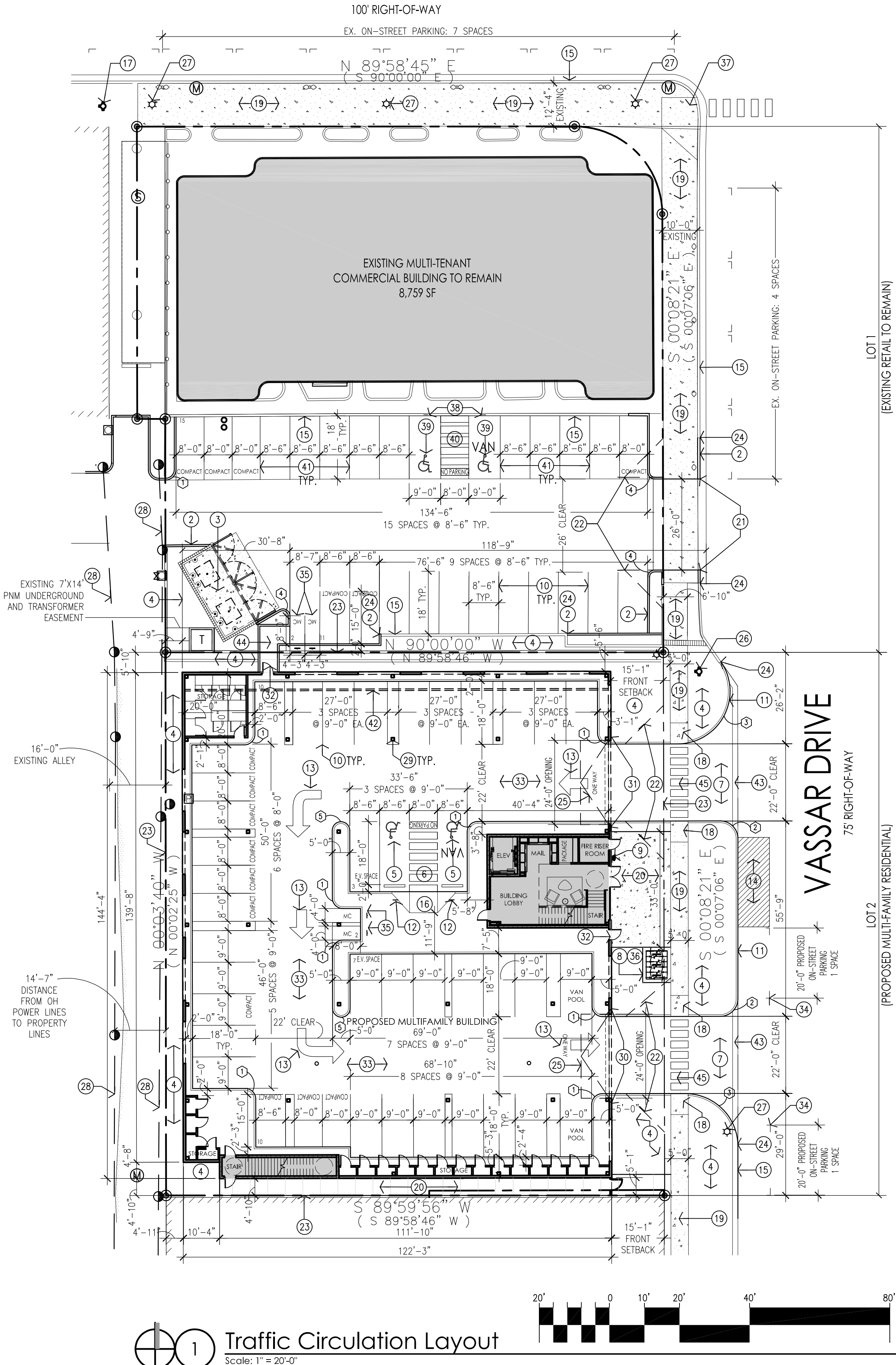


# CENTRAL AVENUE S.E.



## GENERAL NOTES:

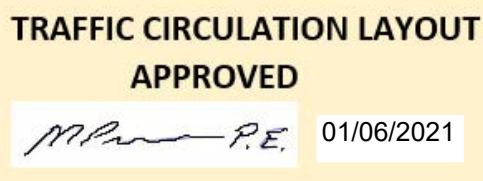
- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- [H] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- [I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- [J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.

## KEY NOTES:

- [1] PROPOSED ADA RAMP AND ADA PARKING SIGNS.
- [2] FACE OF NEW CURB TO ALIGN WITH EXISTING CURB.
- [3] PROPOSED REFUSE ENCLOSURE (SHARED BETWEEN BUILDINGS).
- [4] PROPOSED LANDSCAPING AREA.
- [5] PROPOSED ADA PAVEMENT SIGN.
- [6] PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [7] PROPOSED ASPHALT PAVING.
- [8] PROPOSED BIKE RACKS WITH 6 BIKE SPACES.
- [9] PROPOSED FIRE DEPT. CONNECTION.
- [10] PROPOSED PAINTED PARKING STRIPING.
- [11] PROPOSED CONCRETE CURB PER COA CITY STANDARD 2415. REFER TO DETAIL.
- [12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [13] PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.
- [14] NEW PAINTED CURB "FIRE LANE NO PARKING."
- [15] EXISTING CONCRETE CURB TO REMAIN.
- [16] PROPOSED ADA RAMP.
- [17] EXISTING FIRE HYDRANT TO REMAIN.
- [18] PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.
- [19] EXISTING CITY STANDARD SIDEWALK.
- [20] PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- [21] EXISTING CURB CUT TO REMAIN.
- [22] CLEAR SIGHT TRIANGLE. LANDSCAPING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [23] EXISTING PROPERTY LINE.
- [24] TIE NEW CURB INTO EXISTING CURB.
- [25] PROPOSED 24" WIDE COILING OVERHEAD GRILLE AT GARAGE ENTRY/EXIT. PROVIDE KNOX BOX.
- [26] PROPOSED NEW FIRE HYDRANT.
- [27] EXISTING LIGHT POLE TO REMAIN.
- [28] EXISTING OVERHEAD POWER AND DATA LINES TO REMAIN.
- [29] PROPOSED STRUCTURAL COLUMN, TYP.
- [30] "DO NOT ENTER - EXIT ONLY" SIGNAGE MOUNTED TO BUILDING.
- [31] "ONE-WAY GARAGE ENTRANCE" SIGNAGE MOUNTED TO BUILDING.
- [32] PROPOSED PEDESTRIAN GATE/DOOR WITH KNOX BOX.
- [33] NEW CONCRETE PAVING.
- [34] PROPOSED ON-STREET PARKING.
- [35] PROPOSED MOTORCYCLE PARKING WITH SIGNAGE.
- [36] PROPOSED 1'-0" CLEAR ZONE AT BIKE RACKS.
- [37] EXISTING RAMP CURB TO REMAIN.
- [38] EXISTING ADA ACCESS RAMP AND SIGNAGE TO REMAIN.
- [39] EXISTING ADA PAVEMENT SIGN TO REMAIN, RE-STRIPE.
- [40] EXISTING STRIPED ADA AISLE TO REMAIN, RE-STRIPE.
- [41] EXISTING PARKING TO REMAIN, RE-STRIPE.
- [42] LINE OF BUILDING ABOVE.
- [43] PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL.
- [44] PROPOSED CONCRETE SIDEWALK.
- [45] PROPOSED STRIPED CROSSWALK.

## RADIUS INFORMATION:

- ① = 3'-0"
- ② = 5'-0"
- ③ = 15'-0"
- ④ = 2'-0"
- ⑤ = 2'-6"



## CODE DATA

PROJECT DESCRIPTION:	THE PROJECT IS A NEW 6-STORY MULTI-FAMILY PODIUM BUILDING. THE FIRST FLOOR IS STRUCTURE PARKING AND THE BUILDING LOBBY. THE FIVE FLOORS ABOVE ARE WOOD FRAMED AND CONTAIN 108 DWELLING UNITS. THE SECOND FLOOR CONTAINS A COMMUNITY DECK.
BUILDING ADDRESS:	109 VASSAR DRIVE SE. ALBUQUERQUE, NEW MEXICO 87106
LEGAL DESCRIPTION:	LOT 22-A-1, BLOCK 24, PLAT OF LOTS 3-A AND 22-A-1 BLOCK 24 UNIVERSITY HEIGHTS BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:	LOT 1: 0.496 ACRES LOT 2: 0.505 ACRES
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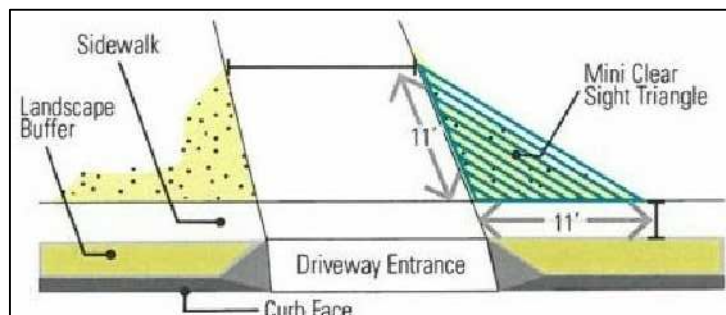
BUILDING GROSS SQUARE FOOTAGE:	FIRST FLOOR (GARAGE): 17,589 GROSS SF SECOND FLOOR: 13,227 GROSS SF THIRD FLOOR: 13,061 GROSS SF FOURTH FLOOR: 13,061 GROSS SF FIFTH FLOOR: 13,061 GROSS SF SIXTH FLOOR: 13,061 GROSS SF TOTAL BUILDING: 83,060 GROSS SF
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## SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

