

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 28, 2023

Claudia Palazuelos
APMI Architecture
3003 North Central Ave., Suite 1100
Phoenix, AZ 85012

Re: Chase
2706 Central Ave. SE
Traffic Circulation Layout
Architect's Stamp 03-28-23 (K16-D025)

Dear Ms. Palazuelos,

The TCL submittal received 02-22-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

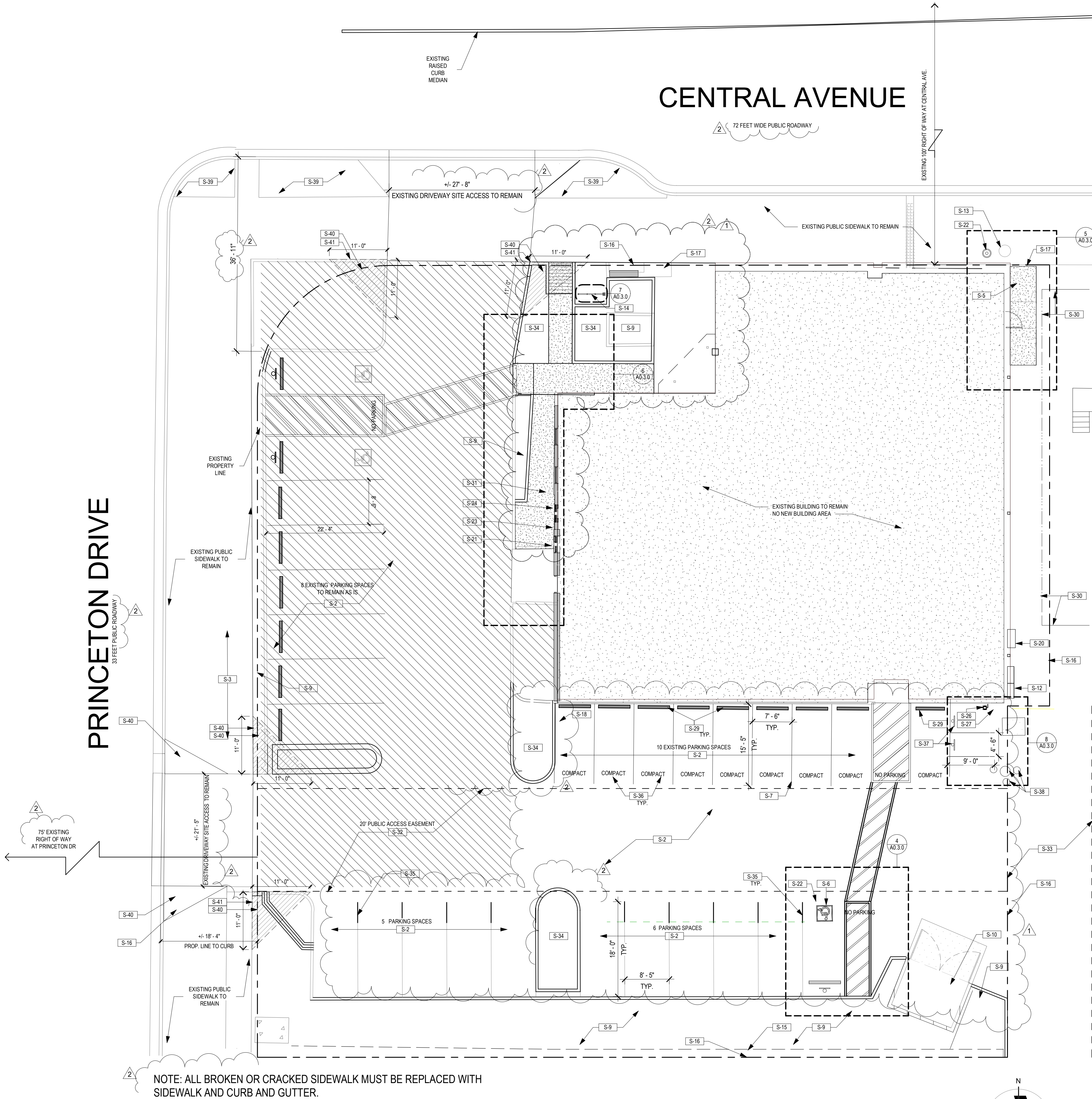
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

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ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"

