

CITY OF ALBUQUERQUE



April 17, 2018

Ron Bohannon
Tierra west, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Taco Bell- Girard & Monte Vista
2901 Monte Vista NE
Traffic Circulation Layout
Engineer's Stamp dated 04-16-18 (K16-D023)

Dear Mr. Bohannon,

The TCL submittal received 04-16-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Taco Bell - Girard & Monte Vista Building Permit #: _____ City Drainage #: K16D023
DRB#: 17DRB70359 EPC#: _____ Work Order#: _____
Legal Description: Lot 2A Block 12, Replat of Lots 1 to 3 and Tract A Block 12 Monte Vista Addition
City Address: 2901 Monte Vista NE

Engineering Firm: Tierra West, LLC Contact: Ron Bohannon
Address: 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: _____ E-mail: rrb@tierrawestllc.com

Owner: Cimarron Holdings, LLC Contact: Robert Alvarado
Address: 924 W Colfax Ave. #203, Denver, CO 80204
Phone#: 303-745-0555 Fax#: _____ E-mail: ralvarado@paloaltoinc.com

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:
☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:
☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

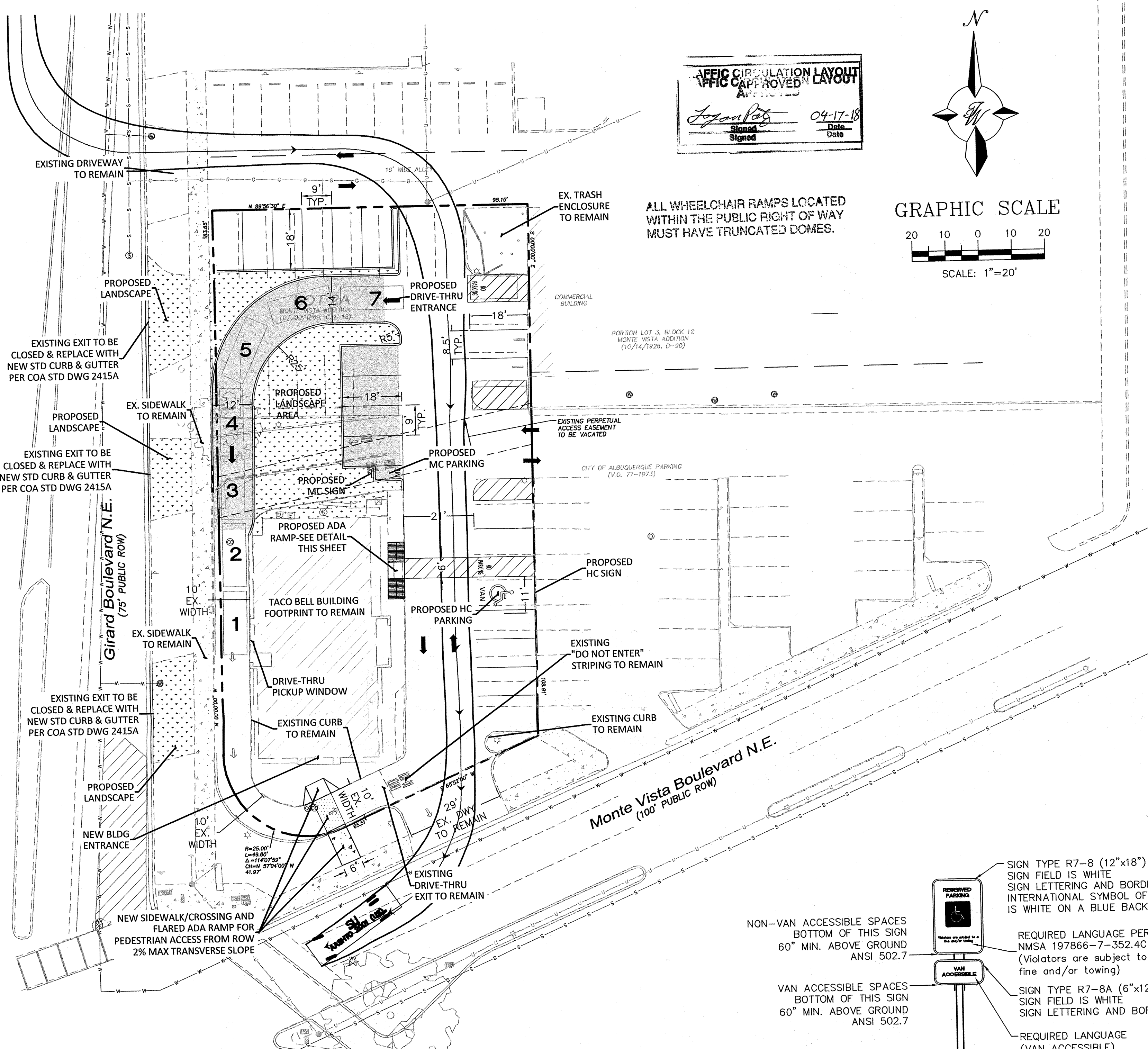
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

