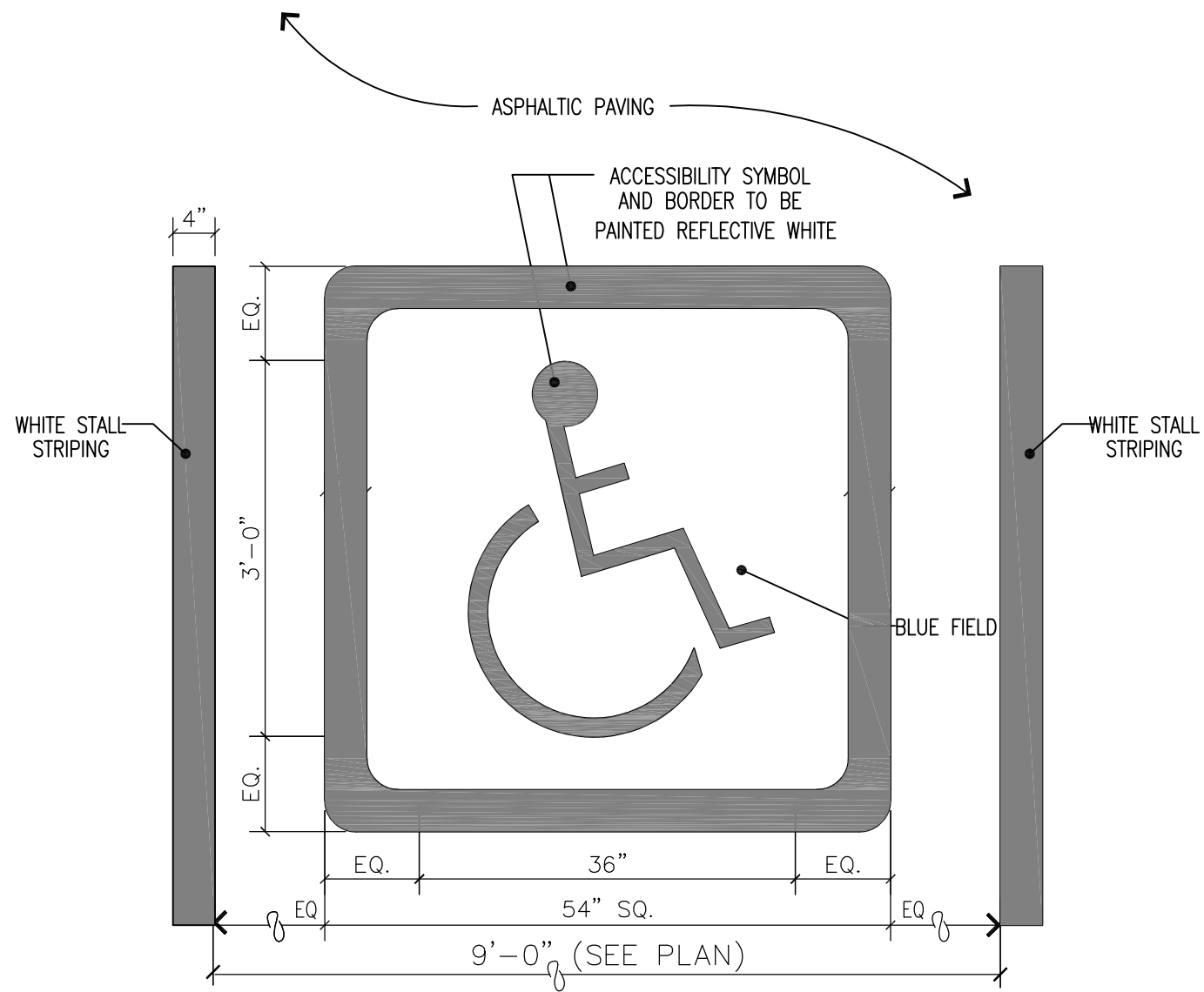
4 Expansion Joint Detail
Scale: 1-1/2"=1'-0"



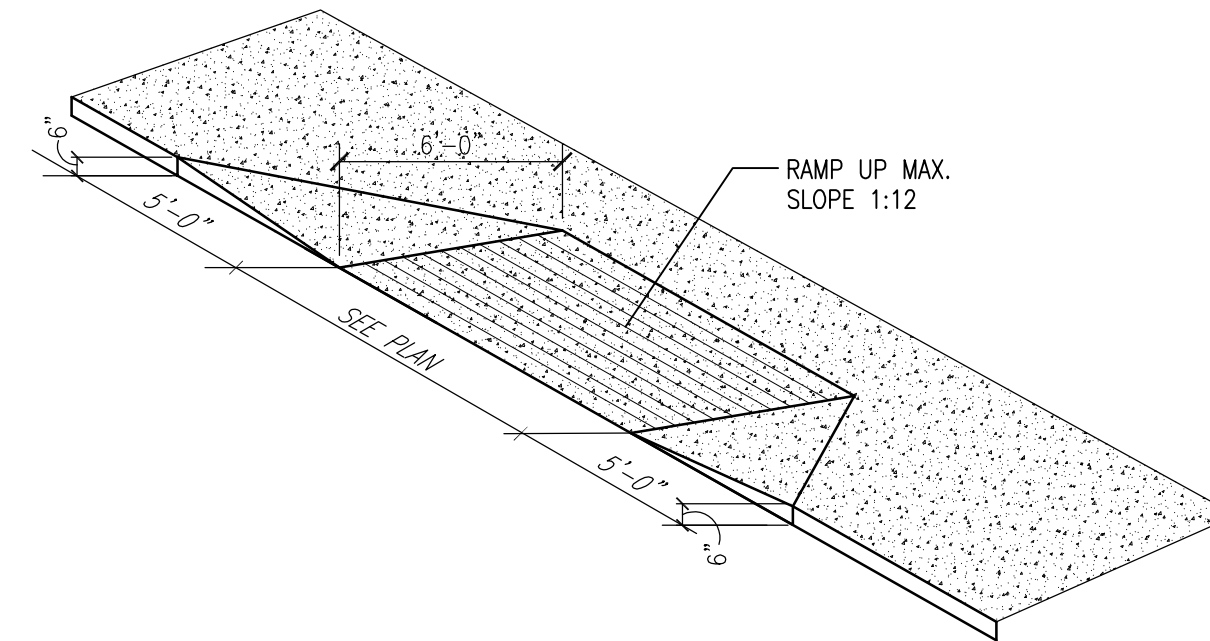
5 Bicycle Rack Partial Plan Detail
Scale: 3/4"=1'-0"
REFER TO PLAN FOR TOTAL QUANTITY