SITE PLAN NOTES

- S-1 EXISTING CONCRETE TO REMAIN -
S-2 EXISTING PARKING AND PAVING TO REMAIN
S-3 EXISTING CONCRETE SIDEWALK TO REMAIN
S-4 EXISTING CONCRETE WHEEL STOP. REMOVE, PROTECT AND RE-INSTALL OR PROVIDE NEW TO MATCH EXISTING
S-5 ADA RAMP
S-6 ACCESSIBLE PARKING AND SIGNAGE - SEE DETAIL 4/A0.3.0 AND 7/A0.3.0
S-7 EXISTING PAINTED PARKING STRIPING
S-8 EXISTING ADA PARKING AND SIGNAGE PER LANDLORD
S-9 EXISTING LANDSCAPE AREA AND LANDSCAPING TO REMAIN
S-10 EXISTING TRASH ENCLOSURE TO REMAIN
S-11 EXISTING FIRE HYDRANT TO REMAIN
S-12 EXISTING BIKE RACK RO REMAIN
S-13 EXISTING FIRE TO HYDRANT TO REMAIN
S-14 NEW 7 SPACES BIKE RACK TO BE INSTALLED. REFER TO 7/A0.3.0
S-15 EXISTING FENCE TO REMAIN
S-16 EXISTING PROPERTY LINE
S-17 ACCESSIBLE CONNECTION TO RIGHT OF WAY
S-18 EXISTING 2-WAY SEWER CLEAN OUT
S-19 PROPOSED LOCATION OF NEW MANUAL TRANSFER SWITCH
S-20 EXISTING ROOF ACCESS LADDER
S-21 EXTERIOR THRU WALL WALK-UP ATM
S-22 POOP THICKNESS PER CIVIL. PROVIDE INTEGRALLY COLORED BLACK CONCRETE. COLOR ADDITIVE TO BE 9.5 LBS. OF 'GRAPHITE' PER SACK OF CEMENT. SLOPE TO REMAIN 1% MIN TO 2% MAX.
S-23 EXTERIOR THRU WALL WALK-UP AHD
S-24 TRASH CAN
S-25 EXISTING ELECTRICAL TRANSFORMER
S-26 EXISTING GAS METER
S-27 EXISTING WATER METER
S-28 EXISTING UTILITY POLE WITH OVERHEAD ELECTRICAL
S-29 EXISTING WHEEL STOP TO REMAIN
S-30 G.C. TO REMOVE AND RELOCATE FENCE AS NECESSARY TO INSTALL NEW CONSTRUCTION
S-31 RE-GRADE AND REPLACE LANDSCAPE ROCK MULCH/ DG TO MATCH EXISTING. RE-WORK GRADING TO LOWER SURFACE TO BE 2" BELOW FINISH FLOOR.
S-32 20' EASEMENT FOR PUBLIC ACCESS
S-33 16' PUBLIC ALLEY
S-34 NEW LANDSCAPE AREA. REFER TO LANDSCAPE AND CIVIL DRAWINGS
S-35 EXTEND PARKING PAINT STRIPES TO REACH 18 FEET DEPTH
S-36 NEW PAINTED 'COMPACT' LETTERS TO BE AT LEAST 1" HIGH
S-37 12'X18" FREESTANDING SIGN FOR MOTORCYCLE DESIGNATED PARKING SPAC NO LESS THAN 4 FEET ABOVE GRADE
S-38 EXISTING POST TO REMAIN AS-IS
S-39 EXISTING R.O.W. LANDSCAPE
S-40 CLEAR SITE TRIANGLE. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. SITE TRIANGLE DIMENSIONS MEASURED FROM BACK OF SIDEWALK, AND EDGE OF DRIVE AISLE.
S-41

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Arriaga 3/29/2023
Signed Date

PROJECT DATA

OWNER:
J.P. MORGAN CHASE, N.A.
CORP. REAL ESTATE SERVICES
201 NORTH CENTRAL AVENUE, 25TH FLOOR
PHOENIX, ARIZONA 85004

ARCHITECT:
APMI, INC.
3003 NORTH CENTRAL AVENUE
SUITE 1100
PHOENIX, ARIZONA 85012
WILL REILLY, AIA
T 480.988.0709
E wreilly@apmi.com

PROJECT LOCATION:
2706 CENTRAL AVE SE
ALBUQUERQUE, NEW MEXICO

PARCEL NUMBER:
101605719429033111

PROJECT DESCRIPTION:
TENANT IMPROVEMENTS ALTERATION 3, FOR A NEW BANK BRANCH AND ATTACHED CORPORATE OFFICES. THIS PROJECT DOES NOT HAVE A DRIVE-UP WINDOW AND DOES NOT HAVE A DRIVE-UP ATM.

LEGAL DESCRIPTION:
LOT NUMBER THREE-A IN BLOCK NUMBERED TWENTY-FOUR OF THE PLAT OF LOTS 3-A AND 22-A-1, BLOCK 24, UNIVERSITY HEIGHTS, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON AUGUST 20, 1998.

EXISTING ZONING:
MX-M

NEIGHBORHOOD ASSOCIATION:
UNIVERSITY HEIGHTS

PROPOSED USE:
FINANCIAL INSTITUTION

SETBACKS:
5' (FRONT)
5' (SIDES)
15' (REAR)

AREA CALCULATIONS:
SITE AREA: 21,821 S.F. (0.5013 ACRES)
BUILDING AREA: 6,362 S.F.
BUILDING COVERAGE: 30%
BUILDING HEIGHT: 14'-0"

REQUIRED PARKING PER ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE:

REQUIRED PARKING:
BANK (3/1000 S.F. GFA) 12 SPACES
CORPORATE OFFICES (3.5/1000 SF GFA) 7 SPACES
REQUIRED ADA PARKING: 2 SPACES
TOTAL PARKING REQUIRED: 19 SPACES
BICYCLE PARKING REQUIRED: 3 SPACES
MOTORCYCLE PARKING REQ'D: 1 SPACE

PROVIDED STANDARD PARKING: 20 SPACES
PROVIDED COMPACT PARKING: 10 SPACES
TOTAL PARKING PROVIDED: 30 SPACES
BICYCLE PARKING PROVIDED: 3 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACE

PROVIDED ADA PARKING: 3 SPACES
(ADA PARKING COUNT IS INCLUDED IN TOTAL COUNT)

APPLICABLE CODES:

2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO MECHANICAL CODE
2015 NEW MEXICO PLUMBING CODE
2017 NEW MEXICO ELECTRIC CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2015 CITY OF ALBUQUERQUE FIRE CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

ALL CODES AS MODIFIED BY THE CITY OF ALBUQUERQUE AMENDMENTS.

