MULLEN-IELLER ARCHITECTURE. P.C.

January 4, 2021

Matt Grush, PE, PTOE Senior Engineer, Planning Department Development Review Services Division City of Albuquerque 600 2nd Street NW. Albuquerque, NM 87102

Re: Response to TCL Comments Dated 12-30-2020 (K16d022A) The Strider Address: 109 Vassar Drive SE

Dear Mr. Grush:

This letter serves to address your review comments of the Traffic Circulation Layout (TCL) submitted for The Strider project. As a continually developing project, minor revisions have been made to the site plan to coordinate with updates to the building design. However, the primary intent of the site plan remains unchanged from the original submittal.

Please refer to the summary below for the responses to each of your comments, listed by each respective item number.

- 1) Shared access agreement: Both lots are owned by the same owner and shall be considered a single premise; therefore, negating the requirement for a shared access agreement. Should ownership change, a shared access agreement shall be implemented and recorded with the City.
- 2) Sealed documents: The submitted TCL drawing sheets are now stamped and signed by a registered architect: John Douglas Heller, NM Stamp No. 2827.
- Existing easements: Only one existing easement exists on the property: a 7'x14' PNM easement for underground and transformer components. This easement is now shown on the TCL site plan.
- 4) On-street parking: Per section 5-5(C)(5)(f) of the COA Integrated Development Ordinance (IDO), "Any on-street parking space abutting the subject property may be counted as 1 required off-street parking space if the street does not have residential parking permit restrictions." Vassar Drive does not have residential parking restrictions; therefore, abutting on-street parking spaces may be counted towards the required off-street parking calculations. Approval from the City is not required.
- 5) Access driveways: Both new access driveways are now noted on the TCL site plan, with the associated COA standard detail number. Additionally, a typical access driveway detail has been added to the typical site details sheet TCL003.



6) Fire Marshal's Office Approval: Please refer to the attached approved FIRE001 Fire Safety Site Plan. As a continually developing project, the site plan underlay deviates slightly from the submitted TCL documents. However, the primary intent of approved fire access components remains unchanged.

Please feel free to contact me if you have any questions.

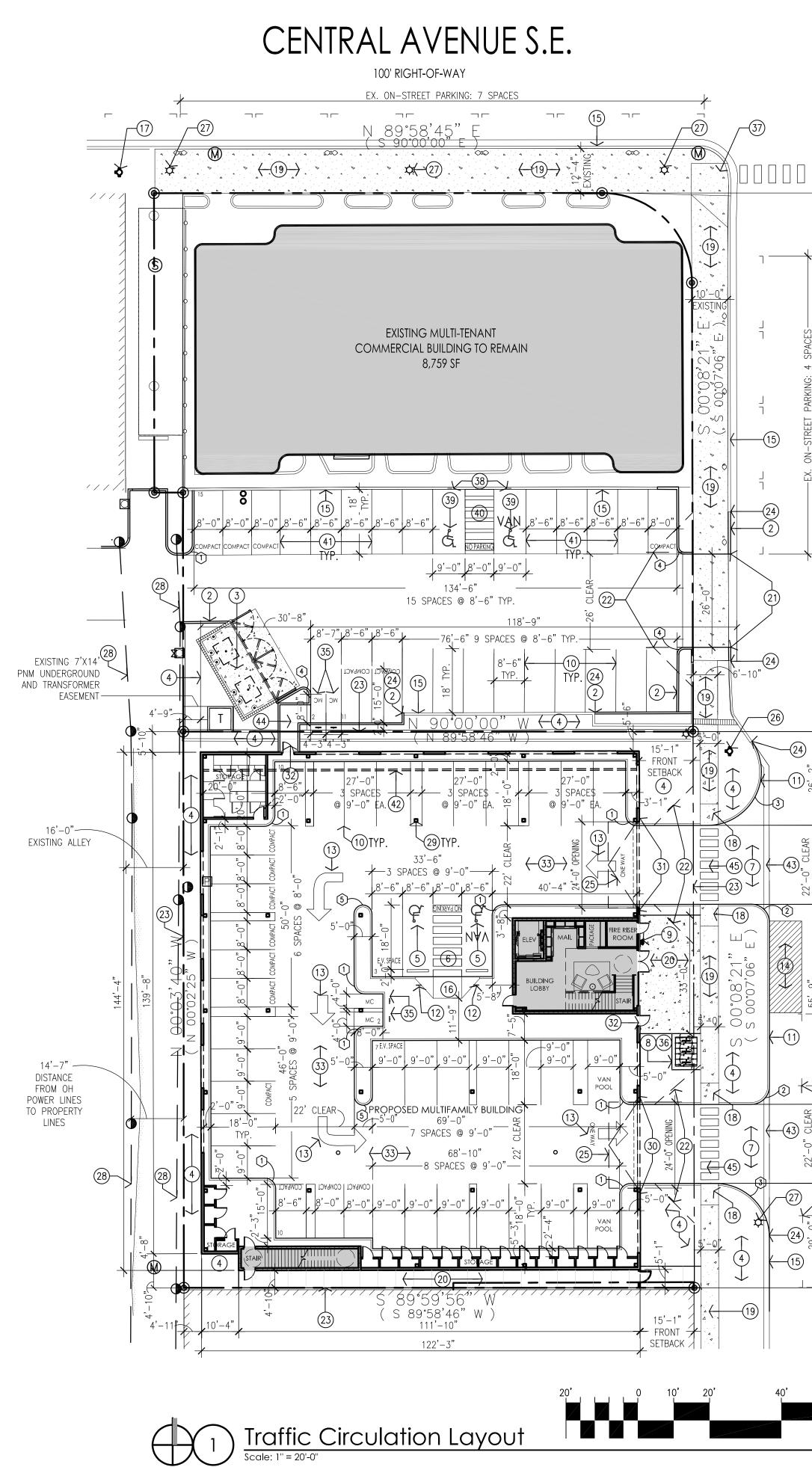
Sincerely, Mullen Heller Architecture, PC