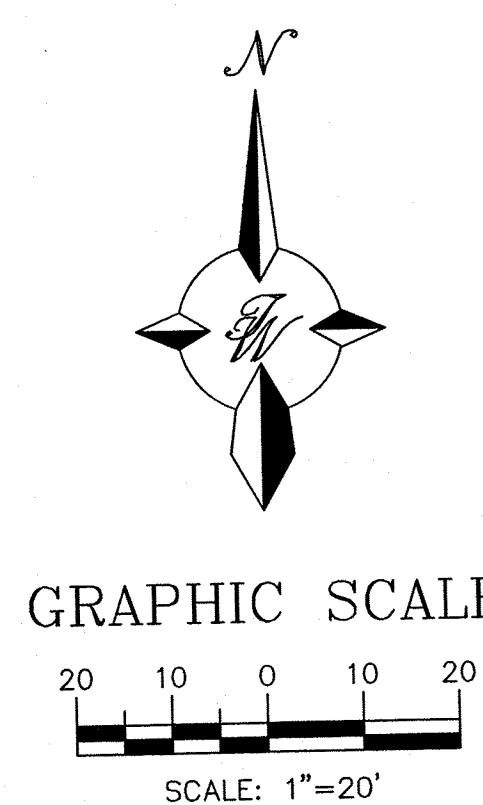
DATE SUBMITTED: 4/16/2018 By: Vinny Perea

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____





TRAFFIC CIRCULATION LAYOUT
APPROVED
Terra West, LLC
04-17-18
Signed
Date



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - RETAINING WALL
 - STREET LIGHTS
 - LANE
 - STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING
 - VEHICLE QUEUE (20' LENGTH)
 - NEW ASPHALT PAVEMENT



LEGAL DESCRIPTION: LOT 2A BLOCK 12 REPLAT OF LOTS 1 TO 3 AND TRACT A BLOCK 12 MONTE VISTA ADDITION

- NOTES:**
- ALL HANDICAPPED PARKING SPACES ARE NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
 - NO SLOPE WITHIN PARKING AREA SHALL EXCEED 8%.
 - MILL AND OVERLAY EXISTING ASPHALT PAVEMENT TO EXISTING GRADE WHERE PAVEMENT IS IN POOR CONDITION.

SITE DATA (LOT 2A)

EXIST/PROPOSED USAGE: RESTAURANT W/ DRIVE-THRU SERVICE
LOT AREA: 16832 SF (0.38 ACRE)

REMODELED
BUILDING AREA: 2590 SF (57 SEATS) SAME AS EXISTING

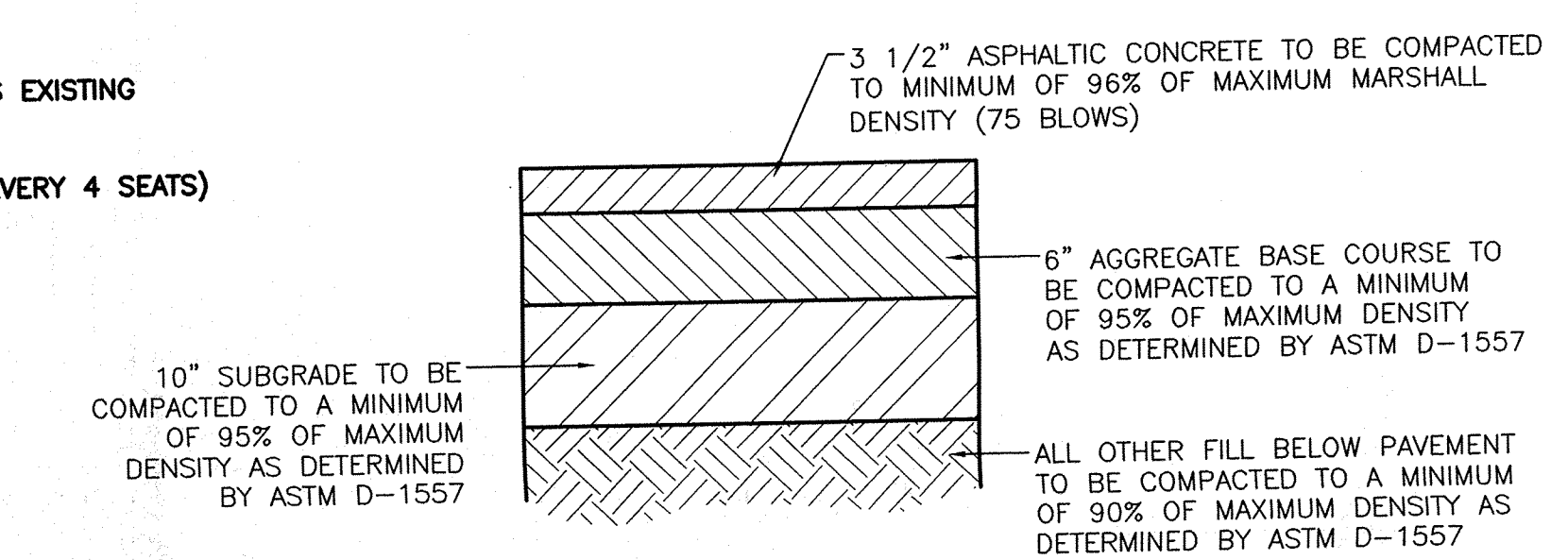
PARKING REQUIRED: 15 SPACES (1 SPACE PER EVERY 4 SEATS)
PARKING PROVIDED: 20 SPACES