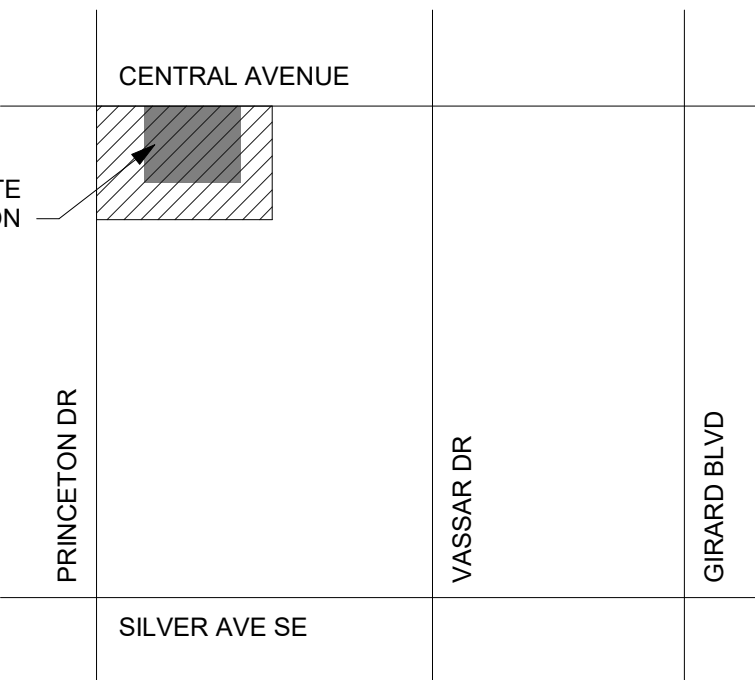
OCCUPANCY TYPE: 'B' OCCUPANCY

CONSTRUCTION TYPE: TYPE V-B CONSTRUCTION

SEE CODE STUDY SHEET FOR MORE INFORMATION

LEGEND

AREA OUT OF SCOPE OF WORK. PREVIOUSLY PERMITTED BY OWNER.



VICINITY MAP

SCALE: N.T.S.