b. Stm

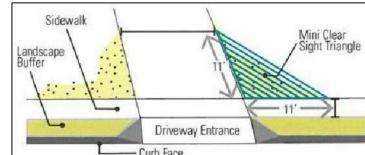
Douglas Heller, AIA, LEED AP

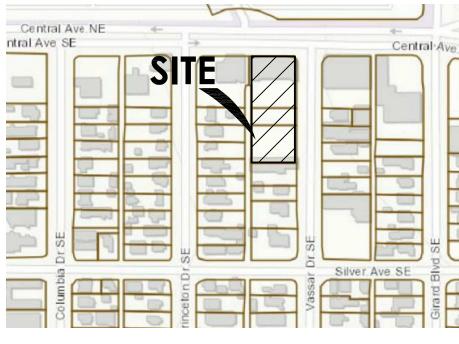


Attachments: Updated TCL001 – Traffic Circulation Layout Site Plan, dated 01-04-2021 Sheet TCL002 – TCL Site Details, dated 01-04-2021 (no revisions made) Added Sheet TCL003 – TCL Site Details, dated 01-04-2021 Approved FIRE001 Fire Safety Site Plan, dated 09-01-2020



PROJECT THE PROJECT IS A NEW 6-STORY MULTI-FAMILY PODIUM BUILDING. THE PROJECT IS STRUCTURE PARKING AND THE BUILDING LOBBY. THE		DED IDA SECTION E $E(C)(1)(a)$ OFF STREET DADIVING CALCULATION.			
BUILDING ADDRESS:	FIVE FLOORS ABOVE ARE WOOD FRAMED AND CONTAIN 108 DWELLING UNITS. THE SECOND FLOOR CONTAINS A COMMUNITY DECK. 109 VASSAR DRIVE SE.	<u>PER IDO SECTION 5–5(C)(1)(c) OFF–STREET PARKING CALCULATION:</u> WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE <u>ROUNDED DOWN</u> TO THE NEAREST WHOLE NUMBER.	SCRIPTION		
LEGAL DESCRIPTION:	ALBUQUERQUE, NEW MEXICO 87106 LOT 22–A–1, BLOCK 24, PLAT OF LOTS 3–A AND 22–A–1 BLOCK 24 UNIVERSITY HEIGHTS BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO	PER TABLE 5–5–1, OFF-STREET PARKING REQUIREMENTS: DWELLING, MULTI-FAMILY UC-MS-PT: 1 SPACE / DU GENERAL RETAIL: UC-MS-PT: 2.5 SPACES / 1,000 SQ. FT. GFA RESTAURANT: UC-MS-PT: 5 SPACES/1,000 SQ. FT. GSF	BY DESCH		
SITE ACREAGE:	LOT 1: 0.496 ACRES LOT 2: 0.505 ACRES	RESIDENTIAL: 108 DWELLING UNITS = 108 PARKING SPACES REQUIRED EXISTING MULTI-TENANT COMMERCIAL BUILDING: RESTAURANT (3,870 SF @ 5 SPACES/1,000 SF) GENERAL RETAIL (4,889 SF @ 2.5 SPACES/1,000 SF) = 12 PARKING SPACES REQUIRED	DATE		
BUILDING GROSS SQUARE FOOTAGE:	FIRST FLOOR (GARAGE):17,589 GROSS SFSECOND FLOOR:13,227 GROSS SFTHIRD FLOOR:13,061 GROSS SFFOURTH FLOOR:13,061 GROSS SFFIFTH FLOOR:13,061 GROSS SFSIXTH FLOOR:13,061 GROSS SF	$SUB-TOTAL = 31$ $\frac{TOTAL PARKING REQUIRED:}{RESIDENTIAL} = 108$ $\frac{RESTAURANT AND GENERAL RETAIL}{TOTAL} = 31$ $TOTAL = 139 \text{ REQUIRED SPACES}$ $\frac{PARKING REDUCTIONS/CREDITS:}{PER SECTION 5-5(C)(5)(C) \text{ REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE}$	₹ S S S S S S S S S S S S S S S S S S S		
SITE SLOPES:	TOTAL BUILDING: 83,060 GROSS SF	REDUCED BY 30% : SUB-TOTAL = 139 * 0.70 TRANSIT REDUCTION (30%)			