HC PARKING REQUIRED: 1 SPACE
HC PARKING PROVIDED: 1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 1 SPACE
MC PARKING PROVIDED: 1 SPACE

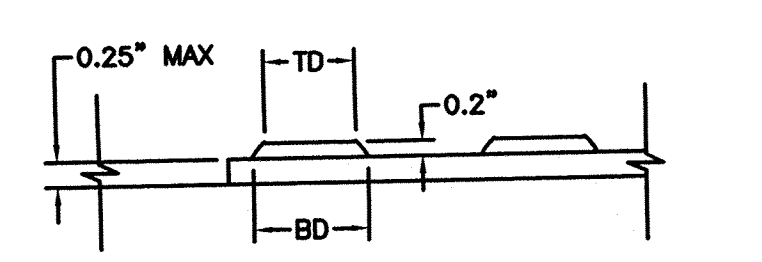
BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 2137 SF
LANDSCAPE AREA PROVIDED: 2181 SF

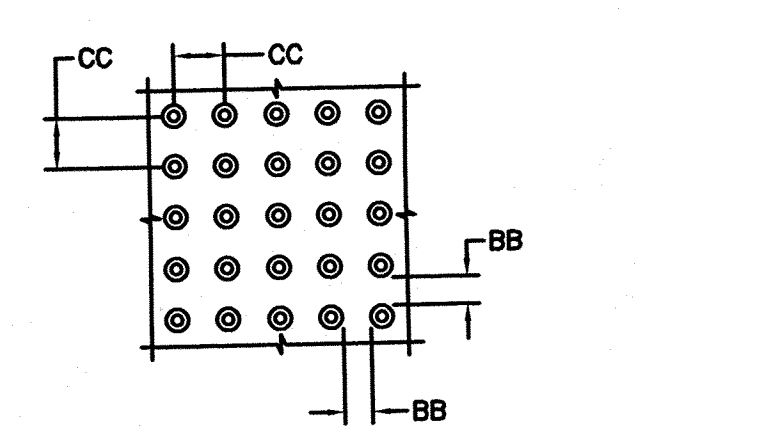


TYPICAL PAVING SECTION FOR NEW ASPHALT PAVEMENT
NOT TO SCALE

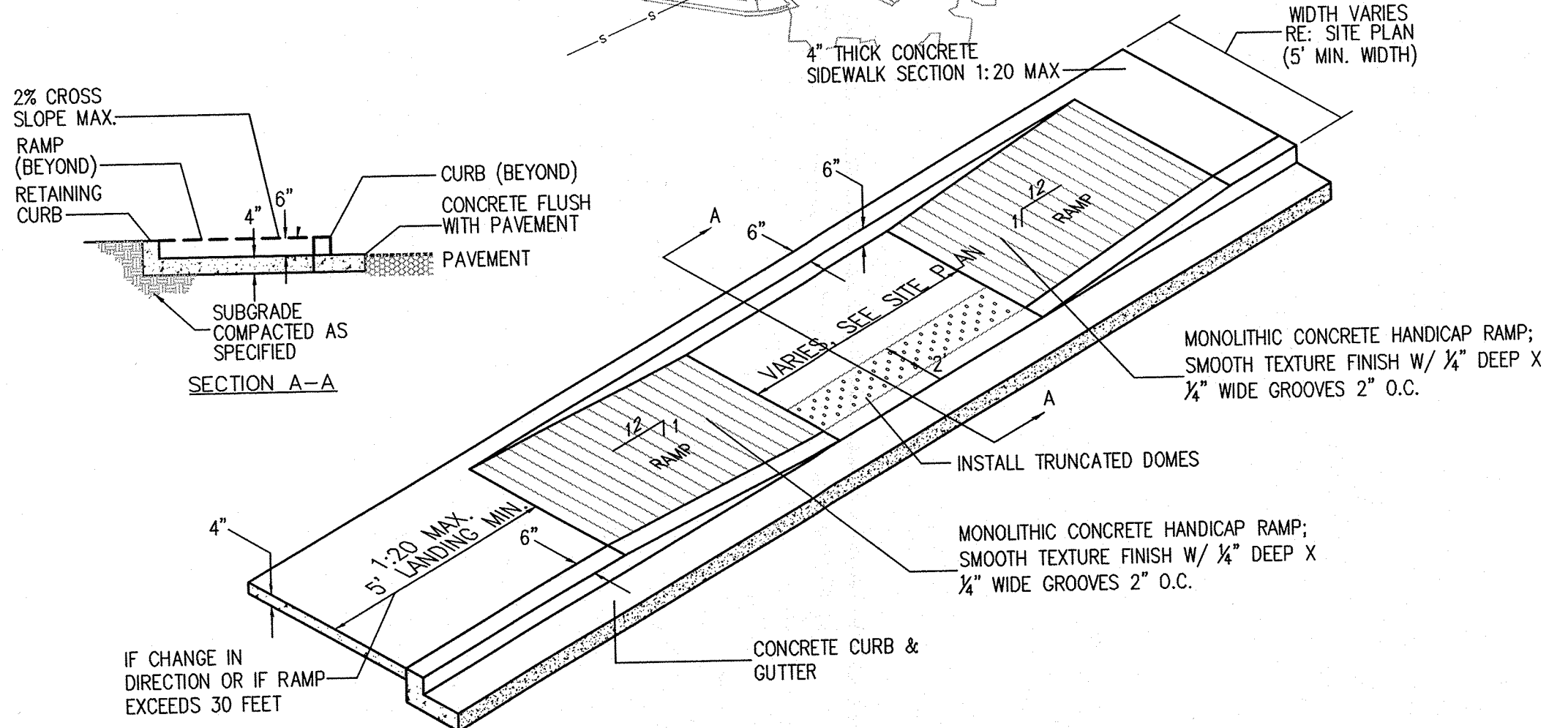
- NOTES:**
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - CONSTRUCT PER A.D.A. STANDARDS.