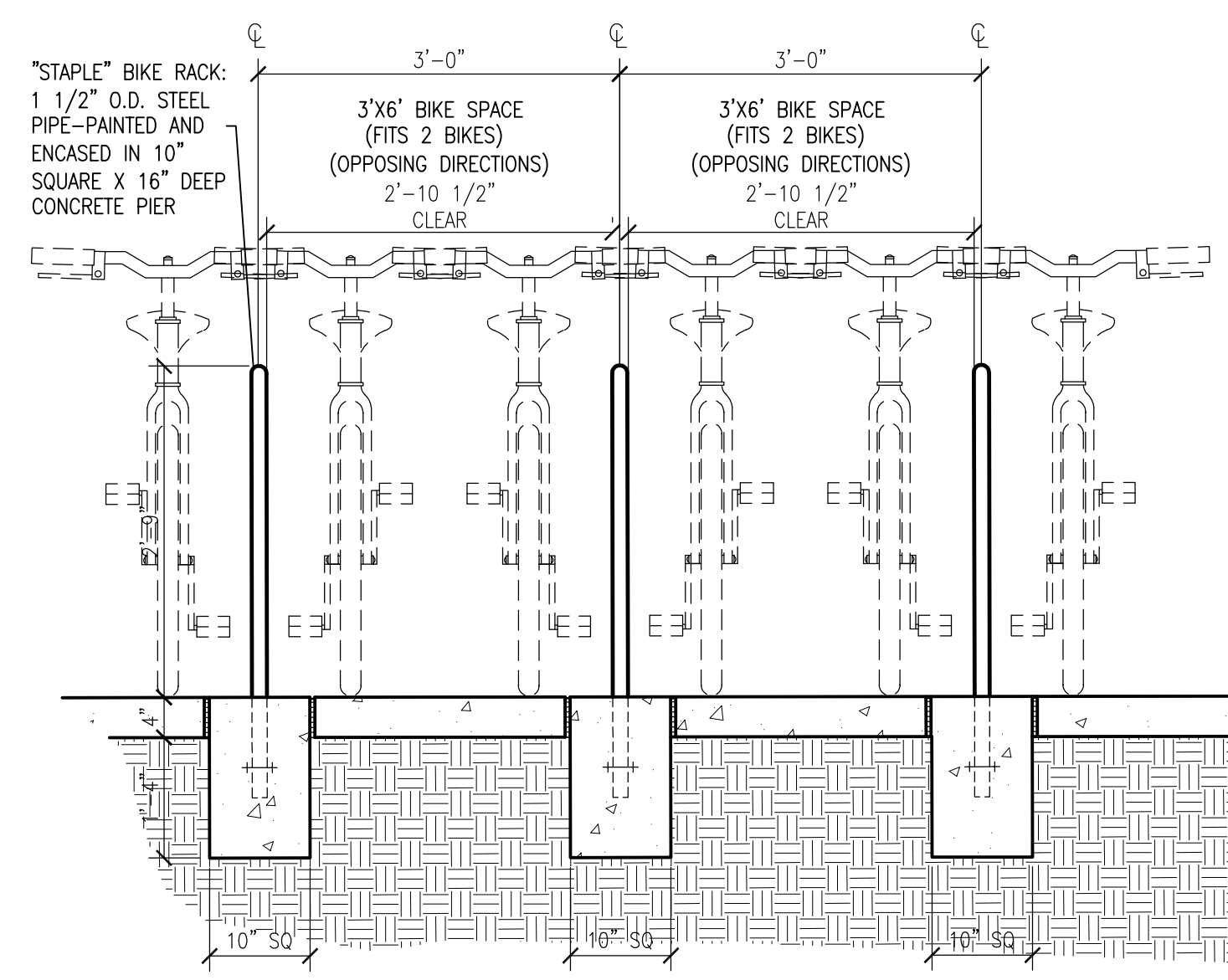
6 HC / Motorcycle Parking Sign Detail
Scale: 3/4"=1'-0"



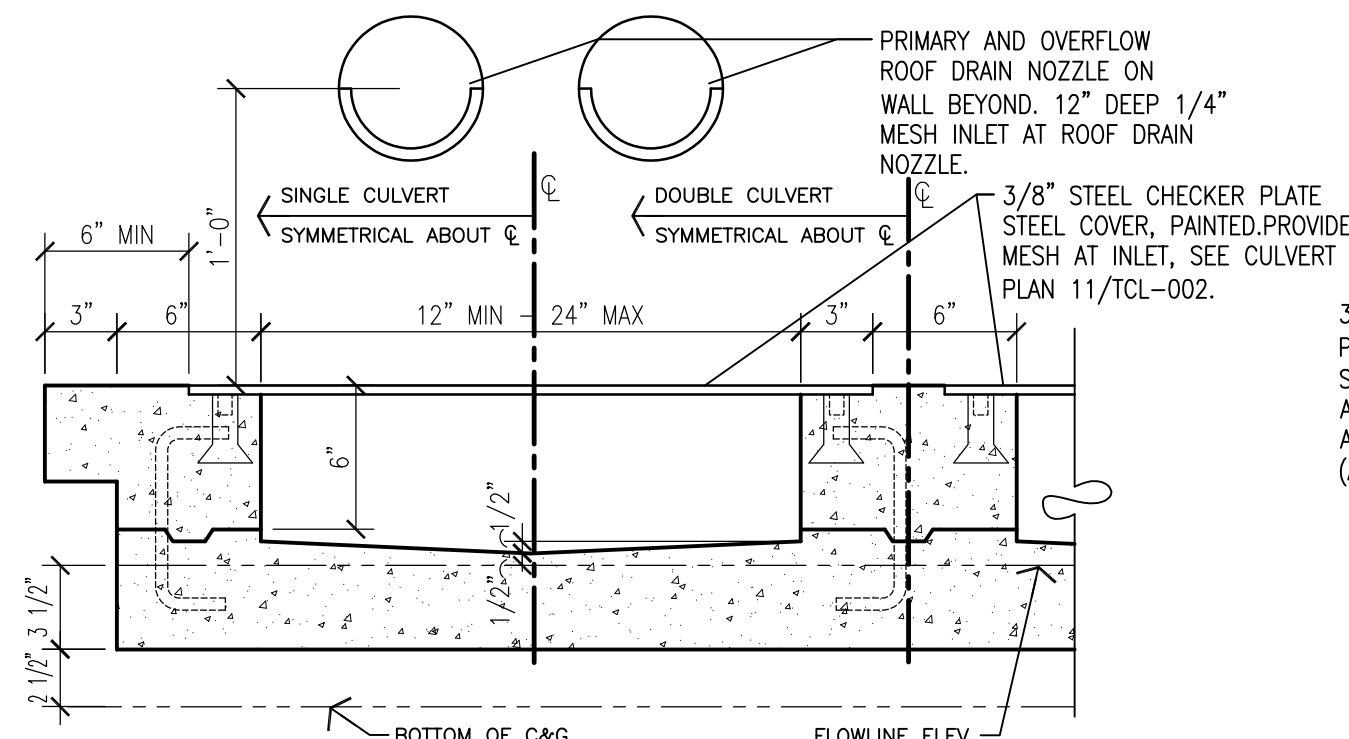
7 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