## CLEAR SIGHT TRIANGLE:

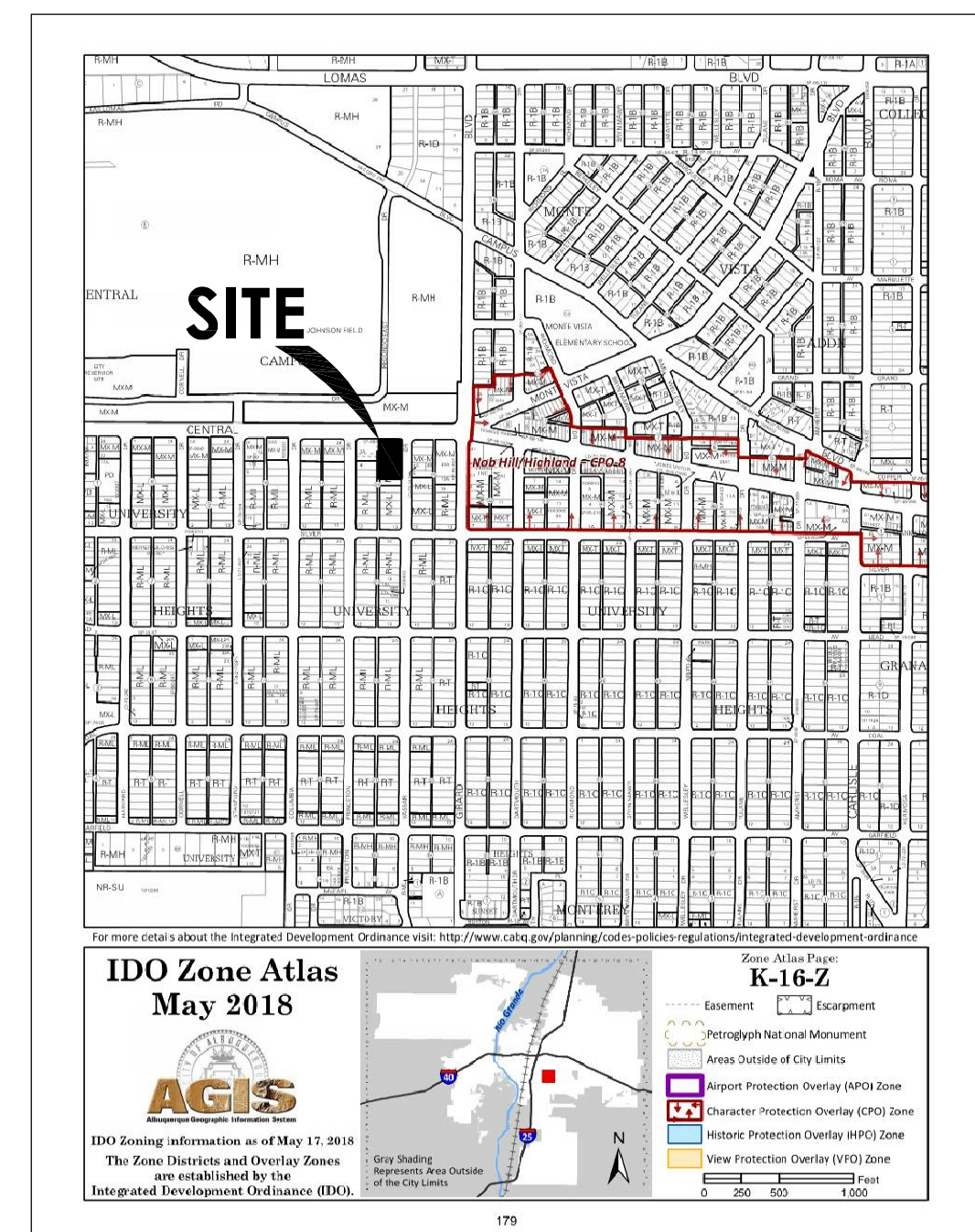
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



## VICINITY MAP



## ZONING MAP



## PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:	
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE <b>ROUNDED DOWN</b> TO THE NEAREST WHOLE NUMBER.	
PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:	
DWELLING, MULTI-FAMILY UC-MS-PT: 1 SPACE / DU	
GENERAL RETAIL: UC-MS-PT: 2.5 SPACES / 1,000 SQ. FT. GFA	
RESTAURANT: UC-MS-PT: 5 SPACES/1,000 SQ. FT. GSF	
RESIDENTIAL:	
108 DWELLING UNITS = 108 PARKING SPACES REQUIRED	
EXISTING MULTI-TENANT COMMERCIAL BUILDING:	
RESTAURANT (3,870 SF @ 5 SPACES/1,000 SF)	= 19 PARKING SPACES REQUIRED
GENERAL RETAIL (4,889 SF @ 2.5 SPACES/1,000 SF)	= 12 PARKING SPACES REQUIRED
SUB-TOTAL = 31	
TOTAL PARKING REQUIRED:	
RESIDENTIAL = 108	
RESTAURANT AND GENERAL RETAIL = 31	
TOTAL = 139 REQUIRED SPACES	
PARKING REDUCTIONS/CREDITS:	
PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%:	
SUB-TOTAL = 139 * 0.70 TRANSIT REDUCTION (30%)	
SUB-TOTAL = 97 REQUIRED PARKING SPACES	
SHARED PARKING REDUCTION PER IDO SECTION 5-5(C)(5)(b):	
SUB-TOTAL = 97 / 1.1 SHARED PARKING REDUCTION FACTOR	
TOTAL REQUIRED PARKING = 88 SPACES	
PROVIDED PARKING BREAKDOWN:	
REGULAR SPACES (GARAGE) = 25	
COMPACT SPACES (GARAGE) = 10	
ADA SPACES = 4	
E.V. CHARGING SPACES = 2	
VAN POOL SPACES = 2	
REG. EXISTING COMMERCIAL LOT = 18	
COMPACT EX. COMMERCIAL LOT = 6	
ON-STREET SPACES = 13	
TOTAL PROVIDED WITHOUT CREDITS = 80	
PARKING CREDITS:	
2 ELECTRIC VEHICLE CHARGING STATION CREDITS = +2 SPACES	
2 VAN POOL/SHARED CAR CREDITS = +6 SPACES	
TOTAL PARKING CREDITS = +8 SPACES	
GRAND TOTAL PROVIDED = 88 SPACES	

REQUIRED ADA ACCESSIBLE PARKING SPACES:  
PER DO 5-5-(C)(8)(g): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NONRESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

PER ADAAG:  
TOTAL PARKING IN LOT: 76-100, 4 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED.  
PROVIDED: 4 ADA ACCESSIBLE PARKING SPACES (2 STANDARD, 2 VAN).

REQUIRED MOTORCYCLE SPACES:  
PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 51-100 SPACES, 3 MOTORCYCLE SPACES SHALL BE PROVIDED.  
MOTORCYCLE SPACES PROVIDED: 4 SPACES

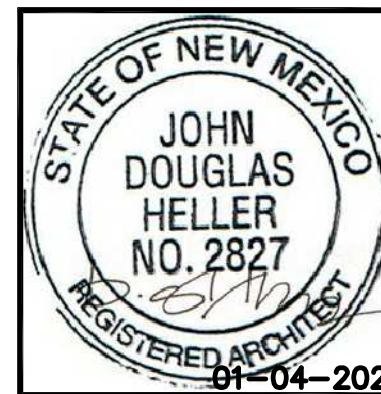
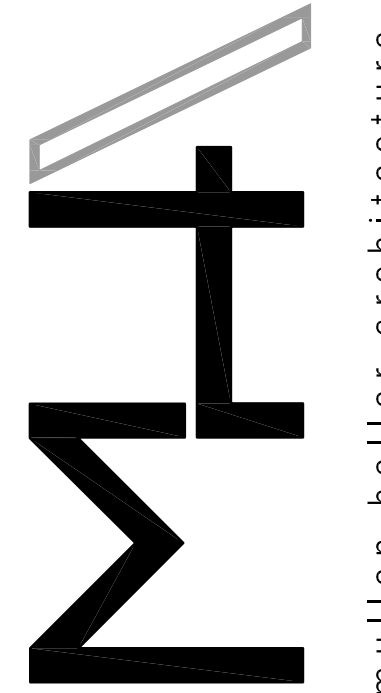
REQUIRED BICYCLE SPACES:  
PER TABLE 5-5-4, FOR RESIDENTIAL USE GREATER THAN 5 DWELLING UNITS, BICYCLE PARKING SHALL BE 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED SPACES: 10% OF 88 = 9 SPACES  
PROVIDED BICYCLES SPACES: 6 BICYCLES SPACES OUTSIDE BUILDING (10% BICYCLE SPACES PROVIDED INSIDE BUILDING.)