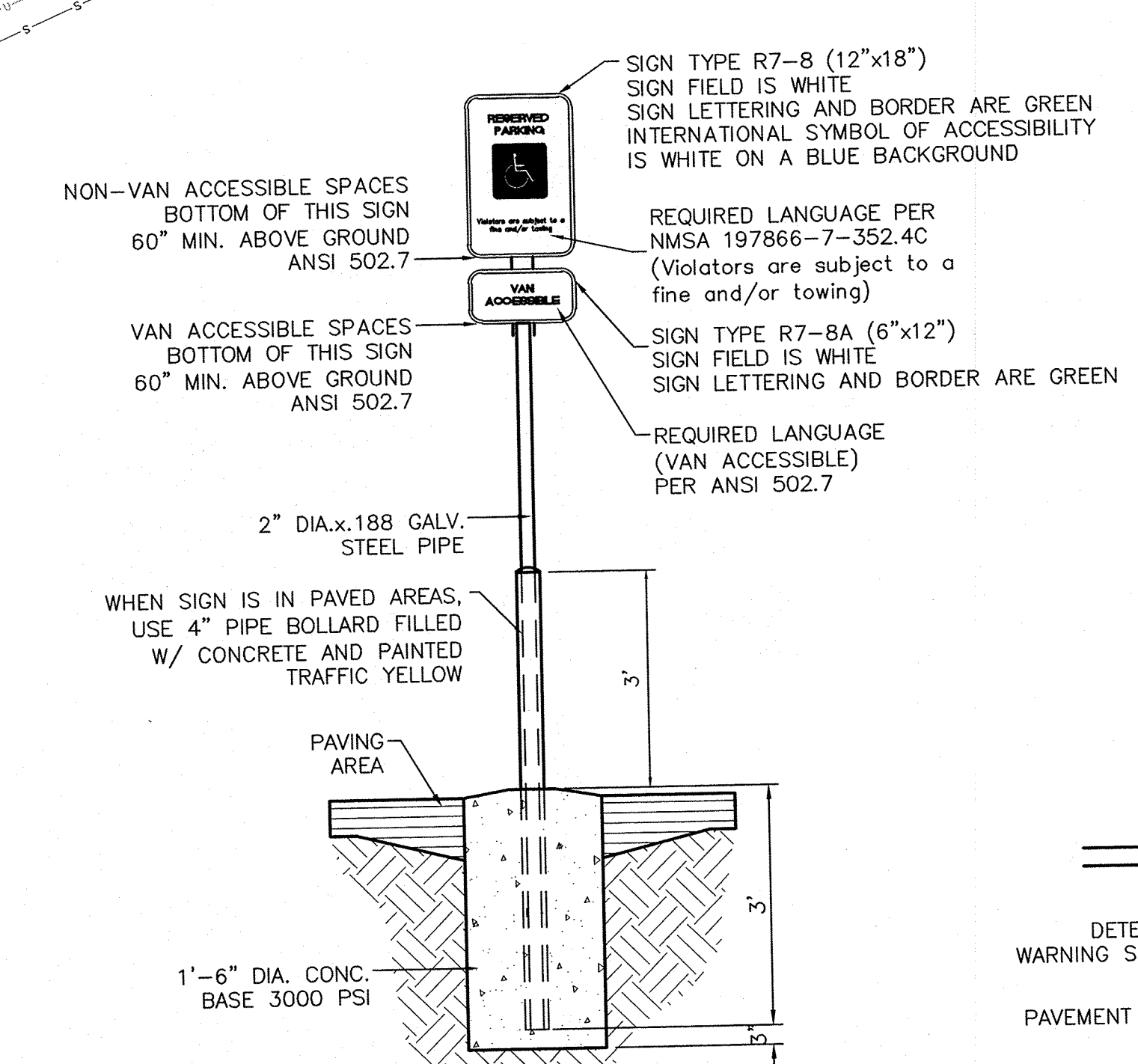
DOMES SECTION
BD - BASE DIAMETER 0.8" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