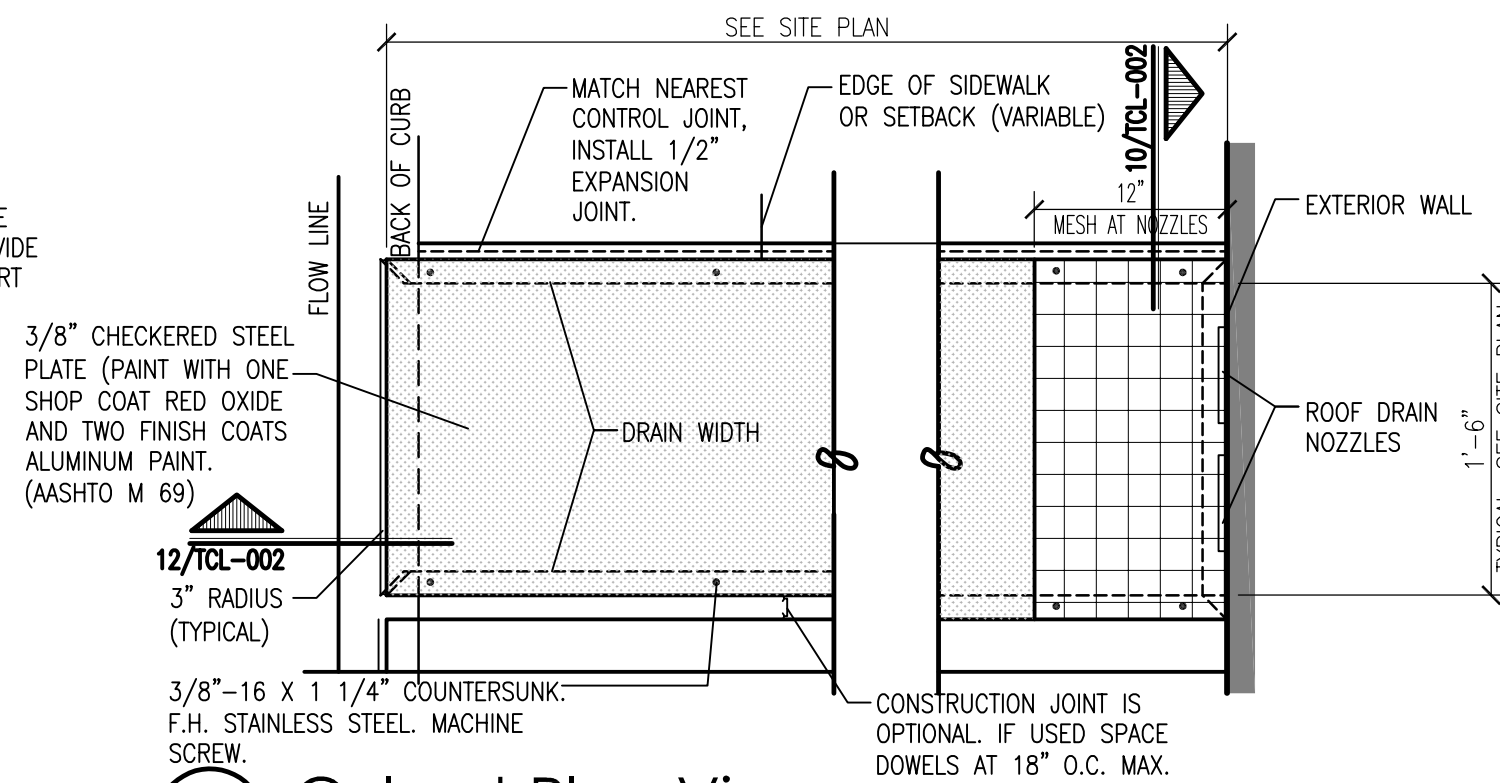
8 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



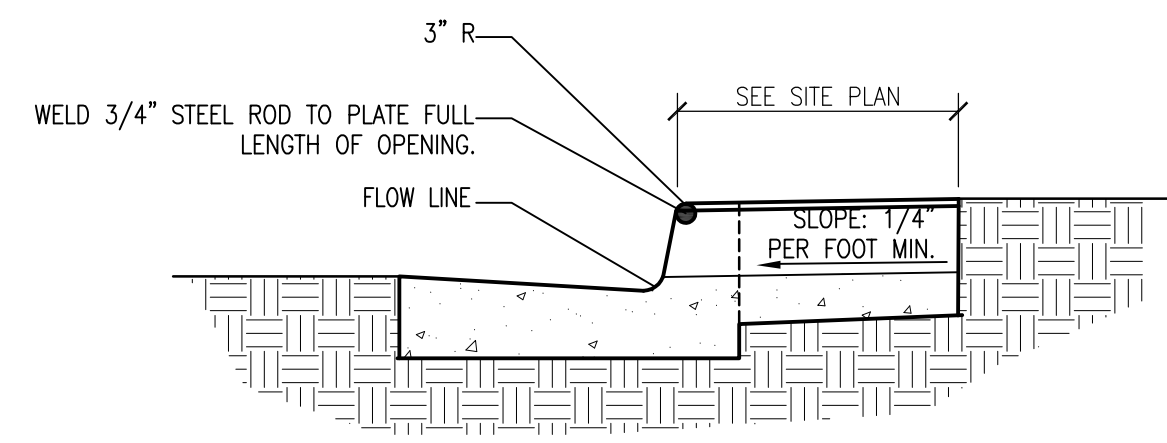
9 Bicycle Rack Front Detail
Scale: 3/4"=1'-0"
REFER TO PLAN FOR TOTAL QUANTITY