## SELECTED IDO SECTION CITATIONS:

- 5-5(C)(5) PARKING REDUCTIONS, CREDITS, AND ALLOWANCES:
- 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT
- THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED MAY BE REDUCED BY 30 PERCENT IF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN 1,320 FEET OF ANY TRANSIT STOP OR TRANSIT STATION WITH A PEAK SERVICE FREQUENCY OF 15 MINUTES OR BETTER.
- 5-5(C)(5)(B) SHARED PARKING REDUCTION
- TWO (2) OR MORE USES LISTED IN TABLE 4-2-1 MAY SHARE ONE OR MORE PARKING STRUCTURES OR PARKING LOTS LOCATED PURSUANT TO SUBSECTION 14-16-5-5(C)(1)(a)11. THE SHARING OF ANY REQUIRED PARKING SHALL BE GUARANTEED BY A LEGALLY BINDING AGREEMENT BETWEEN THE OWNER OF THE PARKING AREA AND THE OWNER OF THE BUILDING OR USE THAT IS LOCATED ON A DIFFERENT LOT AND SERVED BY THE PARKING AREA. SUCH AGREEMENT SHALL ADDRESS THE ISSUE OF HOW PARKING WILL BE SHARED IF THE PARTIES CHANGE THEIR OPERATING HOURS AND PEAK BUSINESS PERIODS.
  - THE TOTAL OFF-STREET PARKING REQUIREMENT FOR THOSE USES MAY BE REDUCED BY THE FACTORS SHOWN IN TABLE 5-5-3. OFF-STREET PARKING REQUIRED SHALL BE THE SUM OF THE 2 PARKING REQUIREMENTS FOR THE 2 USES DIVIDED BY THE FACTORS FOR THAT COMBINATION OF USES. IF MORE THAN 2 USES SHARE A PARKING LOT OR STRUCTURE, THE REQUIRED PARKING SHALL BE CALCULATED BY APPLYING TABLE 5-5-3 TO THE 2 USES WITH THE LARGEST PARKING REQUIREMENTS AND THEN ADDING THE REQUIRED PARKING FOR THE ADDITIONAL USES. PER TABLE 5-5-3, SHARED PARKING REDUCTION FACTOR IS 1.1.
- 5-5(C)(5)(D) ELECTRIC VEHICLE CHARGING STATION CREDIT
- EACH OFF-STREET ELECTRIC VEHICLE CHARGING STATION WITH A RATING OF 240 VOLTS OR HIGHER SHALL COUNT AS 2 VEHICLE PARKING SPACES TOWARD SATISFACTION OF MINIMUM OFF-STREET PARKING REQUIREMENTS.
- 5-5(C)(5)(E) VAN AND CAR POOL PARKING CREDIT
- EACH OFF-STREET PARKING SPACE DESIGNATED AND SIGNED FOR THE EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE SHALL COUNT AS 4 SPACES TOWARD THE SATISFACTION OF A MINIMUM OFF-STREET PARKING REQUIREMENTS.
- 5-5(C)(5)(F) ON-STREET PARKING CREDIT
- ANY ON-STREET PARKING SPACE ABUTTING THE SUBJECT PROPERTY MAY BE COUNTED AS 1 REQUIRED OFF-STREET PARKING SPACE IF THE STREET DOES NOT HAVE RESIDENTIAL PARKING PERMIT RESTRICTIONS.
- 5-5(F)(1)(B) DOWNTOWN, URBAN CENTERS, MAIN STREET AREAS, AND PREMIUM TRANSIT AREAS
- IN ADDITION TO THE PROVISIONS IN SUBSECTION (A) ABOVE, THE FOLLOWING APPLY STANDARDS APPLY IN DT-UC-MS-PT AREAS.
- REQUIRED OFF-STREET PARKING SPACES THAT ARE NOT REQUIRED TO COMPLY WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT MAY BE LOCATED OFF-SITE IN ANY MIXED-USE OR NON-RESIDENTIAL ZONE DISTRICT PROVIDED THAT THE PROPERTY CONTAINING THE OFF-SITE PARKING IS LOCATED WITHIN 660 FEET OF THE USE FOR WHICH THE PARKING IS PROVIDED (MEASURED FROM THE NEAREST POINTS ON THEIR LOT LINES), AND THE APPLICANT PROVIDES DOCUMENTATION THAT THE OFF-SITE SPACES WILL REMAIN AVAILABLE TO SUPPLY THE REQUIRED PARKING FOR THE APPLICANT'S PROPERTY FOR A PERIOD OF NOT LESS THAN 2 YEARS. OFF-SITE PARKING FOR A NON-RESIDENTIAL USE MAY NOT BE PROVIDED IN ANY RESIDENTIAL ZONE DISTRICT.

REV	DATE	DESCRIPTION
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4		
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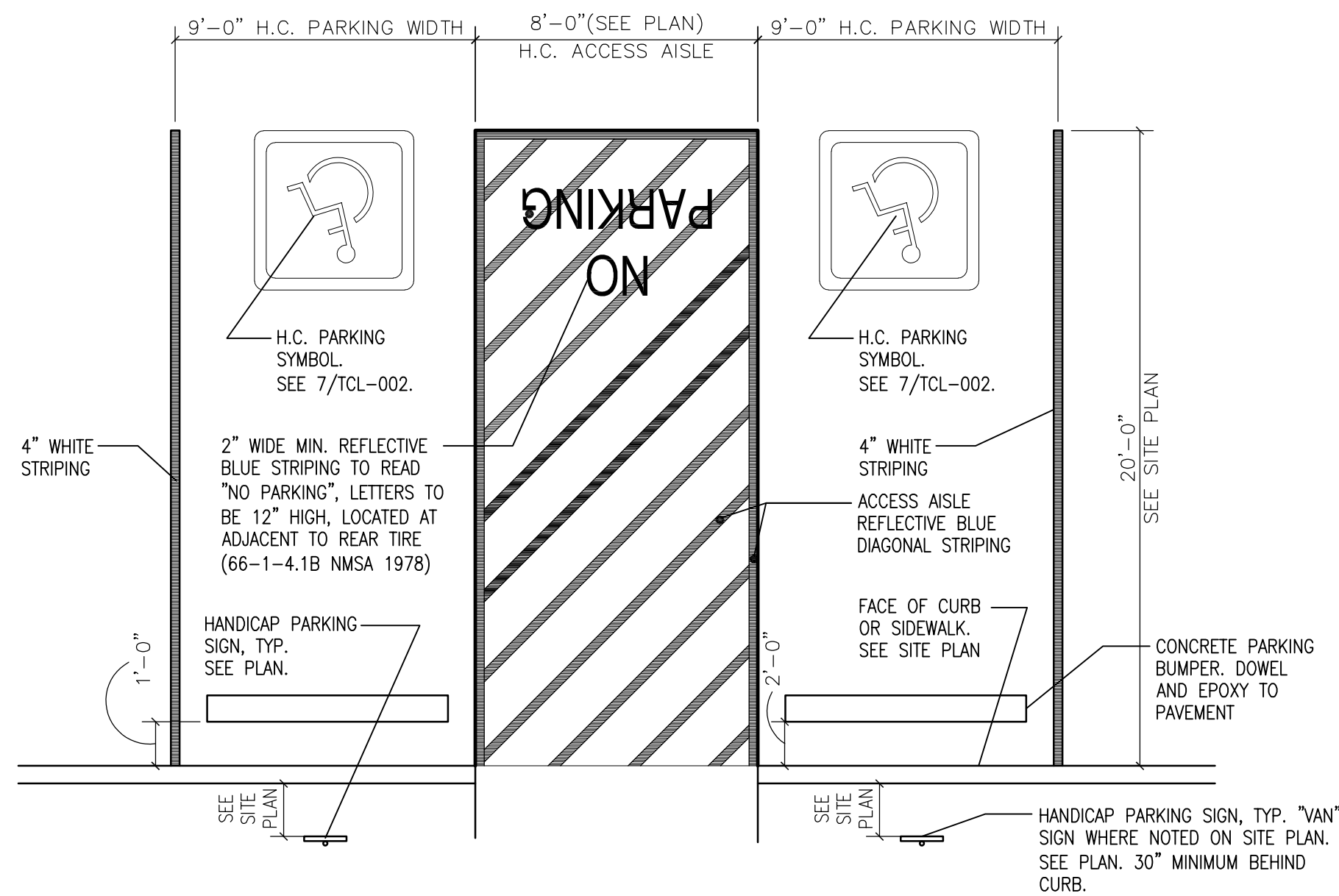
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DRAWN BY	KBP/SEJ
PROJECT MGR	DH
DATE	01-04-2021
PHASE	TCL
	RESUBMITTAL

PROJECT	109 VASSAR DRIVE S.E. REDEVELOPMENT
	133 VASSAR DRIVE S.E.
	ALBUQUERQUE NM 87106
TITLE	TRAFFIC CIRCULATION LAYOUT