 PARKING LOT SLOPE SHALL 8% MAX. PARKING LOT AREAS ADJACE AISLES OR MAJOR ENTRANCE MIN. AND 5% MAX. ADA PARKING SHALL BE BET 	NT TO MAJOR CIRCULATION ES SHALL BE BETWEEN 1%	SUB-TOTAL = 97 REQUIRED PARKING SPACES <u>SHARED PARKING REDUCTION PER IDO SECTION 5–5(C)(5)(b):</u> SUB-TOTAL = 97 / 1.1 SHARED PARKING REDUCTION FACTOR <u>TOTAL REQUIRED PARKING = 88 SPACES</u>			
• ADA FARKING SHALL BE BEI CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL SITE REQUIREMENTS. THEREFORE, SHRUBBERY BETWEEN 3 AND 8 FROM THE GUTTER PAN) WILL NO CLEAR SIGHT TRIANGLE.	NOT INTERFERE WITH CLEAR , SIGNS, WALLS, TREES, AND FEET TALL (AS MEASURED	PROVIDED PARKING BREAKDOWN:REGULAR SPACES (GARAGE)=COMPACT SPACES (GARAGE)=ADA SPACES=E.V. CHARGING SPACES=VAN POOL SPACES=REG. EXISTING COMMERCIAL LOT=18COMPACT EX. COMMERCIAL LOTCOMPACT EX. COMMERCIAL LOT=6ON-STREET SPACES13TOTAL PROVIDED WITHOUT CREDITS80	heller arch		
Sidewalk Landscape Buffer Driveway	Mini Clear Sight Triangle	PARKING CREDITS: 2 ELECTRIC VEHICLE CHARGING STATION CREDITS = +2 SPACES 2 VAN POOL/SHARED CAR CREDITS = +6 SPACES TOTAL PARKING CREDITS = +8 SPACES GRAND TOTAL PROVIDED = 88 SPACES			
VICINITY MA	P	 <u>REQUIRED ADA ACCESSIBLE PARKING SPACES:</u> PER DO 5-5-(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NONRESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED. 	JOHN S DOUGLAS HELLER		
a br SE	Central Ave. SE	PER ADAAG: TOTAL PARKING IN LOT: 76–100, 4 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED. PROVIDED: 4 ADA ACCESSIBLE PARKING SPACES (2 STANDARD, 2 VAN). <u>REQUIRED MOTORCYCLE SPACES:</u> PER 5–5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5–5–4, FOR REQUIRED OFF-STREET PARKING BETWEEN 51–100 SPACES, 3 MOTORCYCLE SPACES SHALL BE PROVIDED. MOTORCYCLE SPACES PROVIDED: 4 SPACES <u>REQUIRED BICYCLE SPACES:</u> PER TABLE 5–5–5, FOR RESIDENTIAL USE GREATER THAN 5 DWELLING UNITS, BICYCLE PARKING SHALL BE 3 SPACES OR 10%OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER. REQUIRED SPACES: 10% OF 88 = 9 SPACES	NO. 2827 01-04-2021 MULLEN HELLER ARCHITECTURE 1718 CENTRAL AVE SW STE. D ALBUQUERQUE, NM 87109 P 505.268.4144 F 505.268.4244 www.mullenheller.com JOB NUMBER 20-12 DRAWN BY KBP/SE		
ZONING MA		PROVIDED BICYCLES SPACES: 6 BICYCLES SPACES OUTSIDE BUILDING (105 BICYCLE SPACES PROVIDED INSIDE BUILDING.)	PROJECT MGR DF		