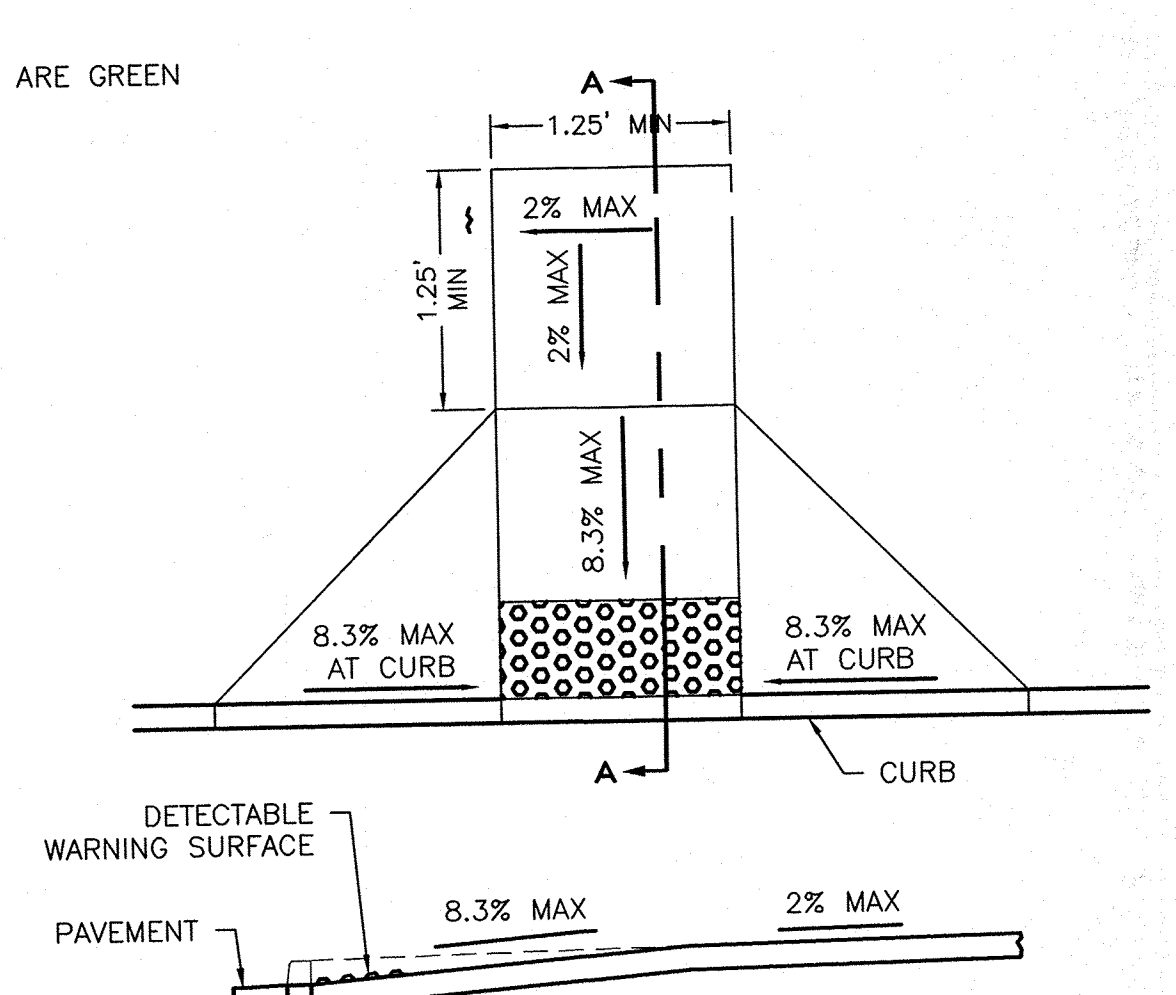
DOMES SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