CENTRAL AND PRINCETON
2706 CENTRAL AVENUE SOUTHEAST, ALBUQUERQUE, NEW MEXICO 87106



CITY COMMENTS
CITY COMMENTS

1 2023 JANUARY 13
2 2023 MARCH 23

APMI
architecture

3003 NORTH CENTRAL AVENUE, SUITE 1100
PHOENIX, ARIZONA 85012
480.988.0709
apmi.com



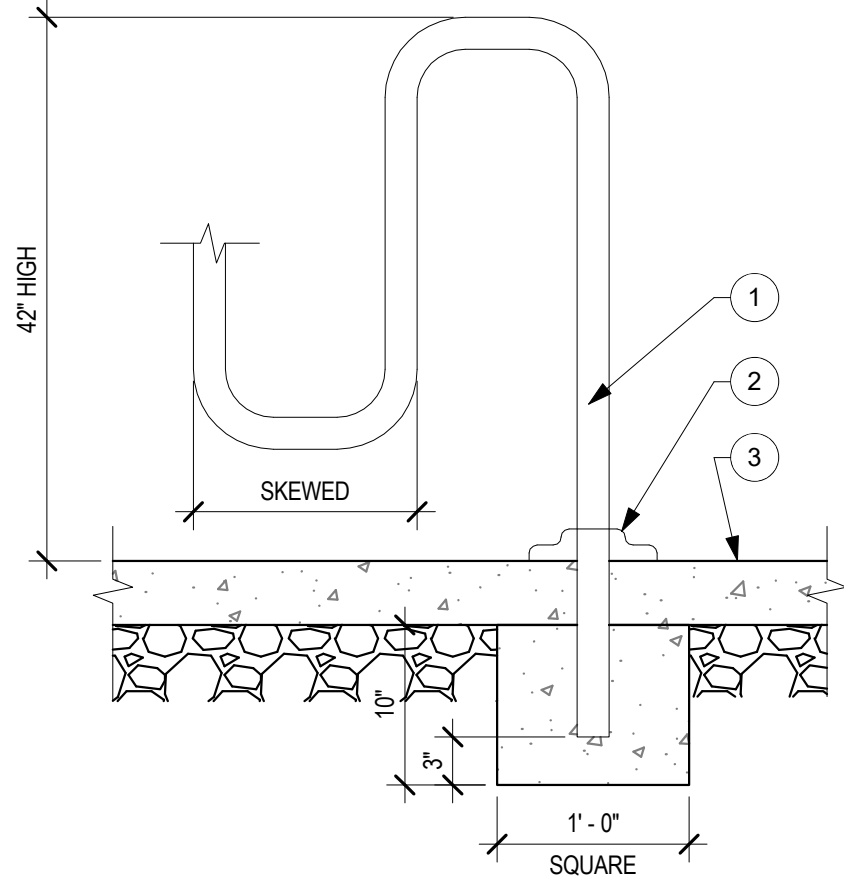
EXP. DATE: 12-31-2023

DRAWN CPS
DATE 3 NOVEMBER 2022
PROJECT 22109.00

ARCHITECTURAL
SITE PLAN

A0.2.0

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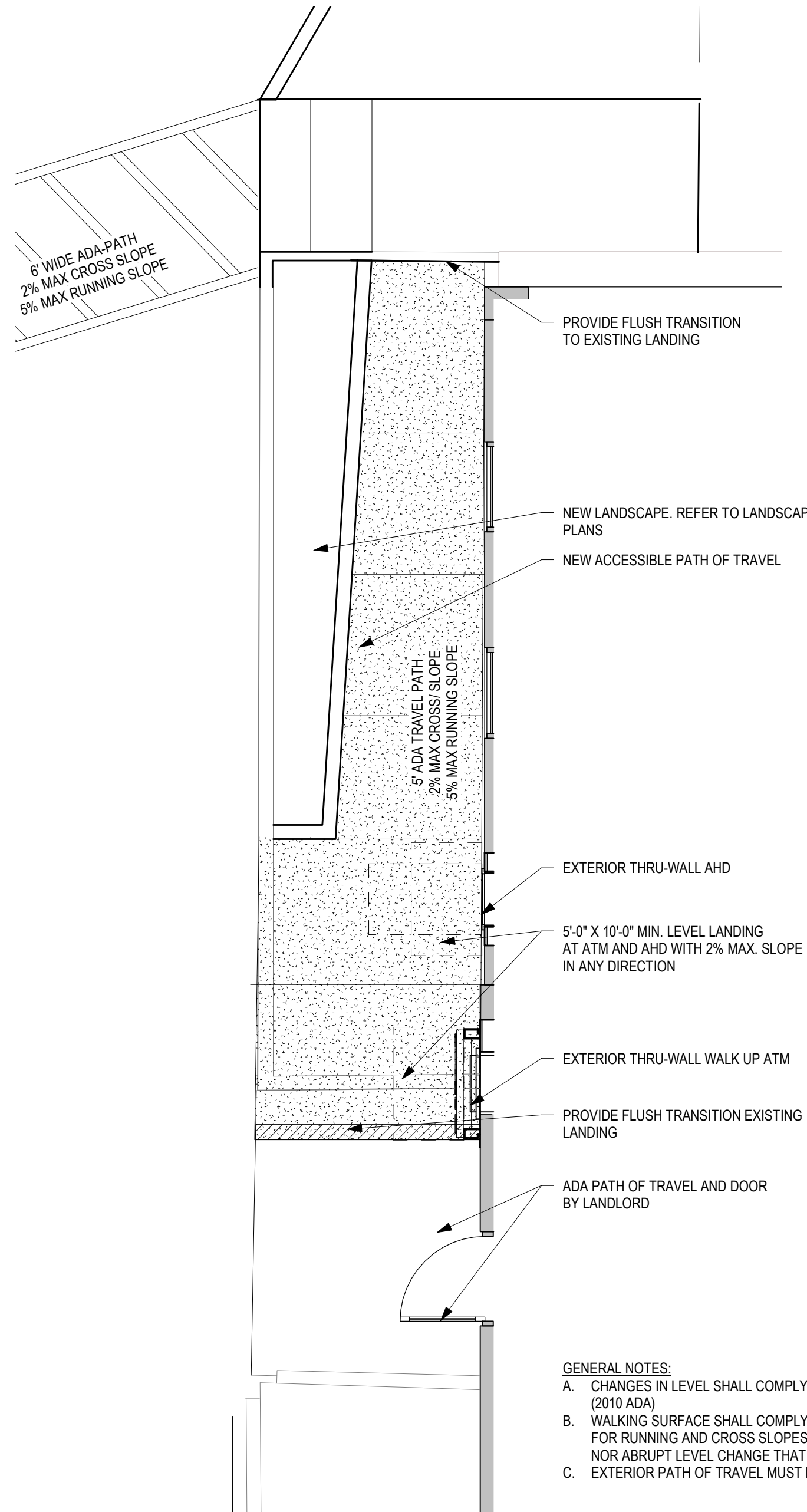


KEY NOTES:

1. MOUNT (SURFACE MOUNT NOT ALLOWED)
2. MATCHING BASE COVER
3. 4" CONCRETE SLAB OVER 4" A.B.C.

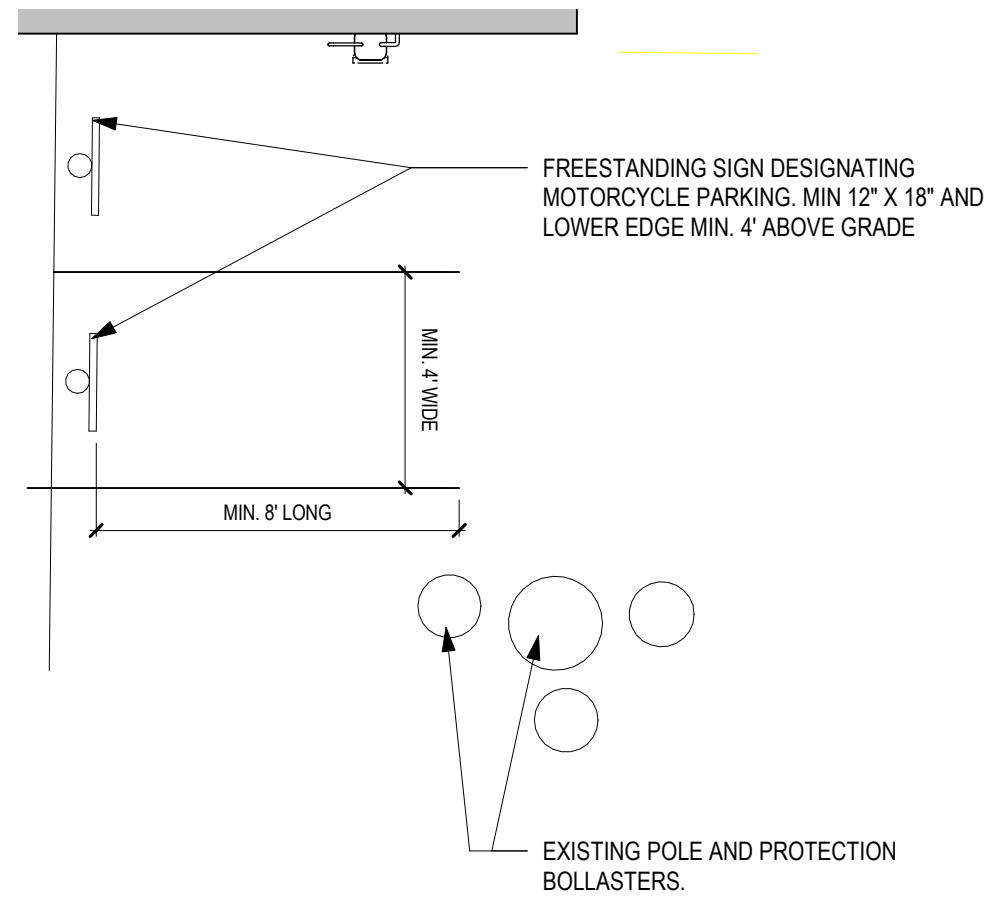
GENERAL NOTE:
SITESCAPE BIKE RACK MODEL EC205EMP, FOR 5 BICYCLES. POWDERCOAT "BROWN"