R-MH LOW		 SELECTED IDO SECTION CITATIONS: 5-5(C)(5) PARKING REDUCTIONS, CREDITS, AND ALLOWANCES: 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED MAY BE REDUCED BY 30 PERCENT IF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN 1,320 FEET OF ANY 	PHASE TCL RESUBMITTAL		
NR-SU wran	Grey Shading Represents Area Outside	 TRANSIT STOP OR TRANSIT STATION WITH A PEAK SERVICE FREQUENCY OF 15 MINUTES OR BETTER. 5-5(C)(5)(B) SHARED PARKING REDUCTION 1. TWO (2) OR MORE USES LISTED IN TABLE 4-2-1 MAY SHARE ONE OR MORE PARKING STRUCTURES OR PARKING LOTS LOCATED PURSUANT TO SUBSECTION 14-16-5-5(F)(1)(A)11. THE SHARING OF ANY REQUIRED PARKING SHALL BE GUARANTEED BY A LEGALLY BINDING ARCEMENT BETWEEN THE OWNER OF THE PARKING REAL AND THE OWNER OF THE BUILDING OR USE THAT IS LOCATED ON A DIFFERENT LOT AND SERVED BY THE PARKING AREA. SUCH ARCEMENT SHALL ADDRESS THE ISSUE OF HOW PARKING REQUERED IF THE PARKING AREA SHOTHE SHALL BOTHE PARKING STALL BE SHARED IF THE PARTIES CHANGE THEIR OPERATING HOURS AND PEAK BUSINESS PERIODS. 2. THE TOTAL OFF-STREET PARKING REQUIREMENT FOR THC2 USES MAY BE REDUCED BY THE FACTORS SHOWN IN TABLE 5-5-3. OFT FSTREET PARKING REQUENDED SHALL BE THE SUM OF THE 2 PARKING SCULUES INFO BY THE FACTORS FOR THAT COMBINATION OF USES. IF MORE THAN 2 USES SHARE A PARKING COT OR STRUCTURE, THE REQUIRED PARKING SHALL BE CALCULATED BY APPLYING TABLE 5-5-3. THAT COMBINATION OF USES. IF MORE THAN 2 USES SHARE A PARKING COT OR STRUCTURE, THE REQUIRED PARKING SHALL BE CALCULATED BY APPLYING TABLE 5-5-3. TH L 2 USES WITH THE LARGEST PARKING REQUIREMENTS AND THEN ADDING THE REQUIRED PARKING FOR THE ADDITIONAL USES. PER TABLE 5-3 SHARED PARKING GPLOT IS 1.1. 5-5(C)(5)(D) ELECTRIC VEHICLE CHARGING STATION CREDIT 1. EACH OFF-STREET PARKING SPACE DESIGNATED AND SIGNED FOR THE EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE CHARGING SPACES TOWARD SATISFACTION OF MINIMUM OFF-STREET PARKING SPACE DESIGNATED AND SIGNED FOR THE EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE CHARGING SPACE THE SUBJECT PROPERTY MAY BE COUNTED AS 1 REQUIRED OFF-STREET PARKING SPACE DESIGNATED AND SIGNED FOR THE EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE SHALL COUNT AS 4 SPACES TOWARD THE SATISFACTION OF A MINIMUM OFF-STREET PARKING SPACE IF THE STREET DOES NOT HAVE RESIDENTIAL PARKING PERMIT RE	PROJECT 109 VASSAR DRIVE S.E. REDEVELOPMENT 133 VASSAR DRIVE S.E. ALBUQUERQUE NM 87106 TTLE TRAFFIC CIRCULATION LAYOUT		