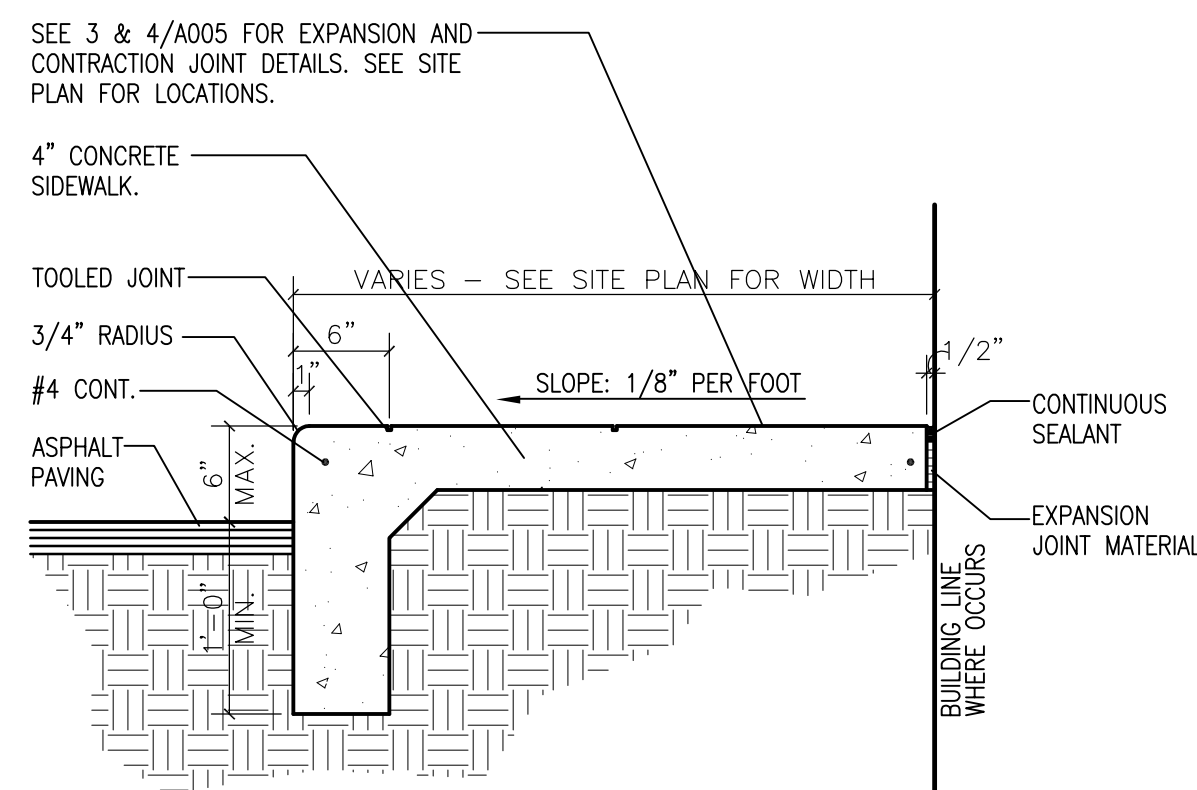
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TCL

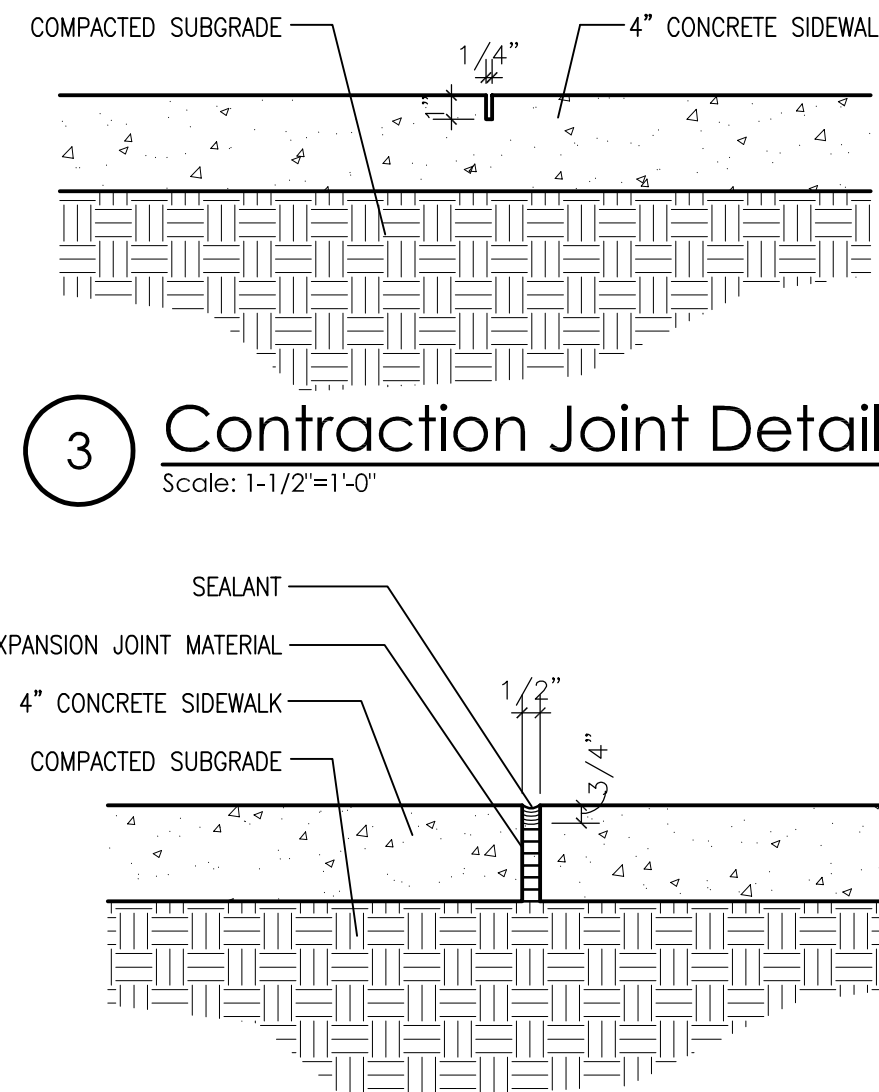




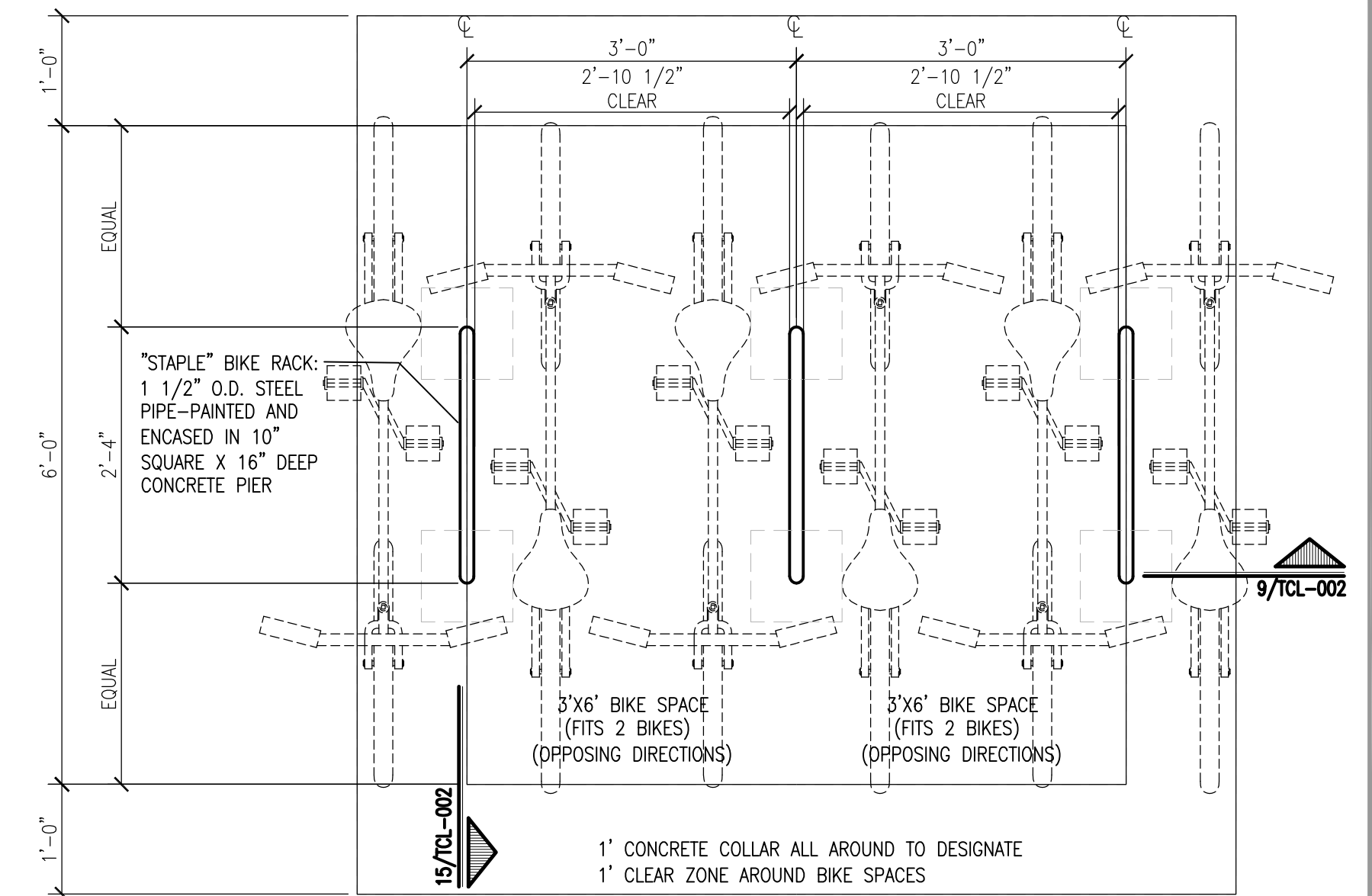
1 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