ADA RAMP DETAIL
NTS

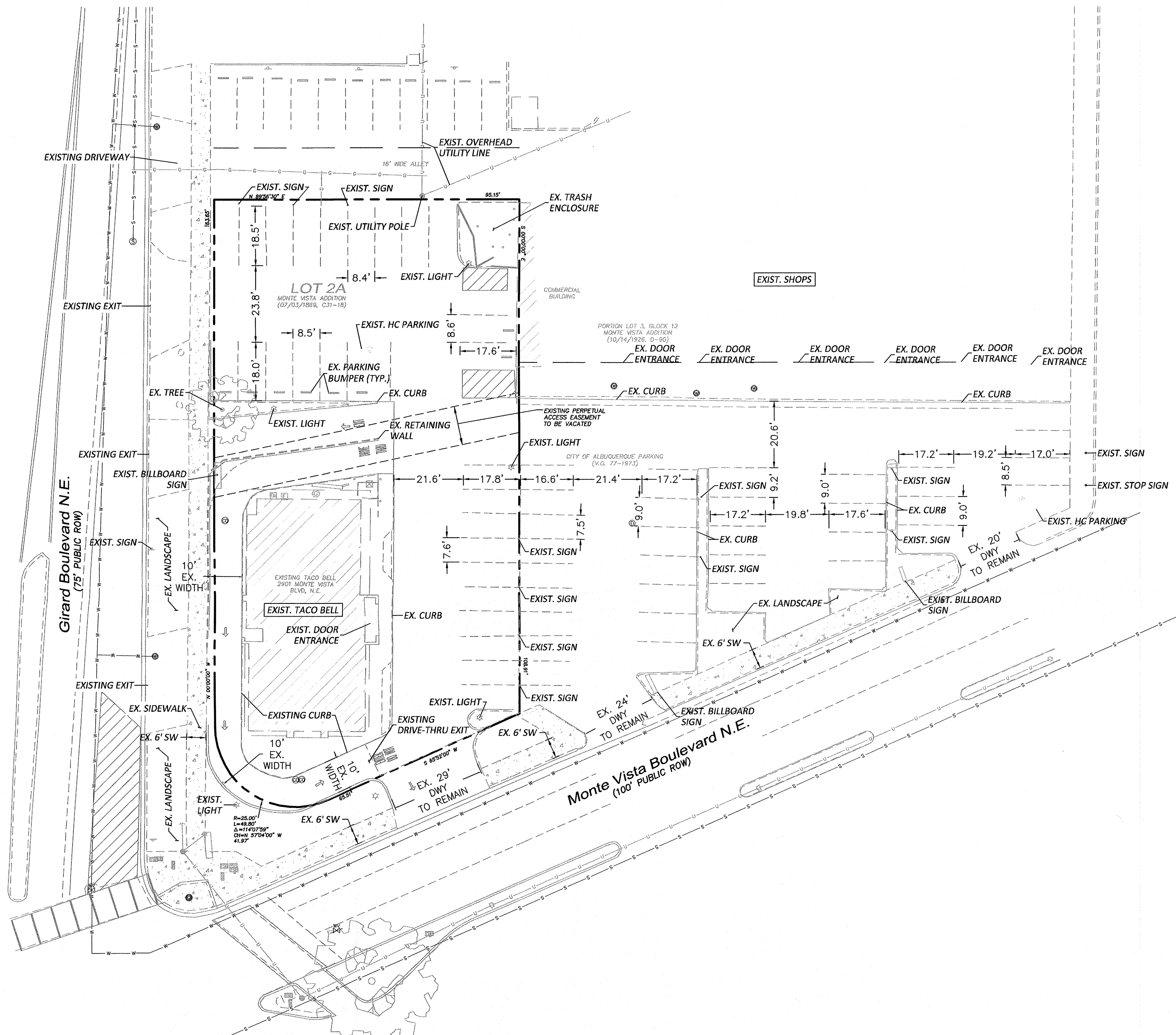


ACCESSIBLE PARKING SIGN
NTS



**SECTION A-A
FLAIRED CURB HC RAMP**
NOT TO SCALE

	TACO BELL	DRAWN BY DY
	2901 MONTE VISTA NE	DATE 4/02/18
	TRAFFIC CIRCULATION LAYOUT - PROPOSED	2017081-TCL
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1 JOB # 2017081



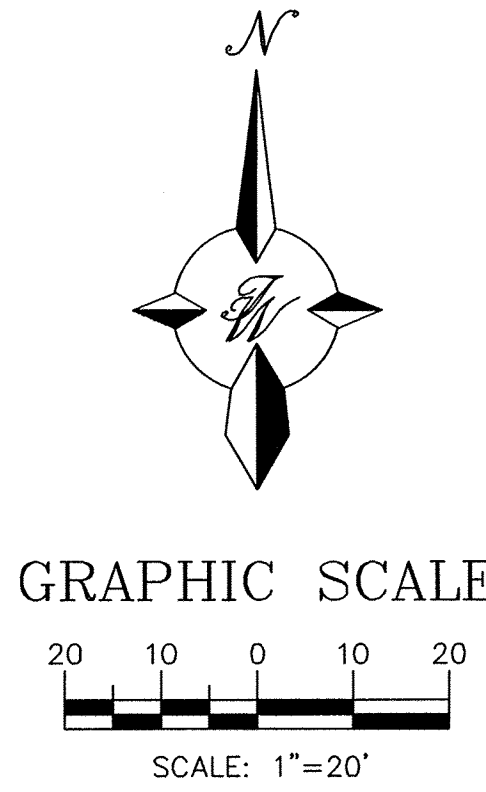
Legend

- N 90°00'00" E
(N 90°00'00" E)
- MEASURED BEARING AND DISTANCES
 - RECORD BEARINGS AND DISTANCES
 - FOUND AND USED MONUMENT AS DESIGNATED
 - DEKNOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "TS 1803" SET THIS SURVEY CONTROL POINT
 - SET THIS SURVEY
 - FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
 - FOUND ALUMINUM CENTERLINE MONUMENT AS DESIGNATED
 - FOUND RIGHT OF WAY T-RAIL AS DESIGNATED
 - SET TBM AS DESIGNATED
 - SERVICE/DROP POLE AS DESIGNATED
 - UTILITY POLE
 - GUY WIRE
 - ELECTRIC BOX
 - ELECTRIC METER
 - LIGHT POLE
 - PULLBOX
 - TRANSFORMER
 - ELECTRIC MANHOLE
 - TRAFFIC SIGNAL BOX
 - LIGHT BOX
 - TRAFFIC LIGHT
 - TELEPHONE PEDESTAL
 - HAND HOLE
 - TELEPHONE MANHOLE
 - CABLE TELEVISION PEDESTAL
 - UNKNOWN PEDESTAL
 - IRRIGATION CONTROL VALVE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - WATER MANHOLE
 - PIV
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - CLEANOUT
 - UNKNOWN MANHOLE
 - GAS VALVE
 - GAS VENT
 - SIGN
 - UNKNOWN METAL LID
 - MAILBOX
 - GAS METER
 - POND INLET
 - MEDIAN INLET
 - CURB INLET
 - GUARD POST
 - TREE
 - RAILROAD CROSSING TRACKS
 - RAILROAD CROSSING GATE
 - MONITORING WELL
 - HANDICAP PARKING SPACE
 - FENCE POST
 - ROOF DRAIN
 - SPIGOT
 - TELEPHONE PULLBOX
 - PARKING CONCRETE BUMPER
 - CURB AND GUTTER
 - OVERHEAD UTILITY LINE
 - GAS LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - SANITARY SEWER FORCE MAIN
 - FIBER OPTICS LINE
 - TELEPHONE LINE
 - METAL FENCE
 - CHAIN LINK FENCE
 - ASPHALT