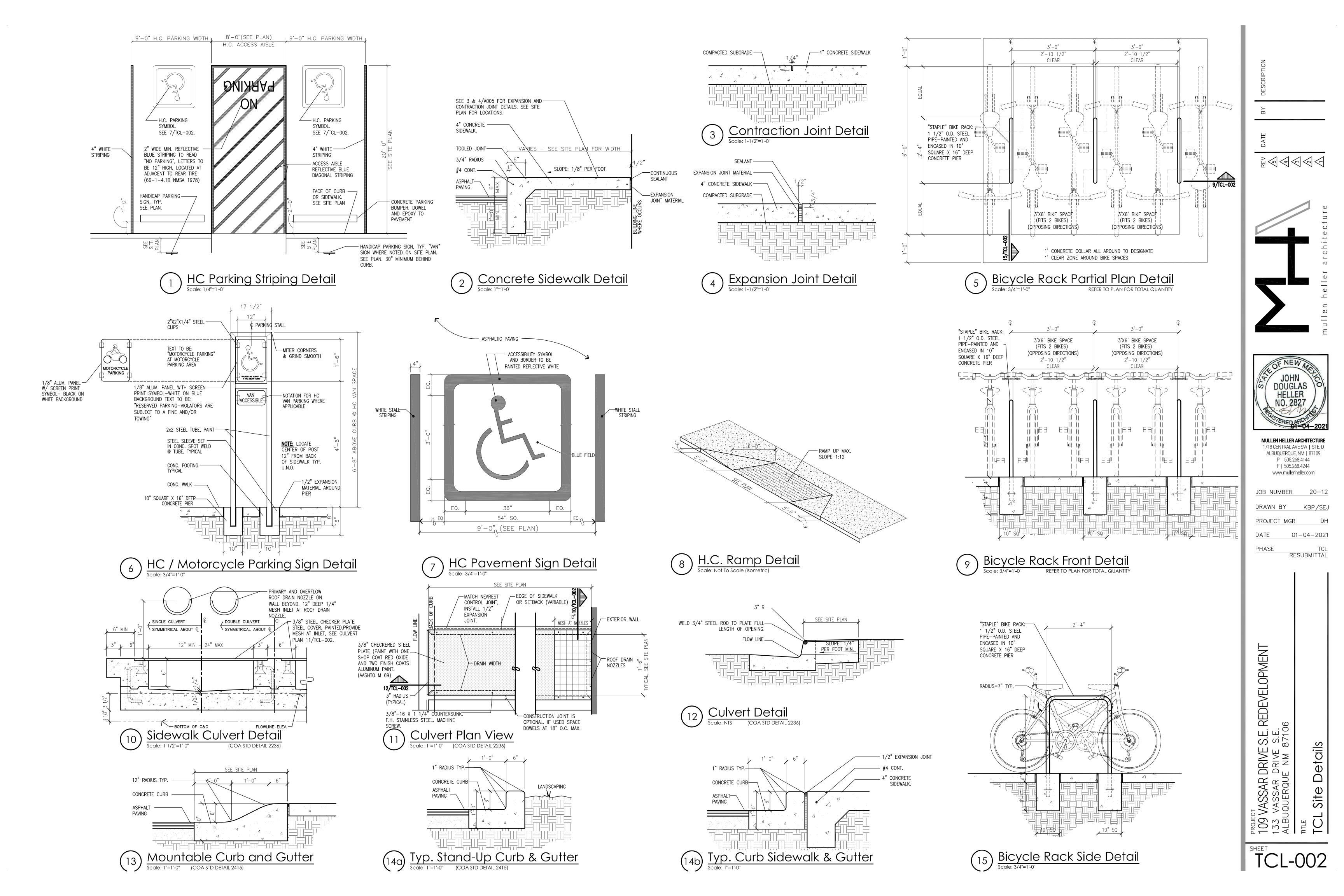


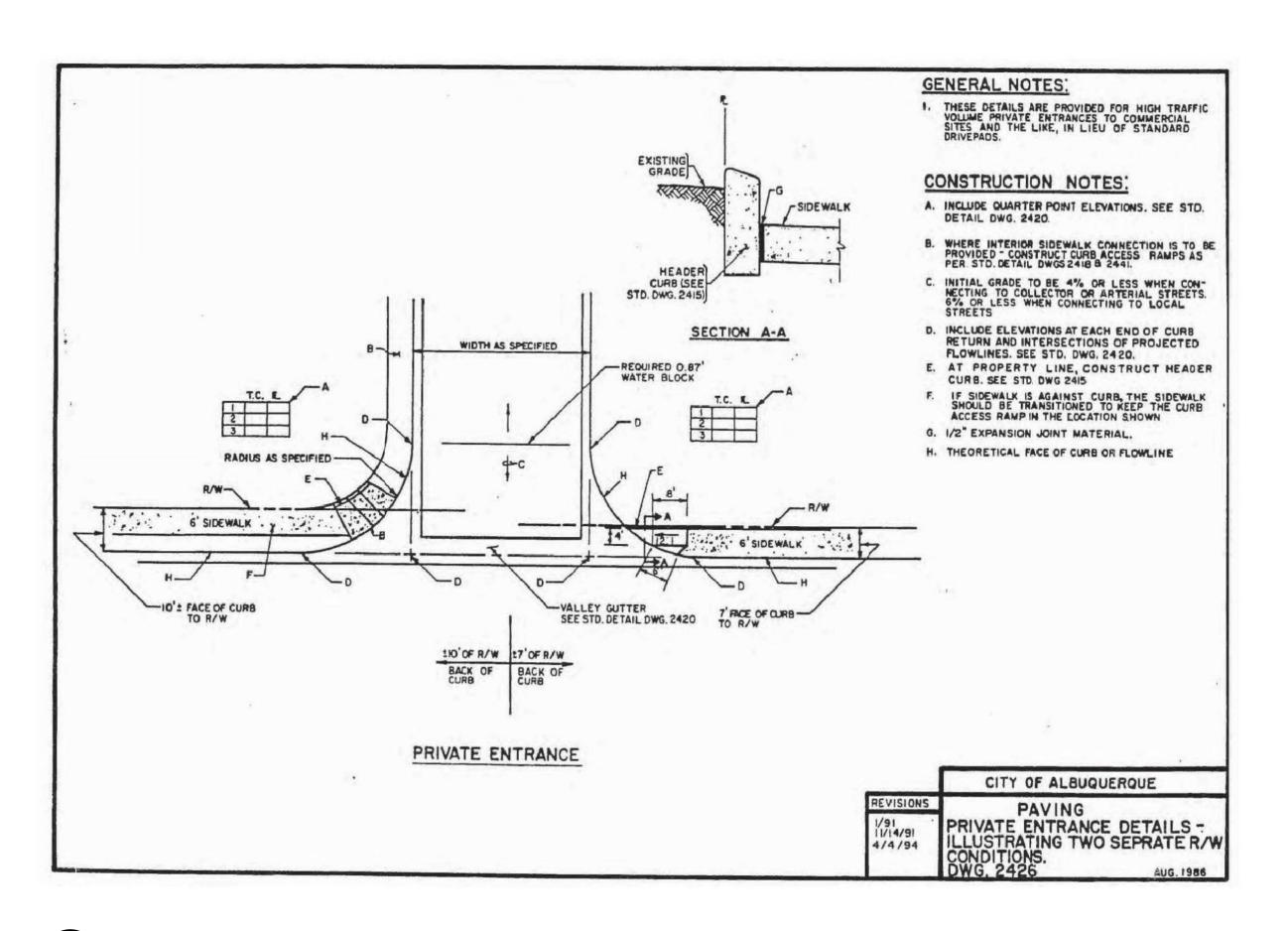


		 GENERAL NOTES: [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS. WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT. [D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING). [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT. [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS. [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING. [H] ALL UNUSED CURBCUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. [I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY. [J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER, RESPECTIVELY.
101	(EXISTING RETAIL TO REMAIN) (SAME OWNER) (SAME OWNER)	 KEYED NOTES: [1] PROPOSED ADA RAMP AND ADA PARKING SIGNS. [2] FACE OF NEW CURB TO ALIGN WITH EXISTING CURB. [3] PROPOSED REFUSE ENCLOSURE (SHARED BETWEEN BUILDINGS). [4] PROPOSED LANDSCAPING AREA. [5] PROPOSED ADA PAVEMENT SIGN. [6] PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. [7] PROPOSED ASPHALT PAVING. [8] PROPOSED BIKE RACKS WITH 6 BIKE SPACES. [9] PROPOSED FIRE DEPT. CONNECTION. [10] PROPOSED PAINTED PARKING STRIPING. [11] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". [13] PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT. [14] NEW PAINTED CURB "FIRE LANE NO PARKING." [15] EXISTING CONCRETE CURB TO REMAIN. [16] PROPOSED ADA RAMP. [17] EXISTING FIRE HYDRANT TO REMAIN. [18] PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS. [19] EXISTING CITY STANDARD SIDEWALK.