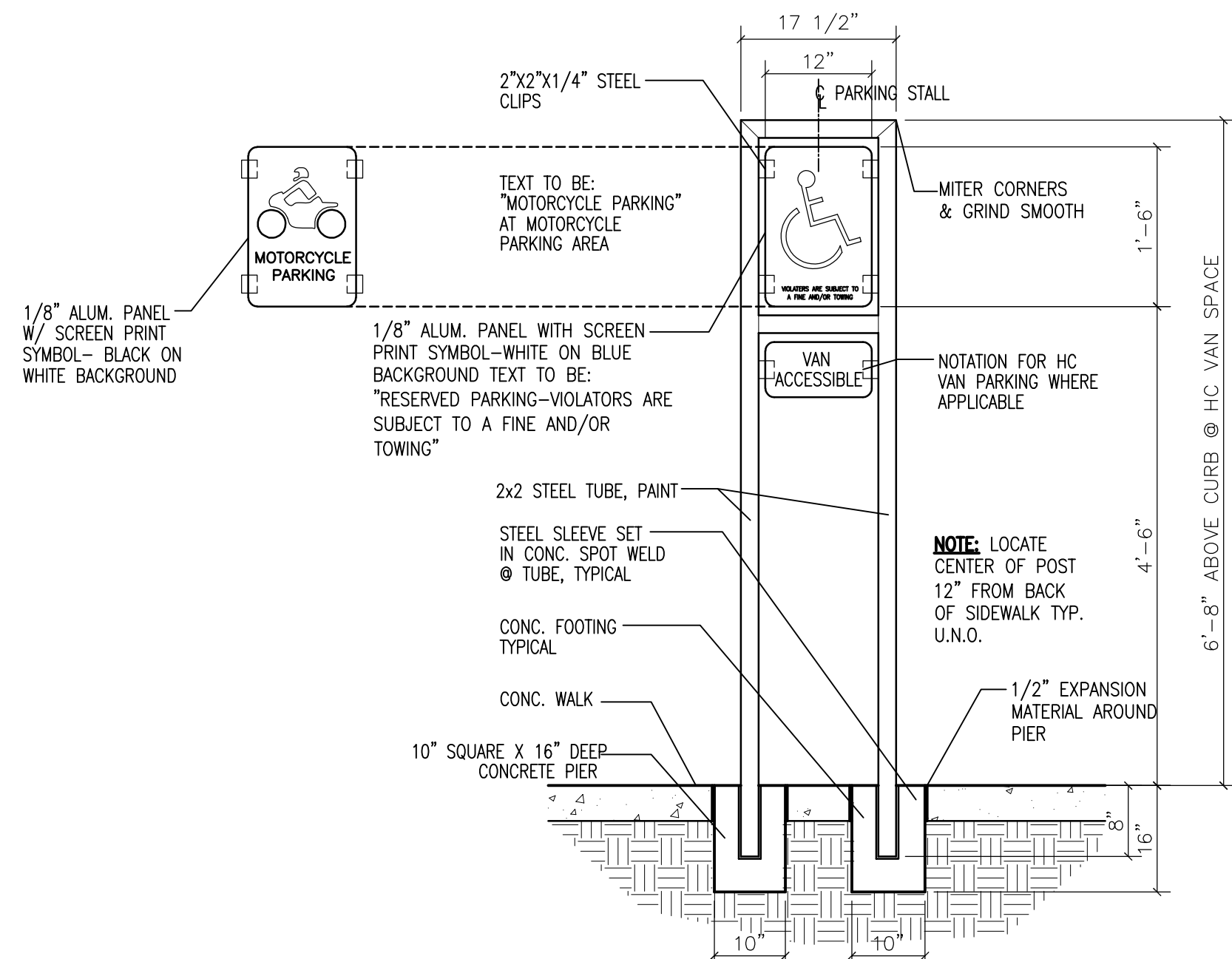
2 Concrete Sidewalk Detail  
Scale: 1"=1'-0"



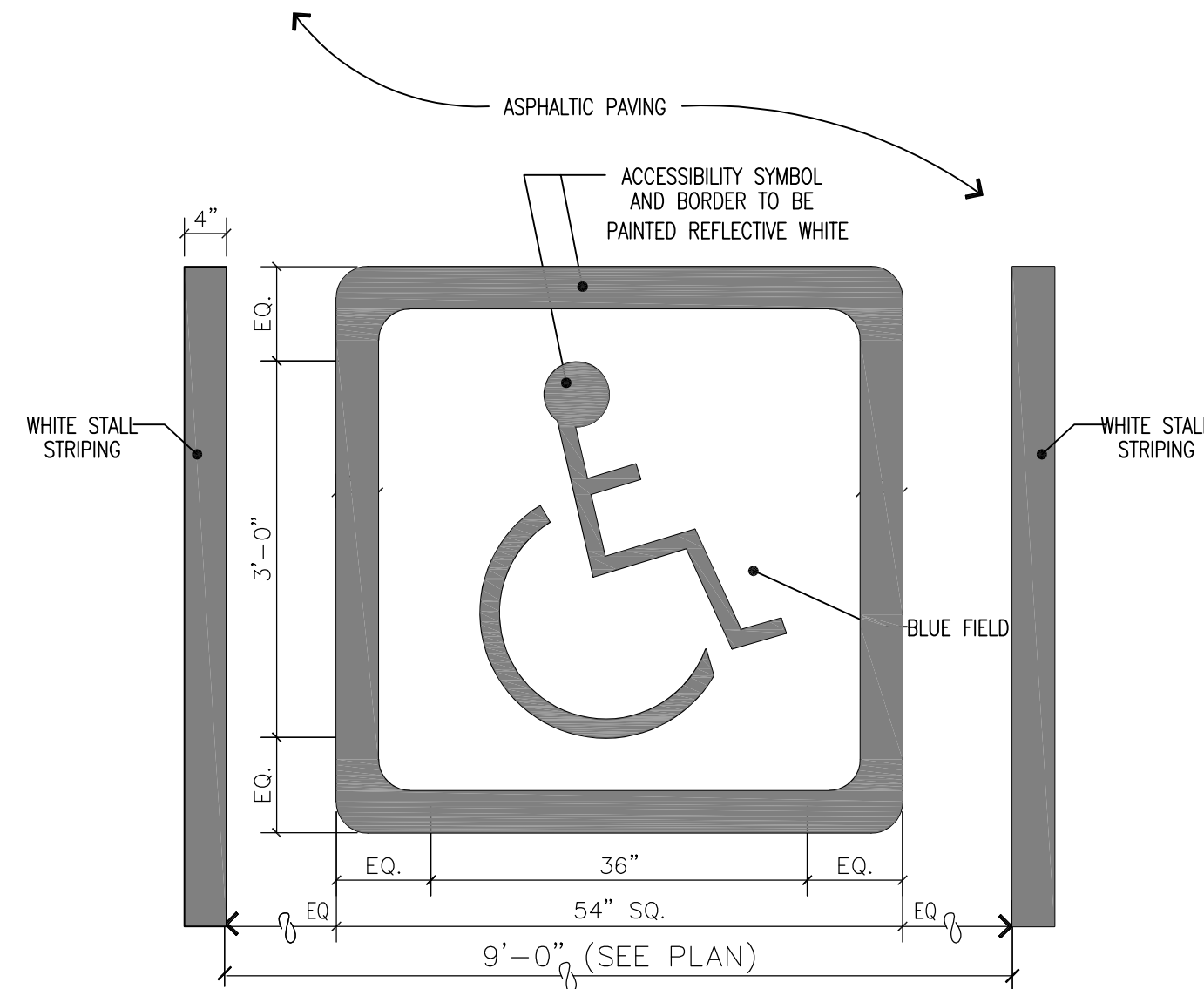
4 Expansion Joint Detail  
Scale: 1-1/2"=1'-0"



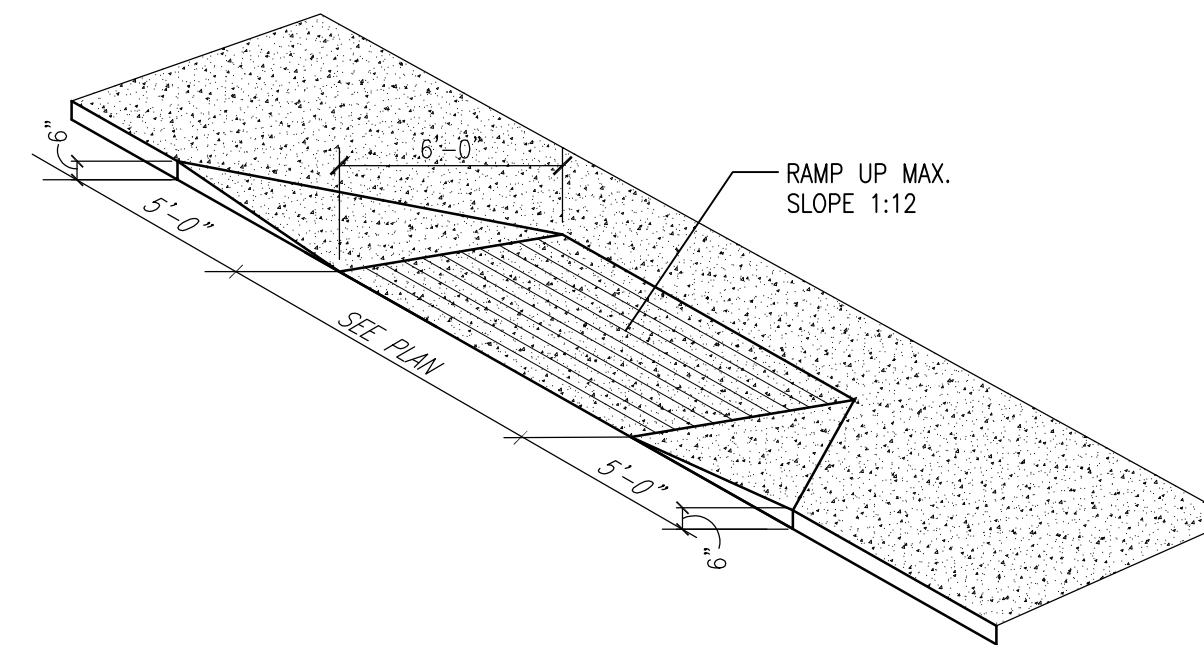
5 Bicycle Rack Partial Plan Detail  
Scale: 3/4"=1'-0"  
REFER TO PLAN FOR TOTAL QUANTITY