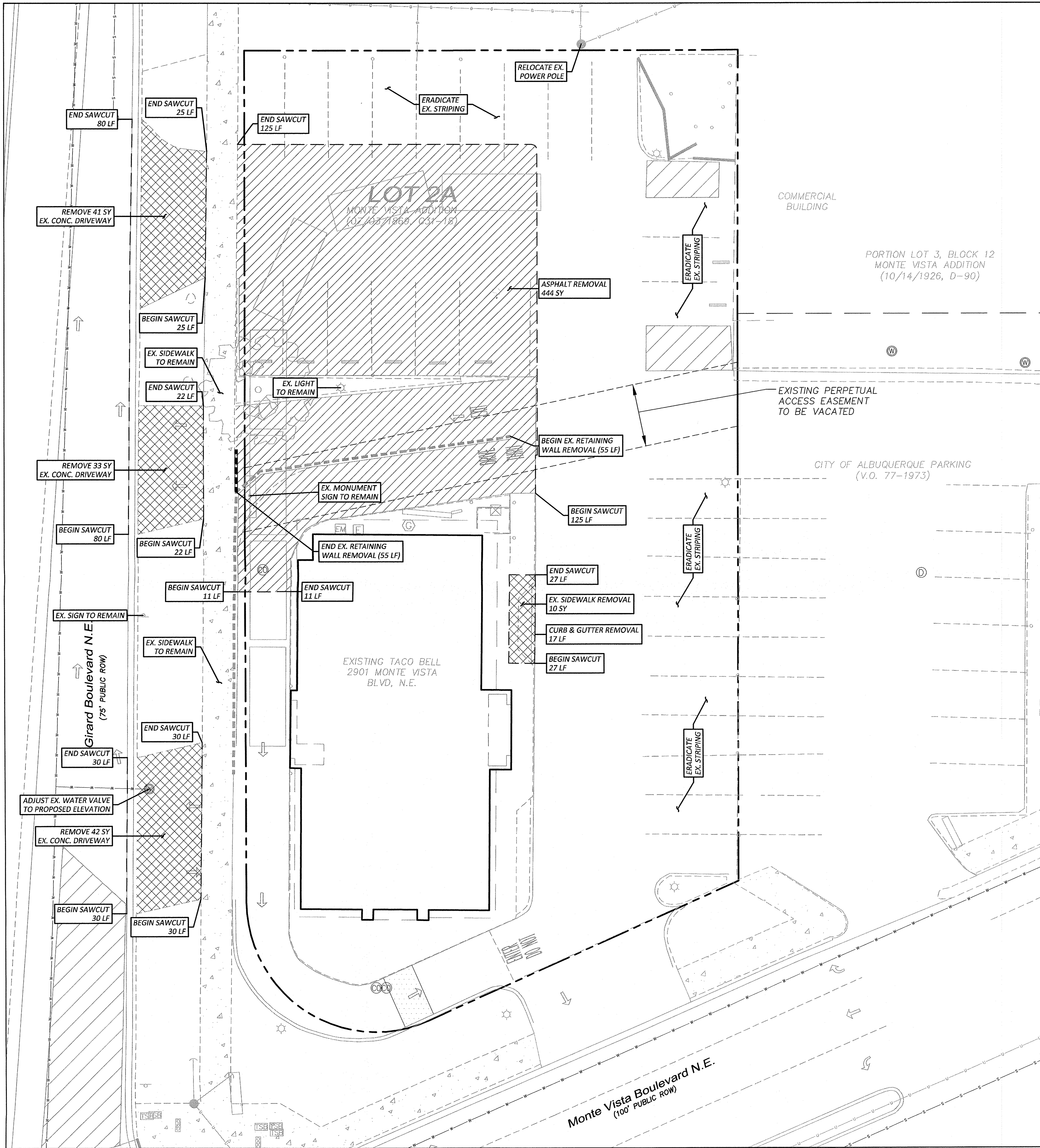


LEGAL DESCRIPTION: LOT 2A BLOCK 12 REPLAT OF LOTS 1 TO 3 AND TRACT A BLOCK 12 MONTE VISTA ADDITION

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

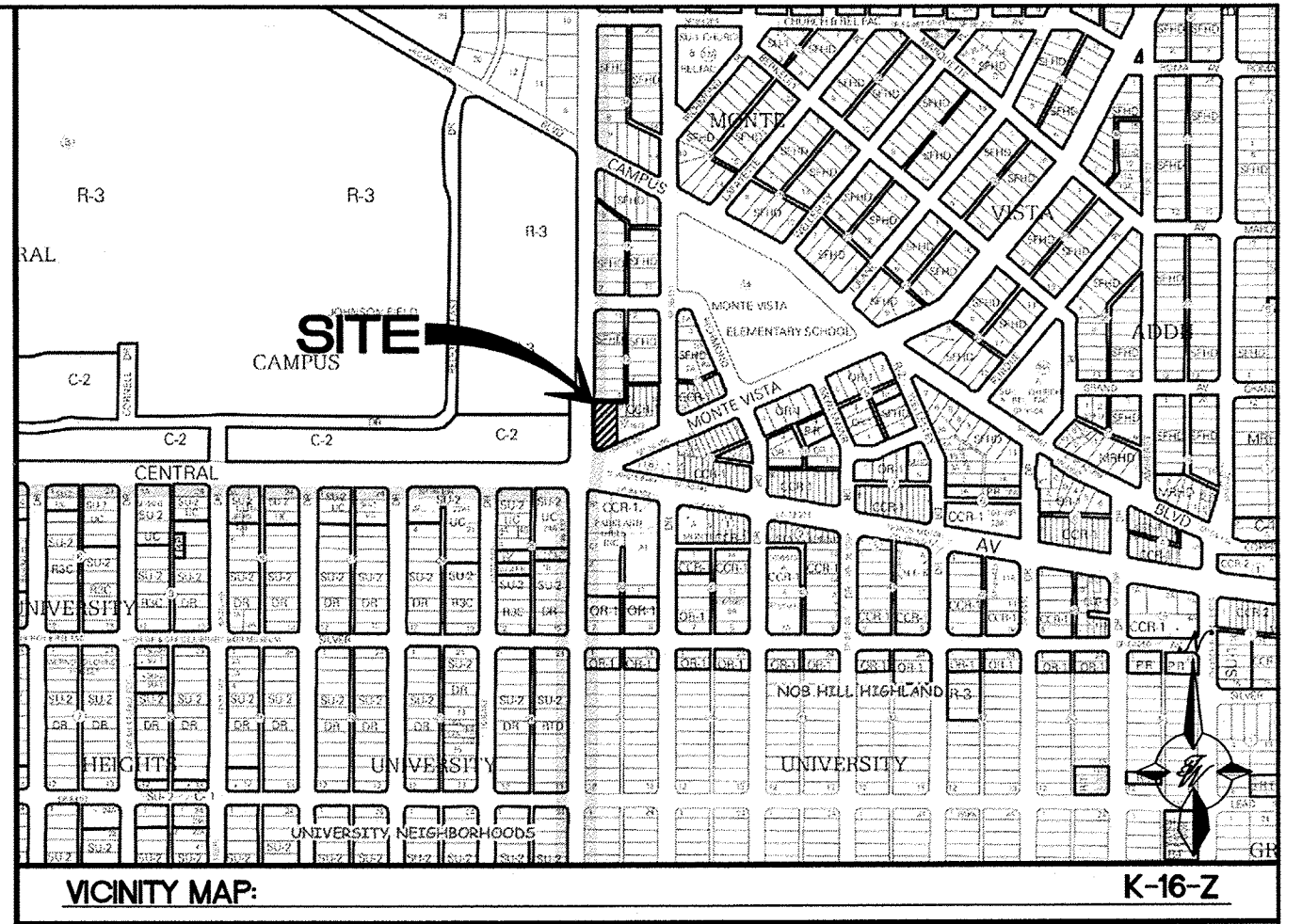


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TACO BELL 2901 MONTE VISTA NE TRAFFIC CIRCULATION LAYOUT - EXISTING Tierra West, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY DY
		DATE 3/07/18
		2017081-TCL-EXIST
		SHEET # C2
		JOB # 2017081



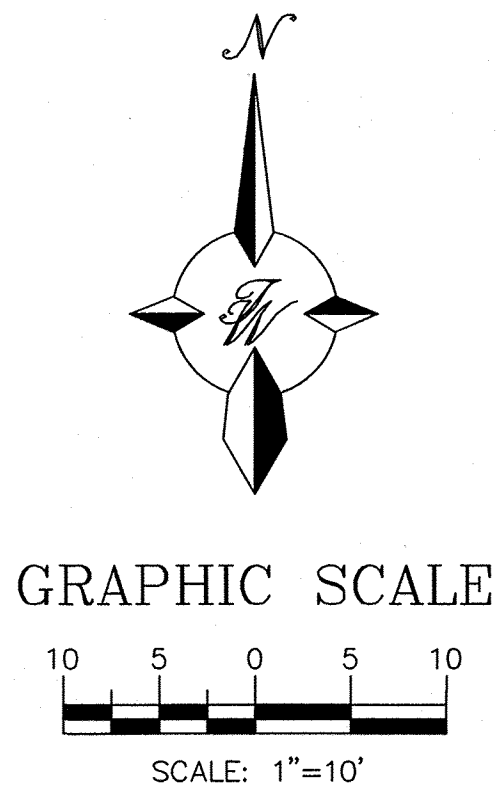
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▨ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▨ EXISTING ASPHALT TO BE REMOVED
- ▨ EXISTING CONCRETE DRIVEWAY TO BE REMOVED
- ▨ EXISTING CONCRETE TO BE REMOVED
- - - SAWCUT



CAUTION:
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ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TACO BELL GIRARD & MONTE VISTA DEMOLITION PLAN		DRAWN BY DY
			DATE 4/12/18
			2017081-DEMO
			SHEET # C3
		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2017081