20'-0" PROPOSED ON-STREET PARKING 1 SPACE 1 SPACE 25' RIGHT-OF-WAY LOT 2	(PROPOSED MULTI-FAMILY RESIDENTIAL) (SAME OWNER)	 [20] PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK. [21] EXISTING CURB CUT TO REMAIN. [22] CLEAR SIGHT TRIANGLE: LANDSCAPING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. [23] EXISTING PROPERTY LINE. [24] TIE NEW CURB INTO EXISTING CURB. [25] PROPOSED 24' WIDE COILING OVERHEAD GRILLE AT GARAGE ENTRY/EXIT. PROVIDE KNOX BOX. [26] PROPOSED NEW FIRE HYDRANT. [27] EXISTING OVERHEAD POWER AND DATA LINES TO REMAIN. [28] EXISTING OVERHEAD POWER AND DATA LINES TO REMAIN. [29] PROPOSED STRUCTURAL COLUMN, TYP. [30] DO NOT ENTER - EXIT ONLY" SIGNAGE MOUNTED TO BUILDING. [31] "ONE-WAY GARAGE ENTRANCE" SIGNAGE MOUNTED TO BUILDING. [32] PROPOSED ON-STREET PARKING. [34] PROPOSED ON-STREET PARKING. [35] PROPOSED MOTORCYCLE PARKING WITH <u>SIGNAGE</u>. [36] PROPOSED 1'-0" CLEAR ZONE AT BIKE RACKS. [37] EXISTING ADA ACCESS RAMP AND SIGNAGE TO REMAIN. [38] EXISTING ADA ACCESS RAMP AND SIGNAGE TO REMAIN. [39] EXISTING ADA APVEMENT SIGN TO REMAIN, RE-STRIPE. [40] EXISTING ADA APVEMENT SIGN TO REMAIN, RE-STRIPE. [41] EXISTING ADA ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL. [44] PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL. [44] PROPOSED STRIPED CROSSWALK.
		RADIUS INFORMATION: (1) = 3'-0" (2) = 5'-0" (3) = 15'-0" (4) = 2'-0" (5) = 5' = 2"

- (4) = 2 0(5) = 2' 6"