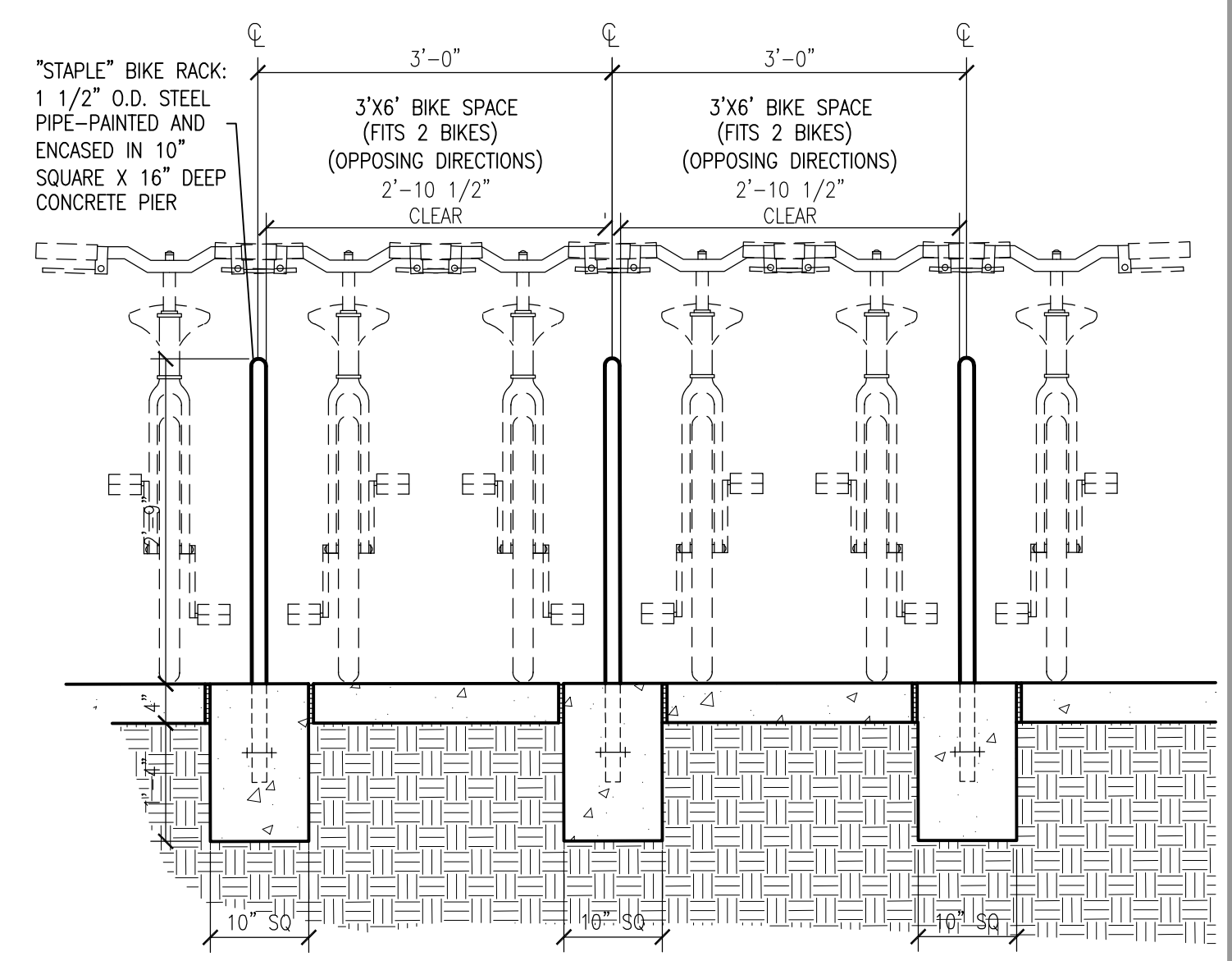
6 HC / Motorcycle Parking Sign Detail  
Scale: 3/4"=1'-0"



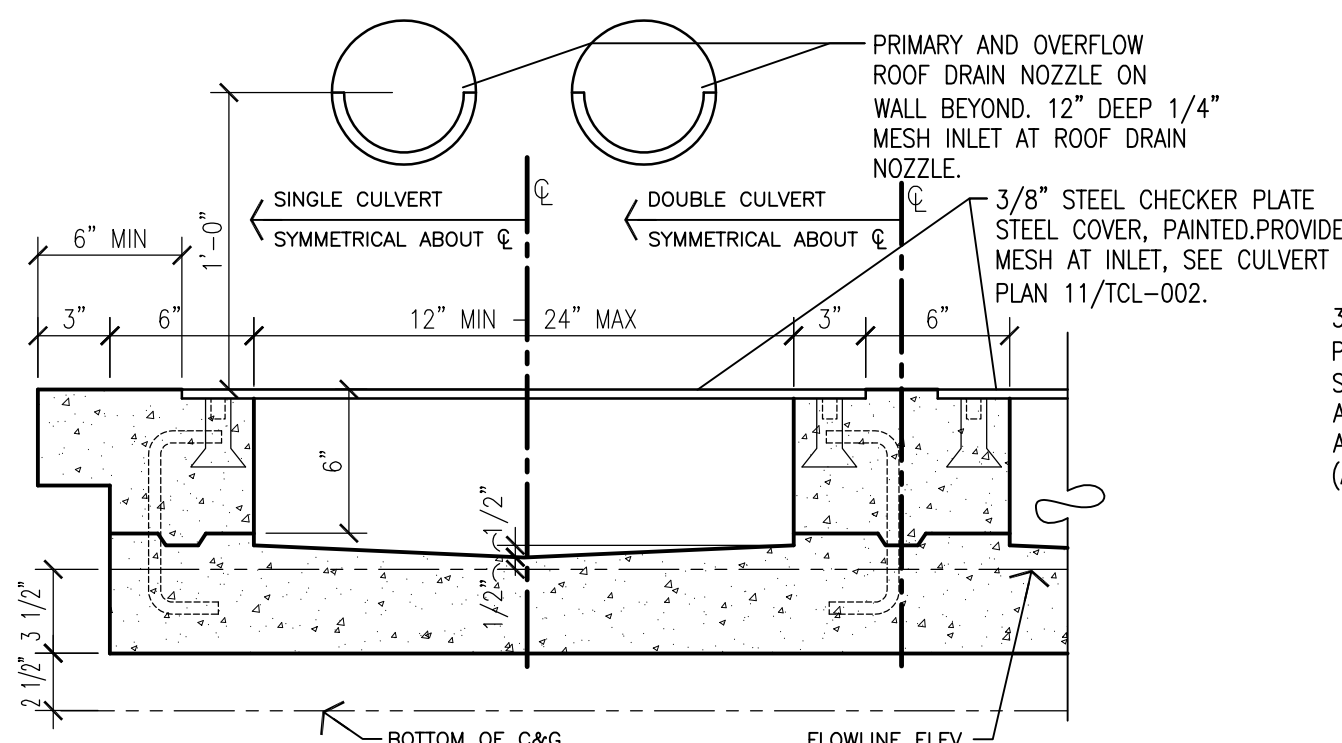
7 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



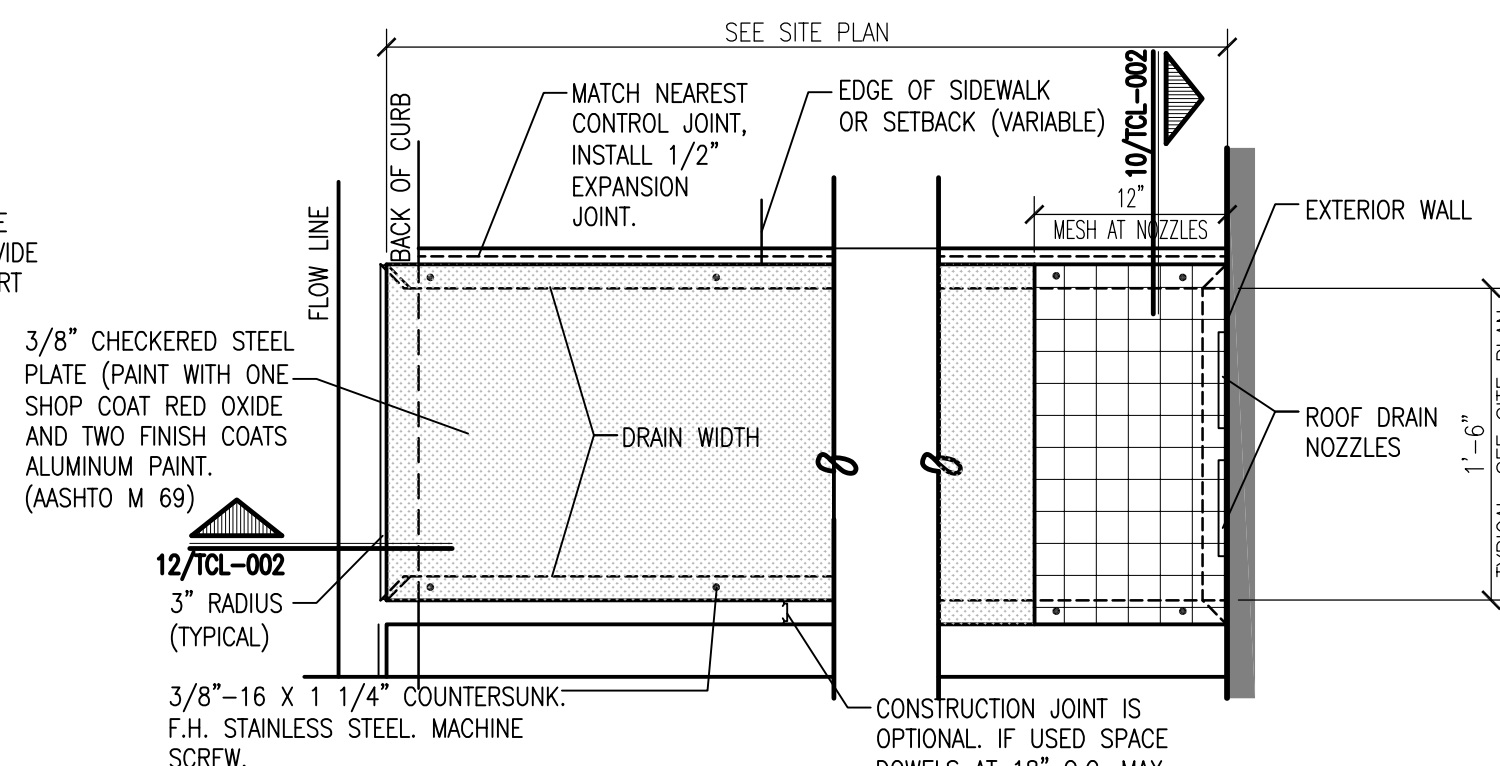
8 H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