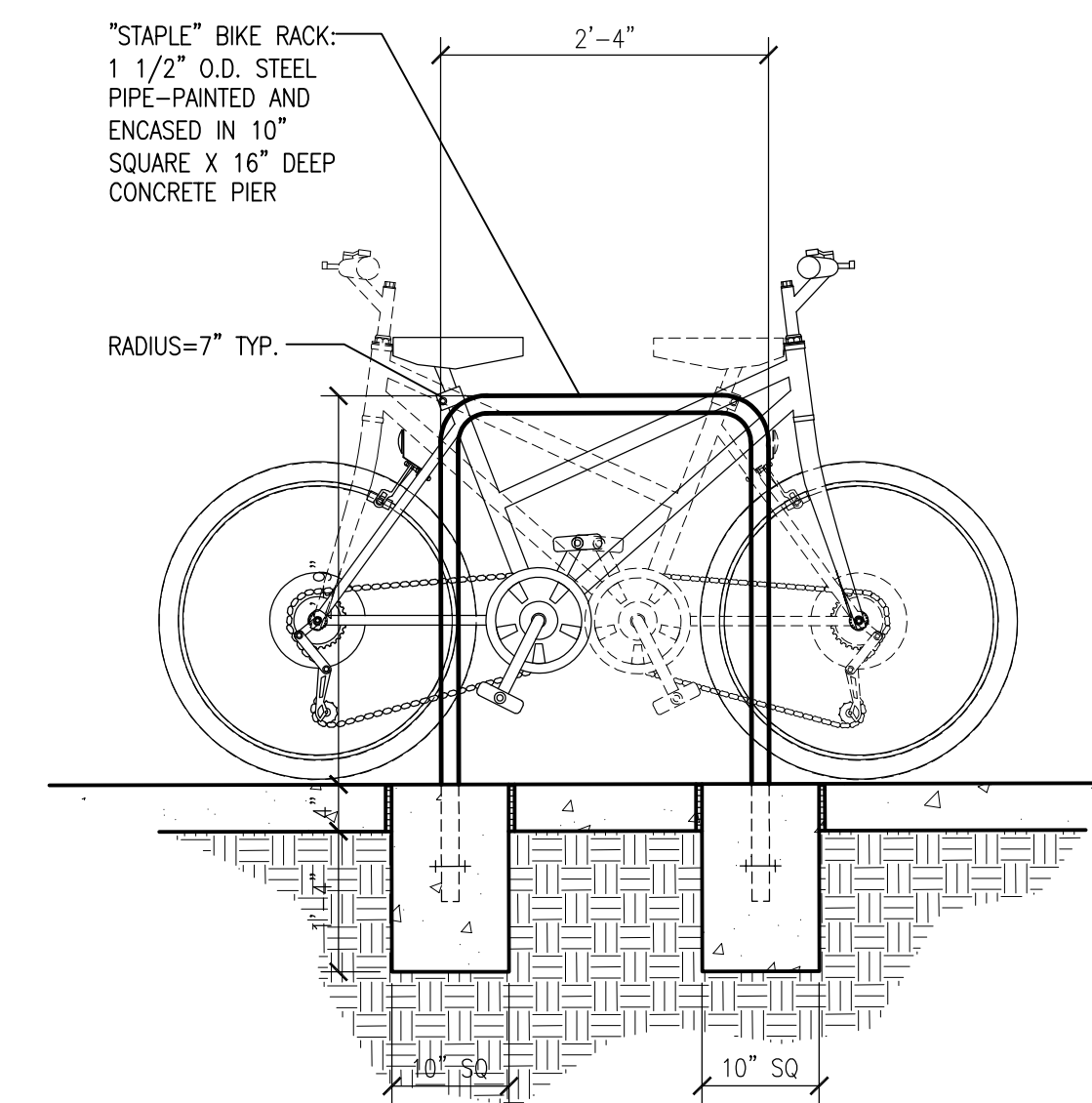
10 Sidewalk Culvert Detail
Scale: 1 1/2"=1'-0"
(COA STD DETAIL 2236)



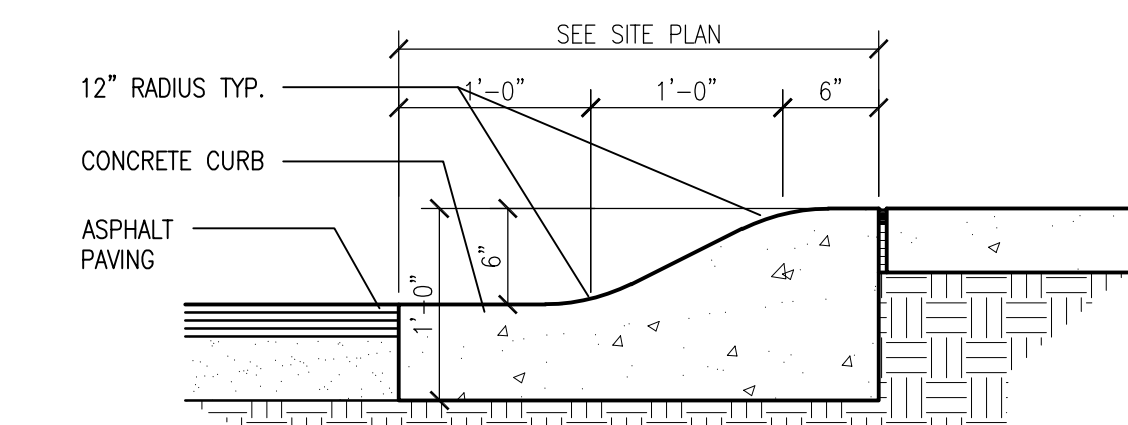
11 Culvert Plan View
Scale: 1"=1'-0"
(COA STD DETAIL 2236)