SHEET

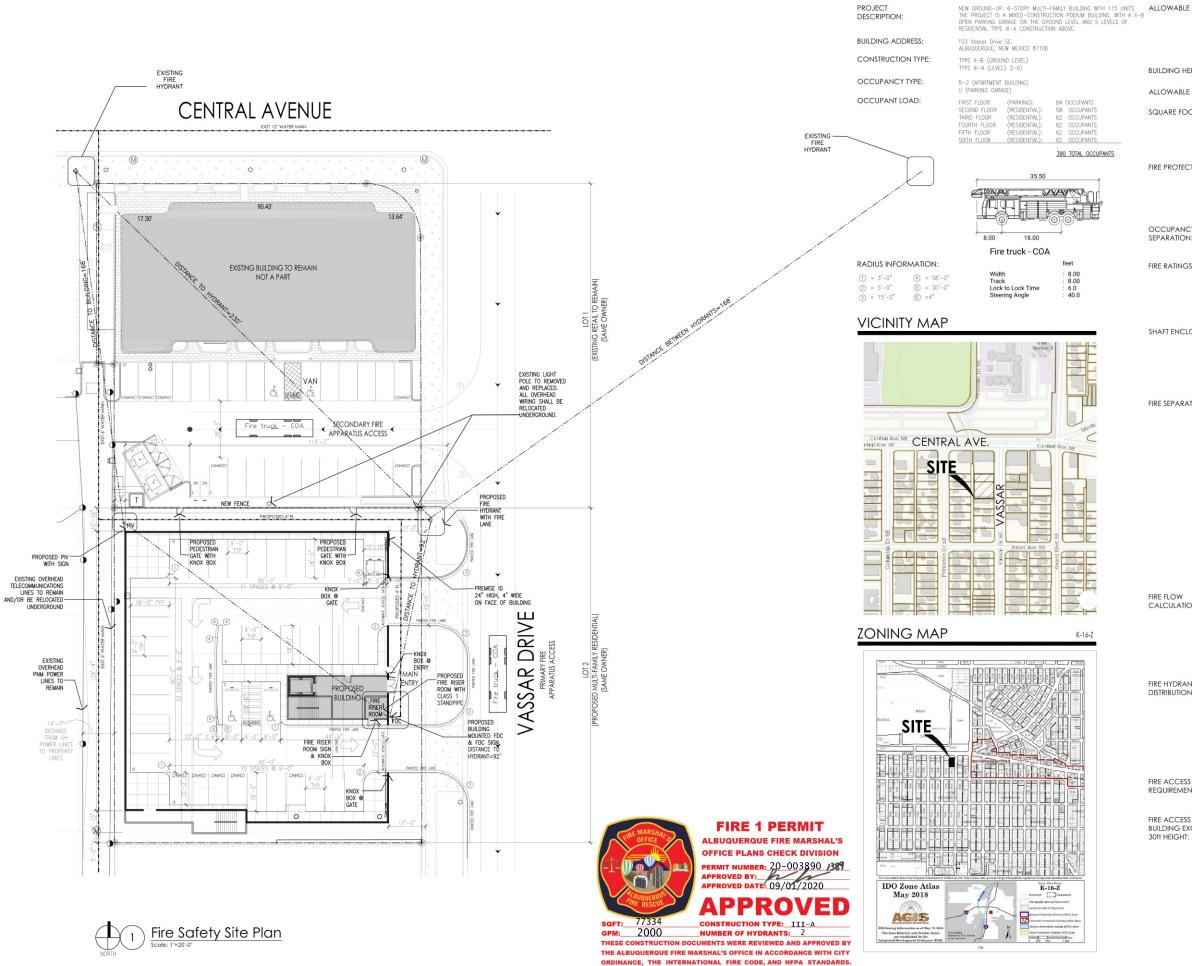




Typical Driveway DetailScale: NTS(COA STD DETAIL 2426)