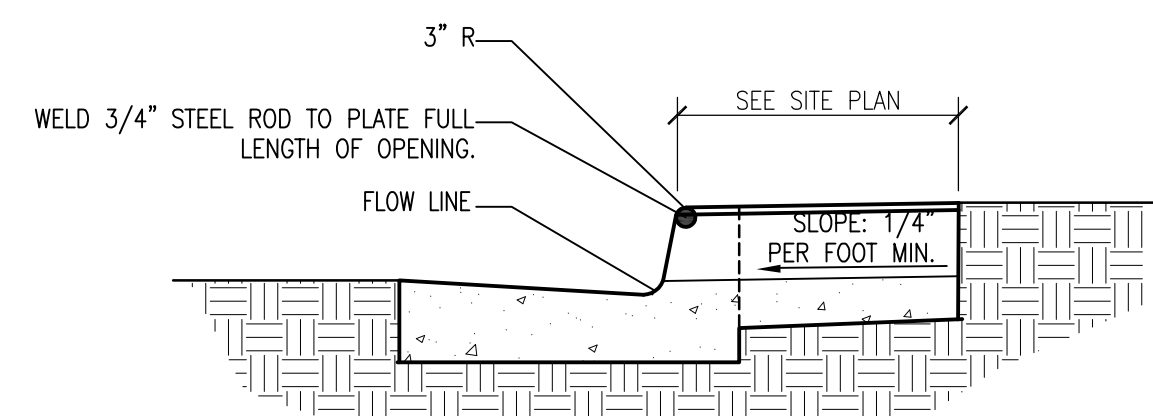
9 Bicycle Rack Front Detail  
Scale: 3/4"=1'-0"  
REFER TO PLAN FOR TOTAL QUANTITY



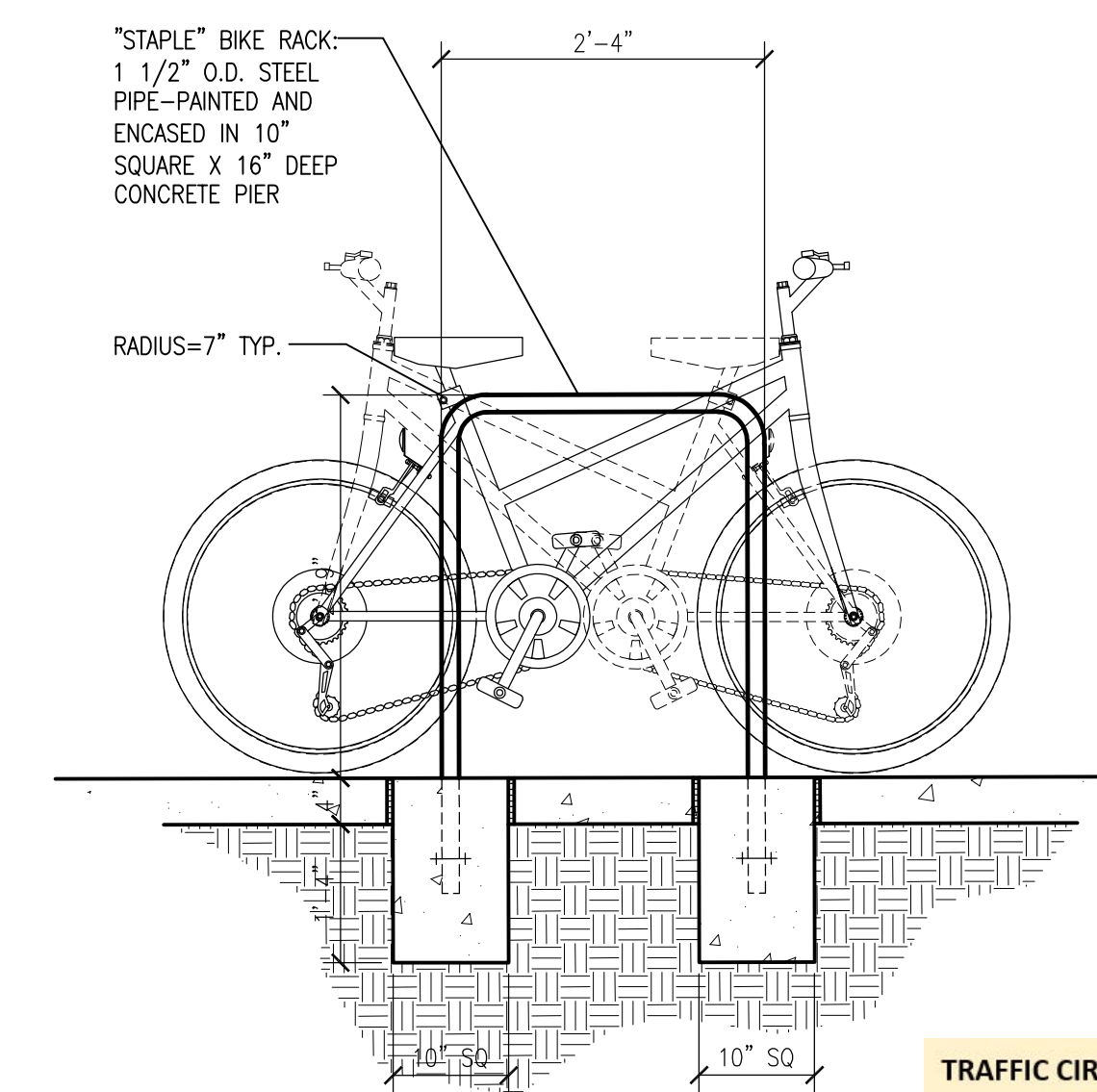
10 Sidewalk Culvert Detail  
Scale: 1 1/2"=1'-0"  
(COA STD DETAIL 2236)