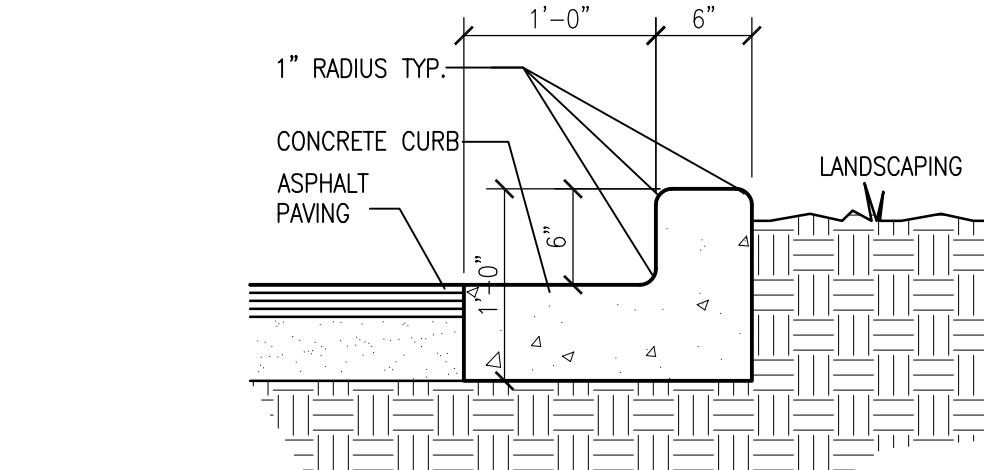
12 Culvert Detail
Scale: NTS
(COA STD DETAIL 2236)



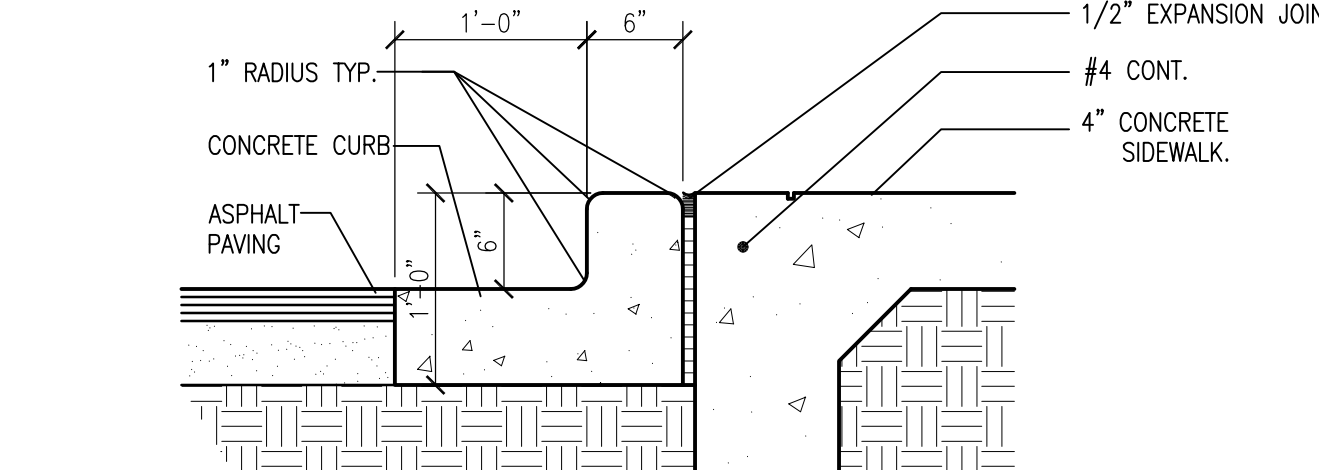
15 Bicycle Rack Side Detail
Scale: 3/4"=1'-0"



13 Mountable Curb and Gutter
Scale: 1"=1'-0"
(COA STD DETAIL 2415)



14a Typ. Stand-Up Curb & Gutter
Scale: 1"=1'-0"
(COA STD DETAIL 2415)



14b Typ. Curb Sidewalk & Gutter
Scale: 1"=1'-0"