1





THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

CODE DATA

LE HEIGHT:	BUILDING HEIGHT DEFINITION: THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE.							
	PER TABLE 504.3 ALLOWABLE BUILDING HEIGHT IS 85' ABOVE THE GRADE PLANE.		NOIL					
	PER TABLE 504.4 ALLOWABLE STORIES IS ABOVE GRADE PLANE IS 5 STORIES (ABOVE PODIUM).		DESCRIPTION					
HEIGHT:	77"-0" MAXIMUM ABOVE FIRST FLOOR FINISH GRADE LEVEL.	- 1						
LE AREA:	PER TABLE 506.2 R-2 WITH 13 SPRINKLER SYSTEM: 72,000sf PER FLOOR	-	BY					
OOTAGE:	FIRST FLOOR (GARAGE): 16,620 GROSS SF		DATE					
	SECOND FLOOR: 11,586 GROSS SF THIRD FLOOR: 12,282 GROSS SF FOURTH FLOOR: 12,282 GROSS SF FITH FLOOR: 12,282 GROSS SF SIXTH FLOOR: 12,282 GROSS SF TOTAL, BULLDING: 77,334 GROSS SF	- 1	REV	544				
ECTION:	FULLY AUTOMATED SPRINKLER SYSTEM COMPYING WITH NFPA 13 (NON-RESIDENTAL) AND SECTION 9033.1.1 INSTALLED THROUGHOUT, SHOP DRAWING WILL BE SUBMITTED TO THE FIRE MARSHA'S OFFICE FOR REDUCH AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM, THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE:	Ĺ		rchitecture				
NCY N:	PER IBC 2015 TABLE 508.4: TYPE 'R' & TYPE 'U'			hit				
	REQUIRED SEPARATION: 1 HOUR PROVIDED SEPARATION: 1 HOUR			arc				
GS:	PER IBC 2015 TABLE 601:			er				
	PRIMARY STRUCTURAL FRAME: 1-HOUR RATING REQUIRED INTERIOR AND EXTERIOR BEARING WALLS: 1-HOUR RATING REQUIRED EXTERIOR NON-BEARING WALLS: 1-HOUR RATING REQUIRED INTERIOR NON-BEARING WALLS: 0-HOUR RATING REQUIRED COF CONSTRUCTION: 1-HOUR RATING REQUIRED FLOOR CONSTRUCTION: 1-HOUR RATING REQUIRED		Σ	len hel				
CLOSURES:	SHAFT ENCLOSURES – MECHANICAL SHAFTS, ELEVATOR SHAFTS, AND STAIRWELLS: THE FIRE RESISTANCE RATING FOR FIRE BARRERS, SHAFTS, AND EXITS SHALL BE 2 – HOUR FER SECTION 713.4. THE STRUCTURE IS 6 STORES; THEREFORE, THE SHAFT ASSEMBLIES SHALL BE PROVIDED AS FOLLOWS:			u u				
	ELEVATOR SHAFT: 2-HOUR FIRE-RATED ASSEMBLY	Г						
	STARWELL SHAFT: 2-HOUR FIRE-RATED ASSEMBLY		INA	4				
ations:	STARWELL SHATT: 2-HOUR FIRE-RATED ASSEMBLY WALLS SEPARATING DWELLING UNITS WITHIN A SINGLE BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 708, PER IBC 2015 SECTION 708.3, DWELLING UNITS SEPARATION WALLS IN BUILDINGS OF CONSTRUCTION IIA SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN I HOUR. THE WELLING UNIT SEPARATION WALLS ARE DE I-HOUR FIRE-RATED.							
	FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR, PER IBC 2015 SECTION 711.2.4.3, EXCEPTION 1. ALL FLOOR ASSEMBLIES ARE 1-HOUR FIRE-RATED.	MULLEN HELLER ARCHITECTURE						
	PER IBC 2015 TABLE 1020.1 AND 708.3 EXCEPTION 1, RESIDENTIAL LEVEL CORRIDORS SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR. CORRIDOR WALLS ARE 1-HOUR FIRE-RATED.	ALBUQUERQUE, NM 87109 P 505.268.4144 F 505.268.4244 www.mullenheiler.com						
	PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE BARRIER OF SHAFT ENCLOSURE AND, EXIT ACCESS STARWAY, ARE TO HAVE A FIRE RESISTANCE RATING OF 60 MINUTES.	JC	B NUMBER	20-12				
	PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN ALL OTHER 1-HOUR FIRE BARRIERS, ARE TO HAVE A FIRE RESISTANCE RATING OF 45 MINUTES		RAWN BY	MP AG SJ				
	PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE PARTITION OR CORRIDOR WALL ARE TO HAVE A FIRE RESISTANCE RATING		ROJECT MGR	JDH 09-01-2020				
	OF 20 MINUTES. PER 2009 IFC: APPENDIX B, TABLE B105.1	PH	HASE	FIRE-001				
ions:	TOTAL SQUARE FOOTAGE: 77,265 SF							
	CONSTRUCTION TYPE: III-A TOTAL FIRE FLOW= 4.000 GALLONS/MINUTE							
	TOTAL FIRE FLOW= 4,000 GALLONS/MINUTE 50% REDUCTION FOR FIRE SPRINKLER SYSTEM = 2,000							
	TOTAL BUILDING FIRE FLOW = 2,000 GALLONS/MINUTE FOR 4 HOUR FLOW DURATION							
ANT DN:	PER 2009 IFC: APPENDIX B, TABLE C105.1							
	2 FIRE HYDRANTS REQUIRED PER APPENDIX C (2.000 GPM FIRE FLOW) 3 FIRE HYDRANTS PROVIDED		nt					
	(2 EXISTING, 1 NEW) AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 450 FEET		me					
	MAXINUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 225 FEET		dola					
ess road Ents:	ACCESS ROAD TO BE CONSTRUCTED OF ASPHALT MATERIAL CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.		(edev(an				
	ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE.		e T					
ISS FOR EXCEEDING IT:	TWO MEANS OF FIRE APPARATUS ACCESS PROVIDED TO THE STRUCTURE: 1) ALONG VASSAR DRIVE 2) WITHIN INTERIOR PARKING AREA OF ADJACENT NORTH PROPERTY (WITH SAME PROPERTY OWNER)		/ assar Urive Kedevelopment sar Drive SE. srque, NM 87106	fety Site Plan				
			/ a S sar [sar [Saf				

PROJECT 103 V 8 103 Vassi Albuquero

FIRE001

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