11 Culvert Plan View  
Scale: 1"=1'-0"  
(COA STD DETAIL 2236)

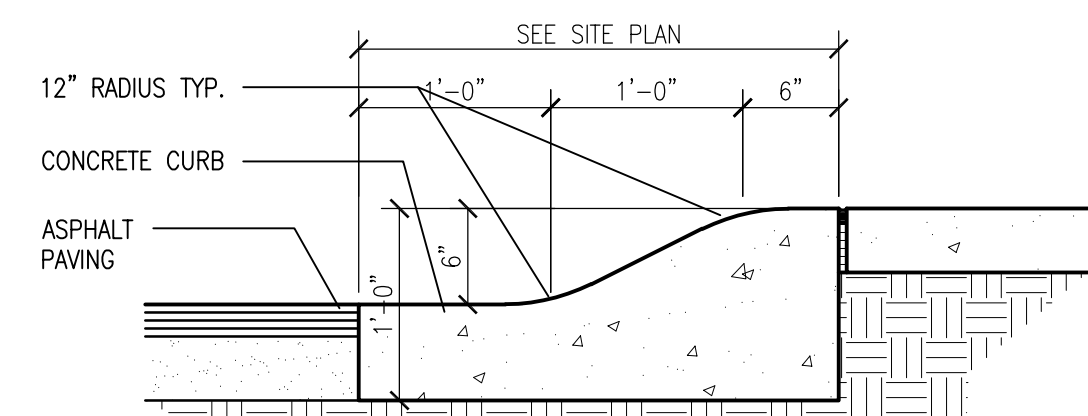


12 Culvert Detail  
Scale: NTS  
(COA STD DETAIL 2236)

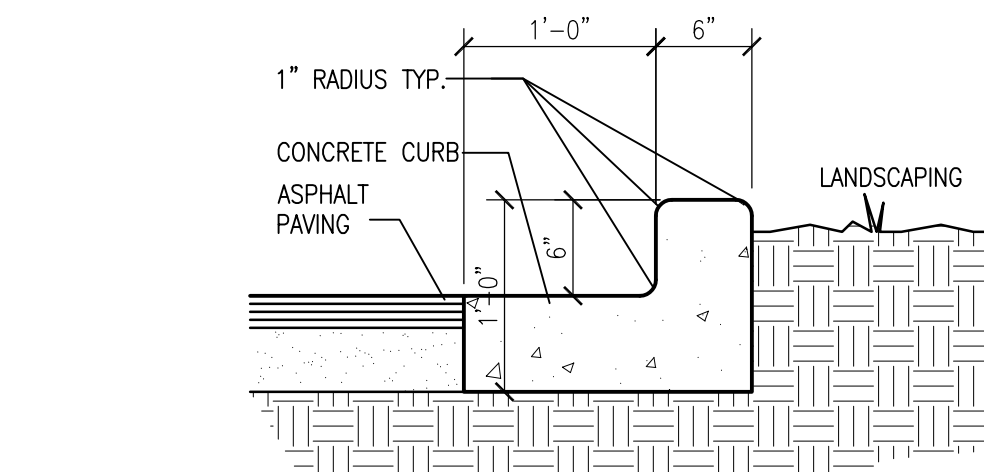


15 Bicycle Rack Side Detail  
Scale: 3/4"=1'-0"

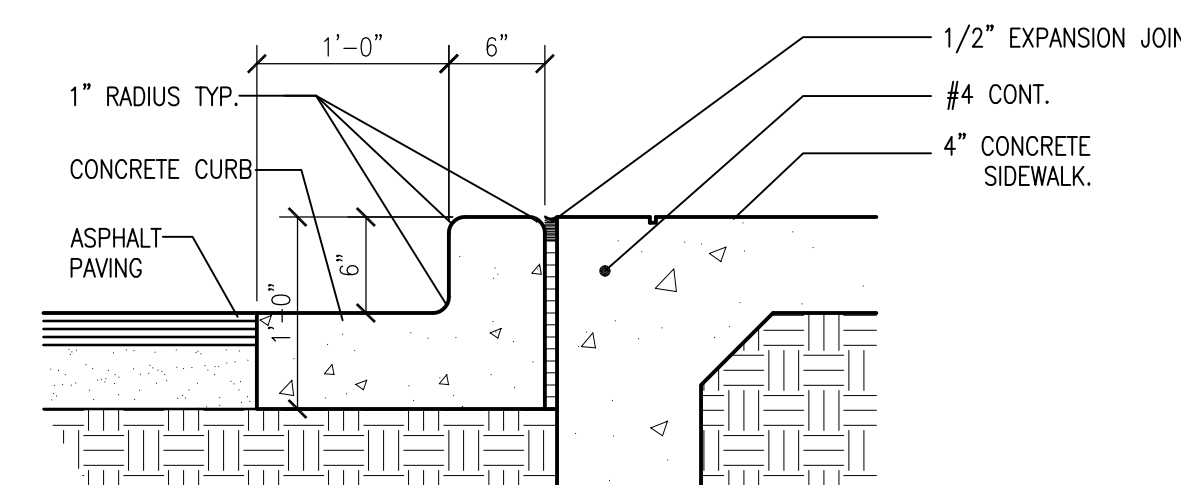
TRAFFIC CIRCULATION LAYOUT  
APPROVED  
01/06/2021



13 Mountable Curb and Gutter  
Scale: 1"=1'-0"  
(COA STD DETAIL 2415)

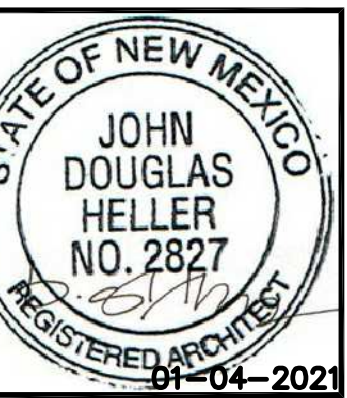
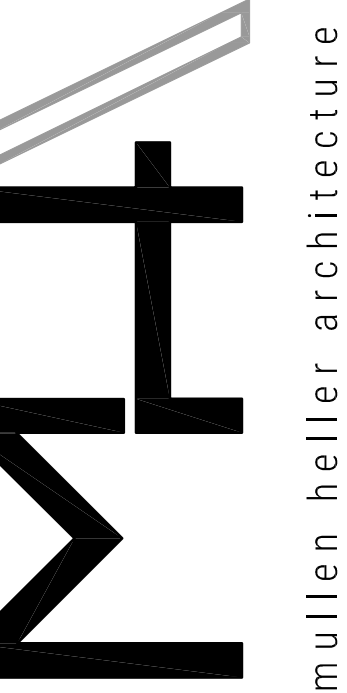


14a Typ. Stand-Up Curb & Gutter  
Scale: 1"=1'-0"  
(COA STD DETAIL 2415)



14b Typ. Curb Sidewalk & Gutter  
Scale: 1"=1'-0"

REV	DATE	DESCRIPTION
1		
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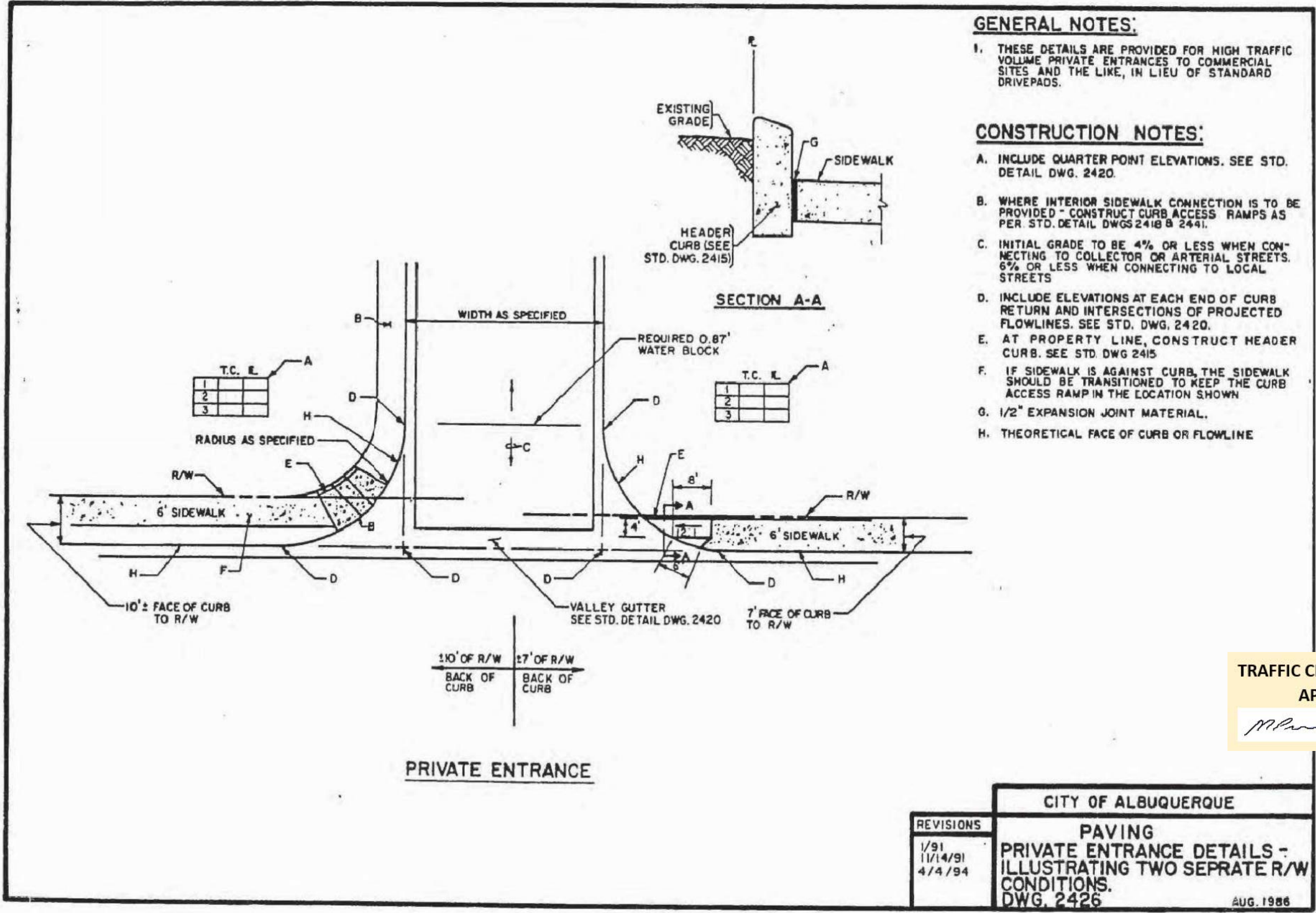
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PHASE TCL  
RESUBMITTAL

PROJECT  
109 VASSAR DRIVE S.E. REDEVELOPMENT  
133 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106  
TITLE  
TCL Site Details

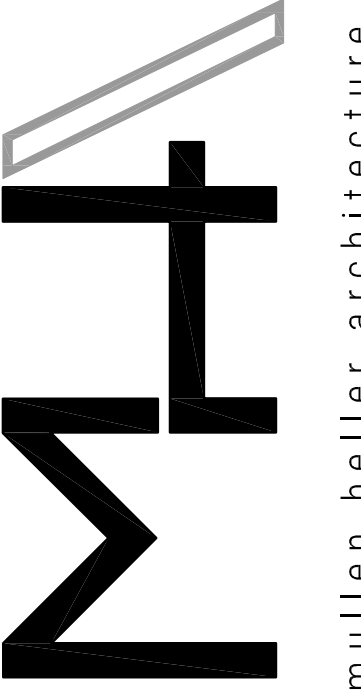
SHEET  
TCL-002





1 Typical Driveway Detail  
Scale: NTS (COA STD DETAIL 2426)

REV	DATE	BY	DESCRIPTION
A			
A			
A			
A			
A			



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JOB NUMBER 20-12

DRAWN BY KBP/SEJ

PROJECT MGR DH

DATE 01-04-2021

PHASE TCL  
RESUBMITTAL

PROJECT 109 VASSAR DRIVE S.E. REDEVELOPMENT  
133 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106

TITLE TCL Site Details

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TCL-003