7 BIKE RACK
A0.3.0 SCALE: 1" = 1'-0"

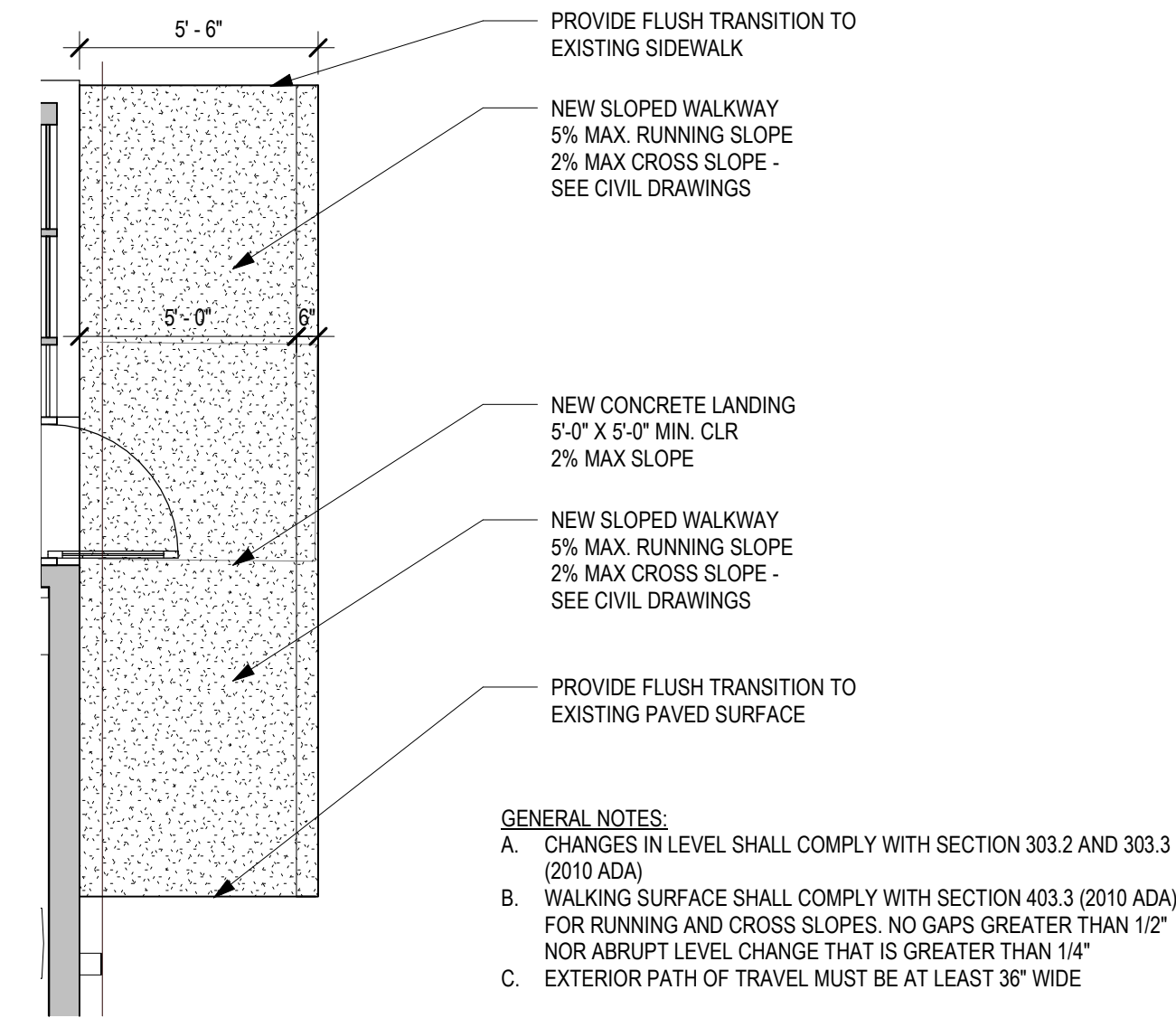


6 ENLARGED PLAN - ACCESSIBLE EXTERIOR PATH OF TRAVEL TO ATM / AHD
A0.3.0 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
- A. CHANGES IN LEVEL SHALL COMPLY WITH SECTION 303.2 AND 303.3 (2010 ADA)
 - B. WALKING SURFACE SHALL COMPLY WITH SECTION 403.3 (2010 ADA) FOR RUNNING AND CROSS SLOPES. NO GAPS GREATER THAN 1/2" NOR ABRUPT LEVEL CHANGE THAT IS GREATER THAN 1/4"
 - C. EXTERIOR PATH OF TRAVEL MUST BE AT LEAST 36" WIDE