REV	DATE	BY	DESCRIPTION
1	01-04-2021		
2	01-04-2021		
3	01-04-2021		
4	01-04-2021		

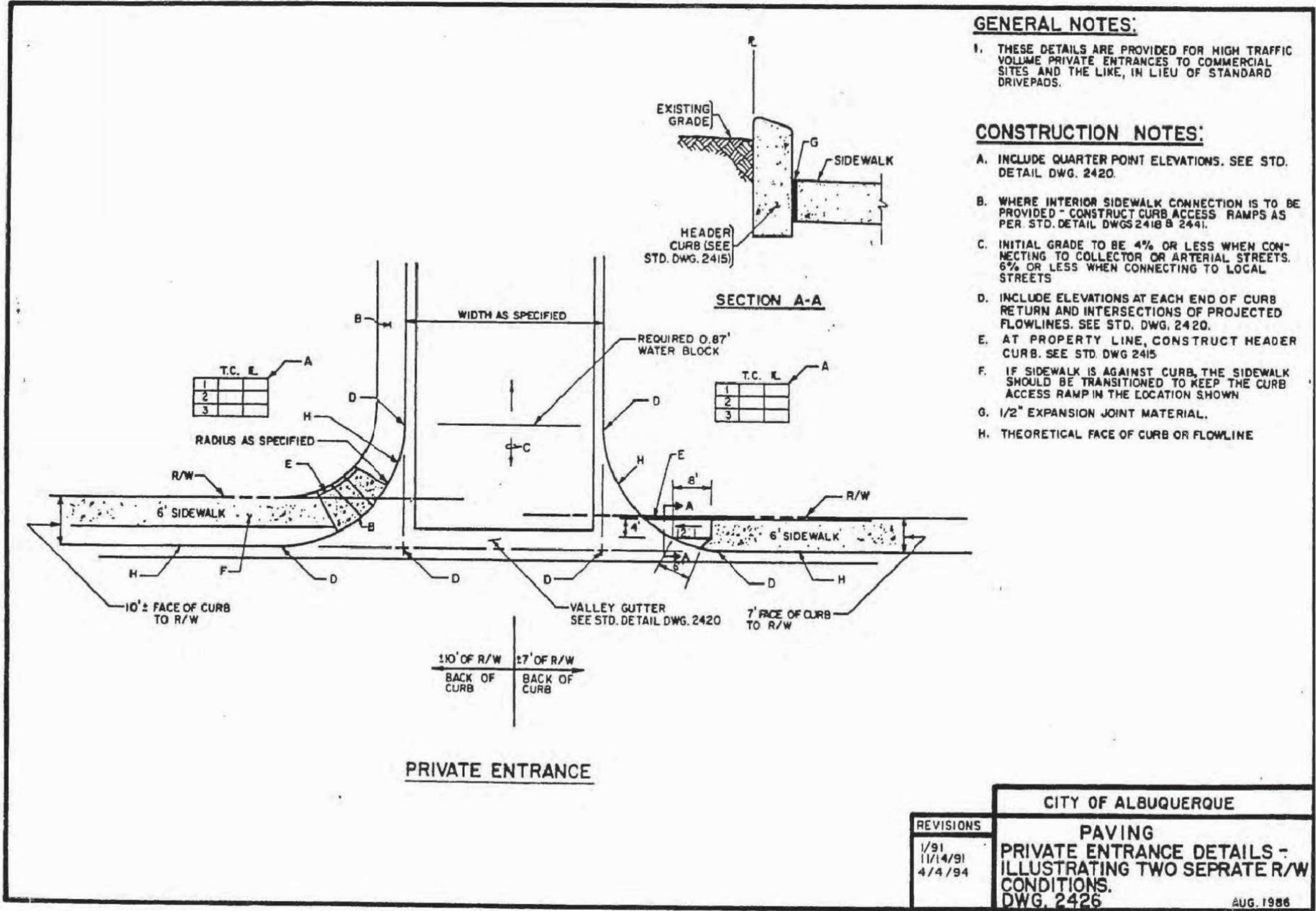


MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVES SW | STE D
ALBUQUERQUE, NM 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER 20-12
DRAWN BY KBP/SEJ
PROJECT MGR DH
DATE 01-04-2021
PHASE TCL
RESUBMITTAL

PROJECT
109 VASSAR DRIVE S.E. REDEVELOPMENT
133 VASSAR DRIVE S.E.
ALBUQUERQUE NM 87106
TITLE
TCL Site Details

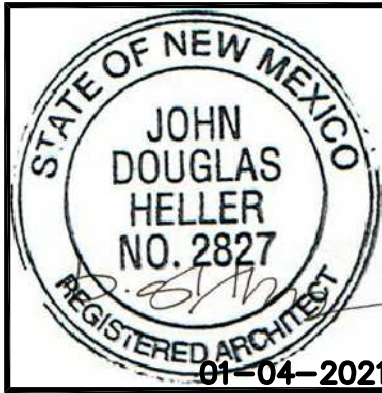
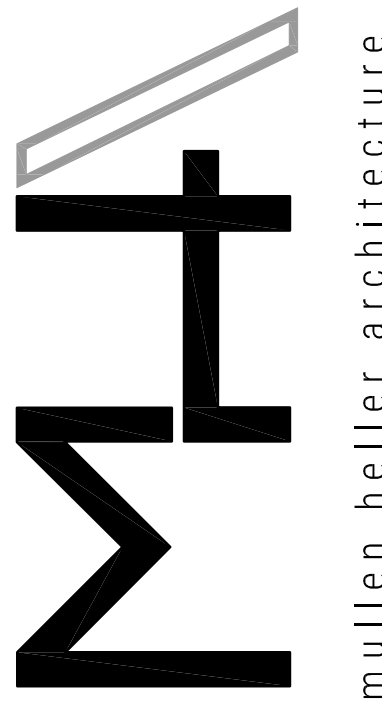
SHEET
TCL-002



1 Typical Driveway Detail

Scale: NTS (COA STD DETAIL 2426)