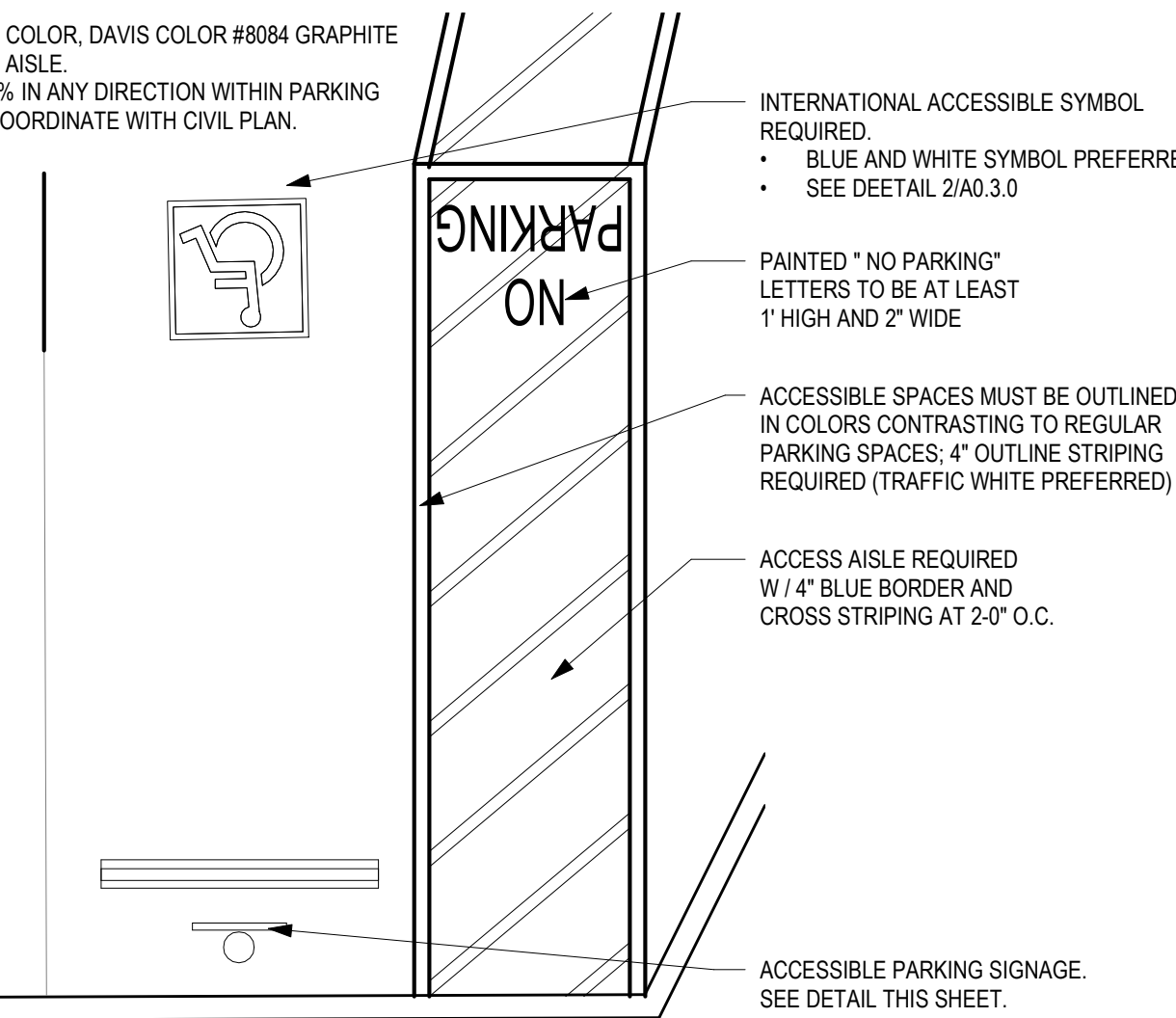


8 MOTORCYCLE PARKING
A0.3.0 SCALE: 1/4" = 1'-0"

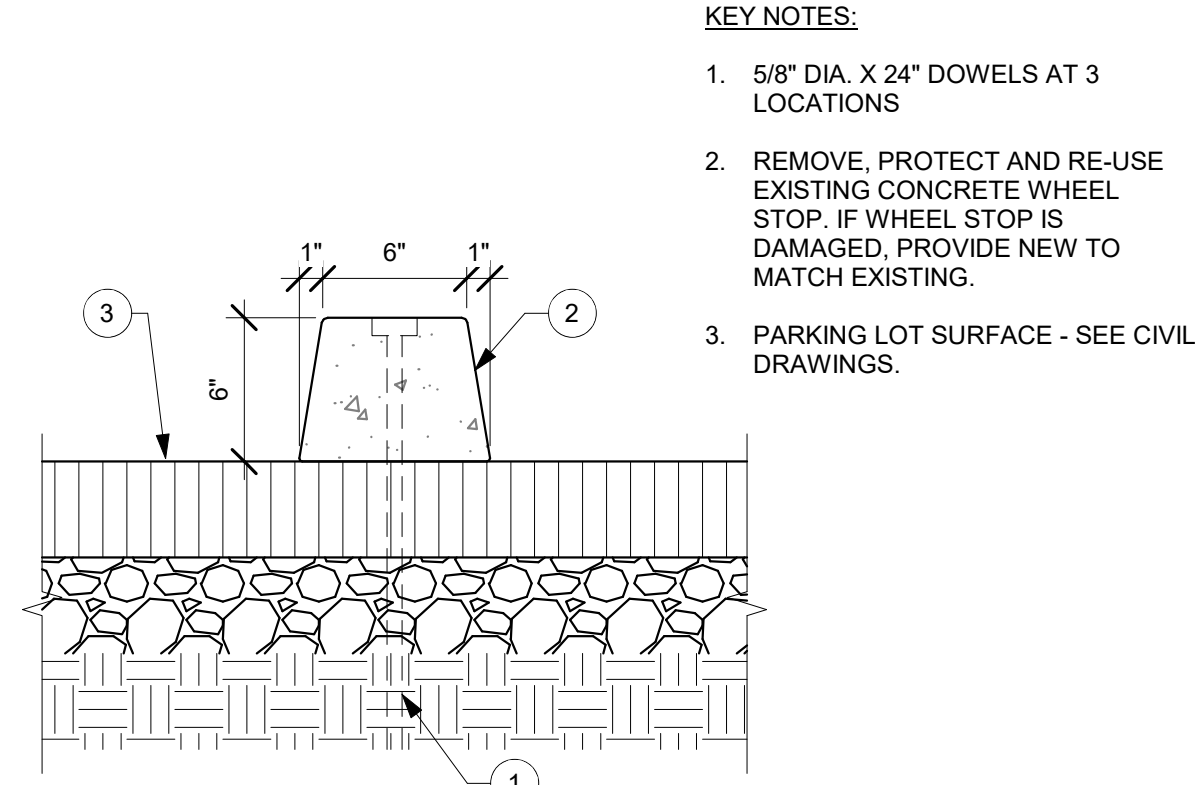


5 ENLARGED PLAN AT SLOPED WALKWAY
A0.3.0 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
- A. CONCRETE TO BE INTEGRAL COLOR, DAVIS COLOR #8084 GRAPHITE IN ADA PARKING AND ACCESS AISLE.
 - B. NO SLOPES GREATER THAN 2% IN ANY DIRECTION WITHIN PARKING STALLS AND ACCESS AISLE. COORDINATE WITH CIVIL PLAN.



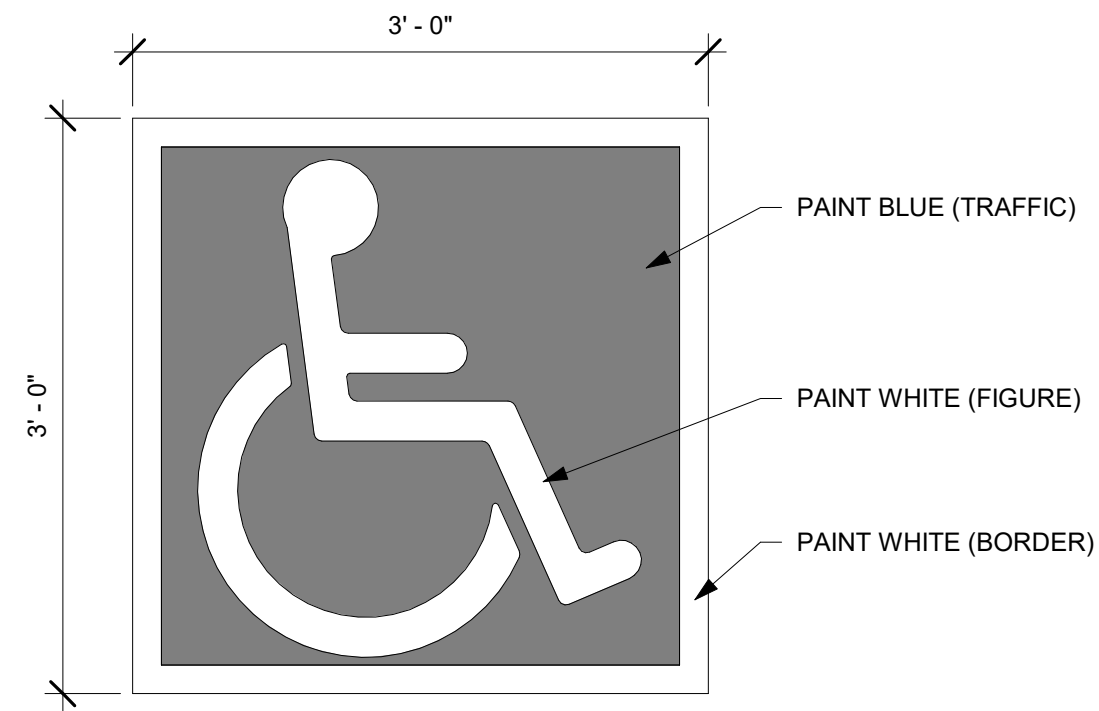
4 ENLARGED PLAN AT ACCESIBLE PARKING STALL
A0.3.0 SCALE: 1/4" = 1'-0"