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			



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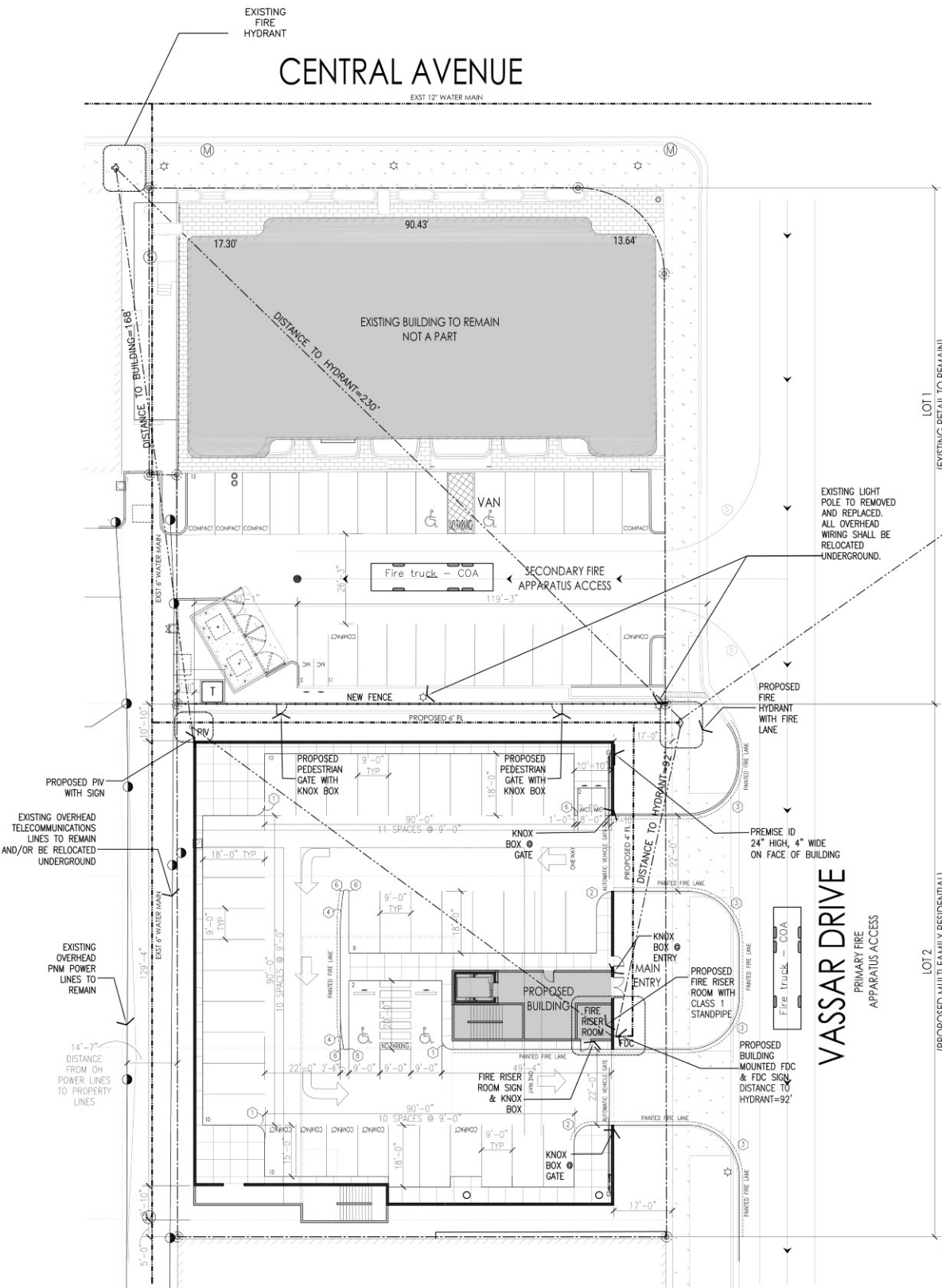
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TITLE
TCL Site Details

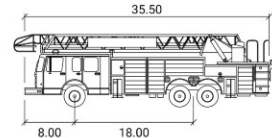
SHEET

TCL-003



CODE DATA

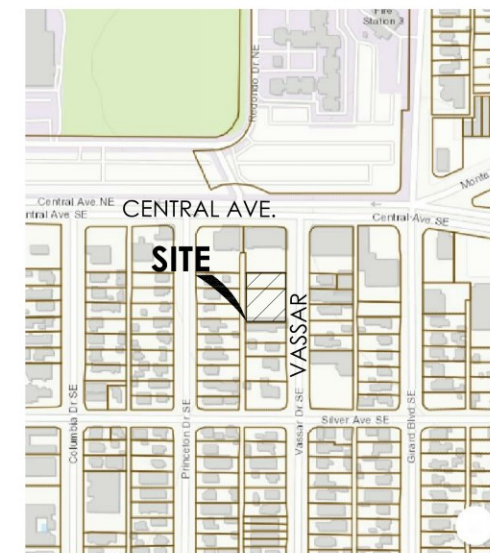
PROJECT DESCRIPTION:	NEW GROUND-UP, 6-STORY MULTI-FAMILY BUILDING WITH 115 UNITS. THE PROJECT IS A MIXED-CONSTRUCTION PODIUM BUILDING, WITH OPEN PARKING GARAGE ON THE GROUND LEVEL AND 5 LEVELS OF RESIDENTIAL TYPE III-A CONSTRUCTION ABOVE.																							
BUILDING ADDRESS:	103 Vassar Drive SE. ALBUQUERQUE, NEW MEXICO 87106																							
CONSTRUCTION TYPE:	TYPE II-B (GROUND LEVEL) TYPE II-A (LEVELS 2-6)																							
OCCUPANCY TYPE:	R-2 (APARTMENT BUILDING) U (PARKING GARAGE)																							
OCCUPANT LOAD:	<table><tr><td>FIRST FLOOR (PARKING):</td><td>84</td><td>OCCUPANTS</td></tr><tr><td>SECOND FLOOR (RESIDENTIAL):</td><td>58</td><td>OCCUPANTS</td></tr><tr><td>THIRD FLOOR (RESIDENTIAL):</td><td>62</td><td>OCCUPANTS</td></tr><tr><td>FOURTH FLOOR (RESIDENTIAL):</td><td>62</td><td>OCCUPANTS</td></tr><tr><td>FIFTH FLOOR (RESIDENTIAL):</td><td>62</td><td>OCCUPANTS</td></tr><tr><td>SIXTH FLOOR (RESIDENTIAL):</td><td>62</td><td>OCCUPANTS</td></tr><tr><td colspan="3">390 TOTAL OCCUPANTS</td></tr></table>			FIRST FLOOR (PARKING):	84	OCCUPANTS	SECOND FLOOR (RESIDENTIAL):	58	OCCUPANTS	THIRD FLOOR (RESIDENTIAL):	62	OCCUPANTS	FOURTH FLOOR (RESIDENTIAL):	62	OCCUPANTS	FIFTH FLOOR (RESIDENTIAL):	62	OCCUPANTS	SIXTH FLOOR (RESIDENTIAL):	62	OCCUPANTS	390 TOTAL OCCUPANTS		
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SIXTH FLOOR (RESIDENTIAL):	62	OCCUPANTS																						
390 TOTAL OCCUPANTS																								



Fire truck - COA

RADIUS INFORMATION:		feet	
① = 3'-0"	④ = 58'-0"	Width	: 8.00
② = 5'-0"	⑤ = 30'-0"	Track	: 8.00
③ = 15'-0"	⑥ = 4"	Lock to Lock Time	: 6.0
		Steering Angle	: 40.0