KEY NOTES:

1. 5/8" DIA. X 24" DOWELS AT 3 LOCATIONS
2. REMOVE, PROTECT AND RE-USE EXISTING CONCRETE WHEEL STOP. IF WHEEL STOP IS DAMAGED, PROVIDE NEW TO MATCH EXISTING.
3. PARKING LOT SURFACE - SEE CIVIL DRAWINGS.

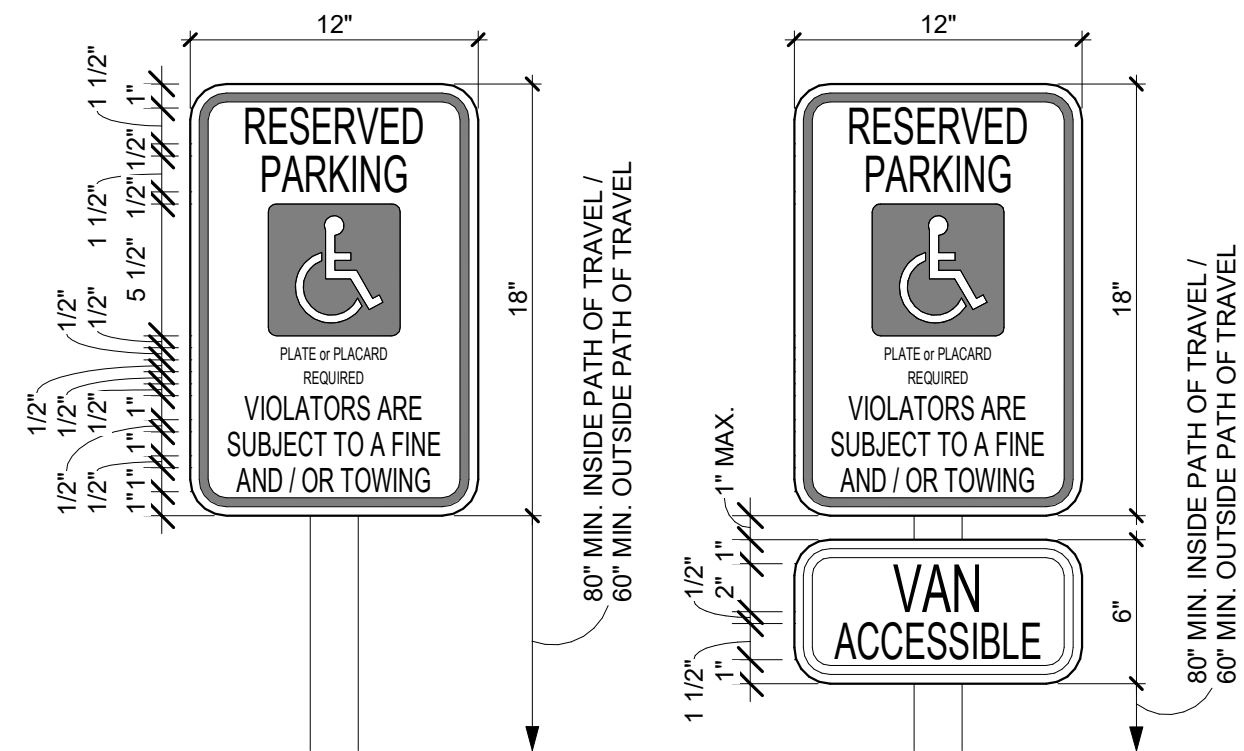
3 TYPICAL WHEEL STOP
A0.3.0 SCALE: 1 1/2" = 1'-0"



2 ACCESSIBLE SYMBOL (TRADITIONAL)
A0.3.0 SCALE: 1" = 1'-0"

NOTES:

1. THE BOTTOM OF THE ACCESSIBLE SIGNS SHOULD BE NO LESS THAN 60 INCHES ABOVE FINISH GRADE OUTSIDE THE PATH OF TRAVEL / 80 INCHES ABOVE GRADE INSIDE PATH OF TRAVEL.
2. MOUNT SIGNS ON POSTS AND SHALL BE PROPERLY CENTERED WITHIN THE PARKING SPACES.
3. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHOWN WHITE ON 6" X 6" BLUE FIELD WITH 1/2" RADIUS CORNERS.
4. THE VAN ACCESSIBLE SIGN SHALL BE CENTERED UNDER THE ACCESSIBLE PARKING SIGN AS SHOWN.
5. CONTRACTOR TO CONFIRM FINE AMOUNT WITH LOCAL JURISDICTION AND PROVIDE APPROPRIATE SIGN LETTERING



1 ACCESSIBLE & VAN ACCESSIBLE PARKING SIGNS
A0.3.0 SCALE: 1 1/2" = 1'-0"