VICINITY MAP



ZONING MAP



ALLOWABLE HEIGHT:	BUILDING HEIGHT DEFINITION: THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. PER TABLE 504.3 ALLOWABLE BUILDING HEIGHT IS 85' ABOVE THE GRADE PLANE. PER TABLE 504.4 ALLOWABLE STORIES IS ABOVE GRADE PLANE IS 5 STORIES (ABOVE PODIUM).															
BUILDING HEIGHT:	77'-0" MAXIMUM ABOVE FIRST FLOOR FINISH GRADE LEVEL.															
ALLOWABLE AREA:	PER TABLE 506.2 R-2 WITH 13 SPRINKLER SYSTEM: 72,000sf PER FLOOR															
SQUARE FOOTAGE:	<table><tr><td>FIRST FLOOR (GARAGE):</td><td>16,620 GROSS SF</td></tr><tr><td>SECOND FLOOR:</td><td>11,586 GROSS SF</td></tr><tr><td>THIRD FLOOR:</td><td>12,282 GROSS SF</td></tr><tr><td>FOURTH FLOOR:</td><td>12,282 GROSS SF</td></tr><tr><td>FIFTH FLOOR:</td><td>12,282 GROSS SF</td></tr><tr><td>SIXTH FLOOR:</td><td>12,282 GROSS SF</td></tr><tr><td>TOTAL BUILDING:</td><td>77,334 GROSS SF</td></tr></table>		FIRST FLOOR (GARAGE):	16,620 GROSS SF	SECOND FLOOR:	11,586 GROSS SF	THIRD FLOOR:	12,282 GROSS SF	FOURTH FLOOR:	12,282 GROSS SF	FIFTH FLOOR:	12,282 GROSS SF	SIXTH FLOOR:	12,282 GROSS SF	TOTAL BUILDING:	77,334 GROSS SF
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TOTAL BUILDING:	77,334 GROSS SF															
FIRE PROTECTION:	FULLY AUTOMATED SPRINKLER SYSTEM COMPLYING WITH NFPA 13 (NON-RESIDENTIAL) AND SECTION 903.3.1.1 INSTALLED THROUGHOUT. SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE.															
OCCUPANCY SEPARATION:	PER IBC 2015 TABLE 508.4: TYPE 'R' & TYPE 'U' REQUIRED SEPARATION: 1 HOUR PROVIDED SEPARATION: 1 HOUR															
FIRE RATINGS:	PER IBC 2015 TABLE 601: PRIMARY STRUCTURAL FRAME: 1-HOUR RATING REQUIRED INTERIOR AND EXTERIOR BEARING WALLS: 1-HOUR RATING REQUIRED EXTERIOR NON-BEARING WALLS: 1-HOUR RATING REQUIRED INTERIOR NON-BEARING WALL: 0-HOUR RATING REQUIRED ROOF CONSTRUCTION: 1-HOUR RATING REQUIRED FLOOR CONSTRUCTION: 1-HOUR RATING REQUIRED															
SHAFT ENCLOSURES:	SHAFT ENCLOSURES - MECHANICAL SHAFTS, ELEVATOR SHAFTS, AND STAIRWELLS: THE FIRE RESISTANCE RATING FOR FIRE BARRIERS, SHAFTS, AND EXITS SHALL BE 2- HOUR PER SECTION 713.4. THE STRUCTURE IS 6 STORIES; THEREFORE, THE SHAFT ASSEMBLIES SHALL BE PROVIDED AS FOLLOWS: ELEVATOR SHAFT: 2-HOUR FIRE-RATED ASSEMBLY STAIRWELL SHAFT: 2-HOUR FIRE-RATED ASSEMBLY															
FIRE SEPARATIONS:	WALLS SEPARATING DWELLING UNITS WITHIN A SINGLE BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 708. PER IBC 2015 SECTION 708.3, DWELLING UNITS SEPARATION WALLS IN BUILDINGS OF CONSTRUCTION IIIA SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1-HOUR; THE DWELLING UNIT SEPARATION WALLS ARE TO BE 1-HOUR FIRE-RATED. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR, PER IBC 2015 SECTION 711.2.4.3, EXCEPTION 1. ALL FLOOR ASSEMBLIES ARE 1-HOUR FIRE-RATED. PER IBC 2015 TABLE 1020.1 AND 708.3 EXCEPTION 1, RESIDENTIAL LEVEL CORRIDORS SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR. CORRIDOR WALLS ARE 1-HOUR FIRE-RATED. PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE BARRIER OF SHAFT ENCLOSURE AND, EXIT ACCESS STAIRWAY, ARE TO HAVE A FIRE RESISTANCE RATING OF 60 MINUTES. PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN ALL OTHER 1-HOUR FIRE BARRIERS, ARE TO HAVE A FIRE RESISTANCE RATING OF 45 MINUTES PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE PARTITION OR CORRIDOR WALL ARE TO HAVE A FIRE RESISTANCE RATING OF 20 MINUTES.															
FIRE FLOW CALCULATIONS:	PER 2009 IFC: APPENDIX B, TABLE B105.1 TOTAL SQUARE FOOTAGE: 77,265 SF CONSTRUCTION TYPE: II-A TOTAL FIRE FLOW= 4,000 GALLONS/MINUTE 50% REDUCTION FOR FIRE SPRINKLER SYSTEM = 2,000 TOTAL BUILDING FIRE FLOW = 2,000 GALLONS/MINUTE FOR 4 HOUR FLOW DURATION															

FIRE HYDRANT DISTRIBUTION:	PER 2009 IFC: APPENDIX B, TABLE C105.1 2 FIRE HYDRANTS REQUIRED PER APPENDIX C (2,000 GPM FIRE FLOW) 3 FIRE HYDRANTS PROVIDED (2 EXISTING, 1 NEW) AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 450 FEET MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 225 FEET	
FIRE ACCESS ROAD REQUIREMENTS:	ACCESS ROAD TO BE CONSTRUCTED OF ASPHALT MATERIAL CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS. ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE.	
FIRE ACCESS FOR BUILDING EXCEEDING 30ft HEIGHT:	TWO MEANS OF FIRE APPARATUS ACCESS PROVIDED TO THE STRUCTURE: 1) ALONG VASSAR DRIVE 2) WITHIN INTERIOR PARKING AREA OF ADJACENT NORTH PROPERTY (WITH SAME PROPERTY OWNER)	



FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 20-003890 /389
APPROVED BY: 
APPROVED DATE: 09/01/2020
APPROVED

SOFT: 77334
GPM: 2000
CONSTRUCTION TYPE: III-A
NUMBER OF HYDRANTS: 2

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.