

DRAINAGE COVENANT

THIS COVENANT made this 18th day of December, 1986, by and between

ERWIN WIECHERT, UNITED ENTERPRISES, INC., OWNER of Lot numbered eleven (11) in Block numbered nine (9) of the UNIVERSITY HEIGHTS ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on 7 February 1916, in Book D, Page 27.

AND

ERWIN WIECHERT, UNITED ENTERPRISES, INC., OWNER of Lot numbered twelve (12) in Block numbered nine (9) of the UNIVERSITY HEIGHTS ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on 7 February 1916, in Book D, Page 27.

The Owner (which term includes successors and assigns) of Lot numbered twelve (12) grants to the Owner of Lot numbered eleven (11) the right to convey storm runoff, any drainage from watering landscaping or any other ordinary domestic use across the boundary lines to the right-of-way of SILVER AVENUE S.E.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns, and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Department and this document is released by a recorded document by the Owner(s) of the above described real properties.

United Enterprises Inc
Erwin Wiechert pres. 12-22-86
OWNER LOT ELEVEN DATE
United Enterprises Inc
Erwin Wiechert pres. 12-22-86
OWNER LOT TWELVE DATE

ACKNOWLEDGEMENTS

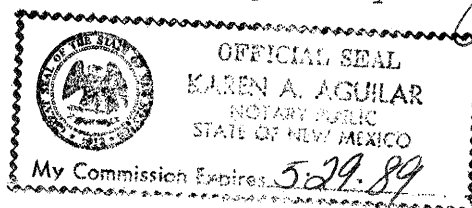
STATE OF NEW MEXICO)
) SS.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me, this 18th day of December, 1986, by Karen A. Aguilar of UNITED ENTERPRISES, INC.

Karen A. Aguilar
Notary Public

My Commission Expires:

5-29-89



DRAINAGE COVENANT

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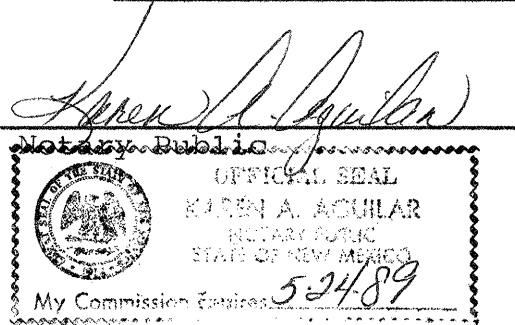
ACKNOWLEDGEMENTS

STATE OF NEW MEXICO)
) SS.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 22nd day of December, 1986, by _____
of UNITED ENTERPRISES, INC.

My Commission Expires:

5-24-89



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 8, 1987

D.G. Donegon
Donegon & Associates, Inc.
Post Office Box 20127
Albuquerque, New Mexico 20127

RE: DRAINAGE PLAN FOR UNITED ENTERPRISES PARKING LOT (K-16/D26)
RECEIVED DECEMBER 19, 1986

Dear Mr. Donegon:

The above referenced plan, dated December 19, 1986, is approved for paving permit.

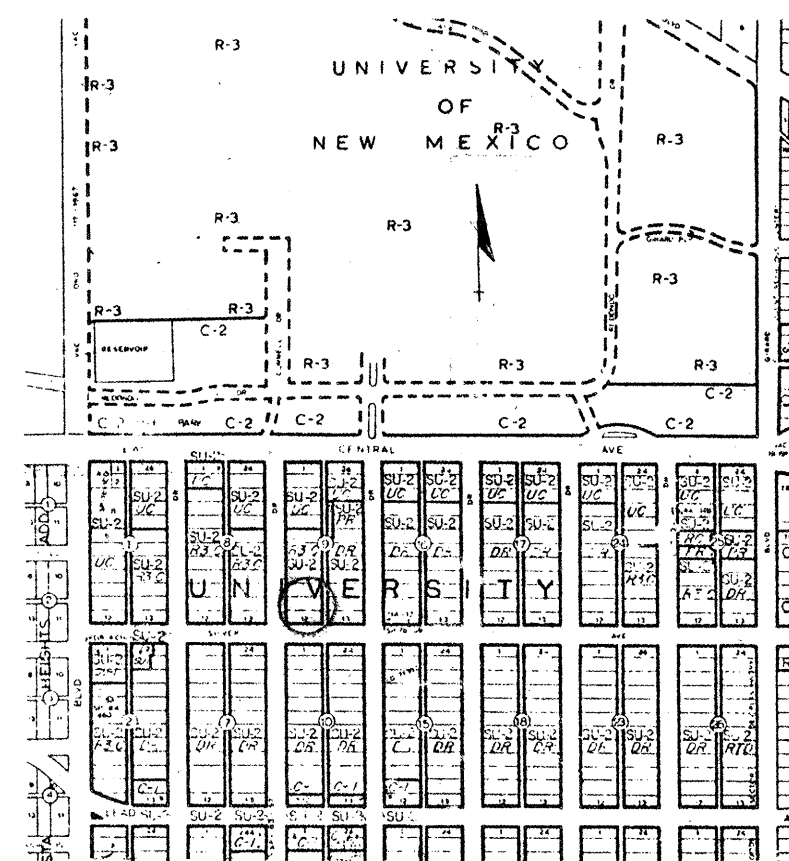
Construction within public right-of-way will require an excavation permit. Please supply the contractor with an approved plan and this approval letter.

If you have any questions, call me at 768-2650.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

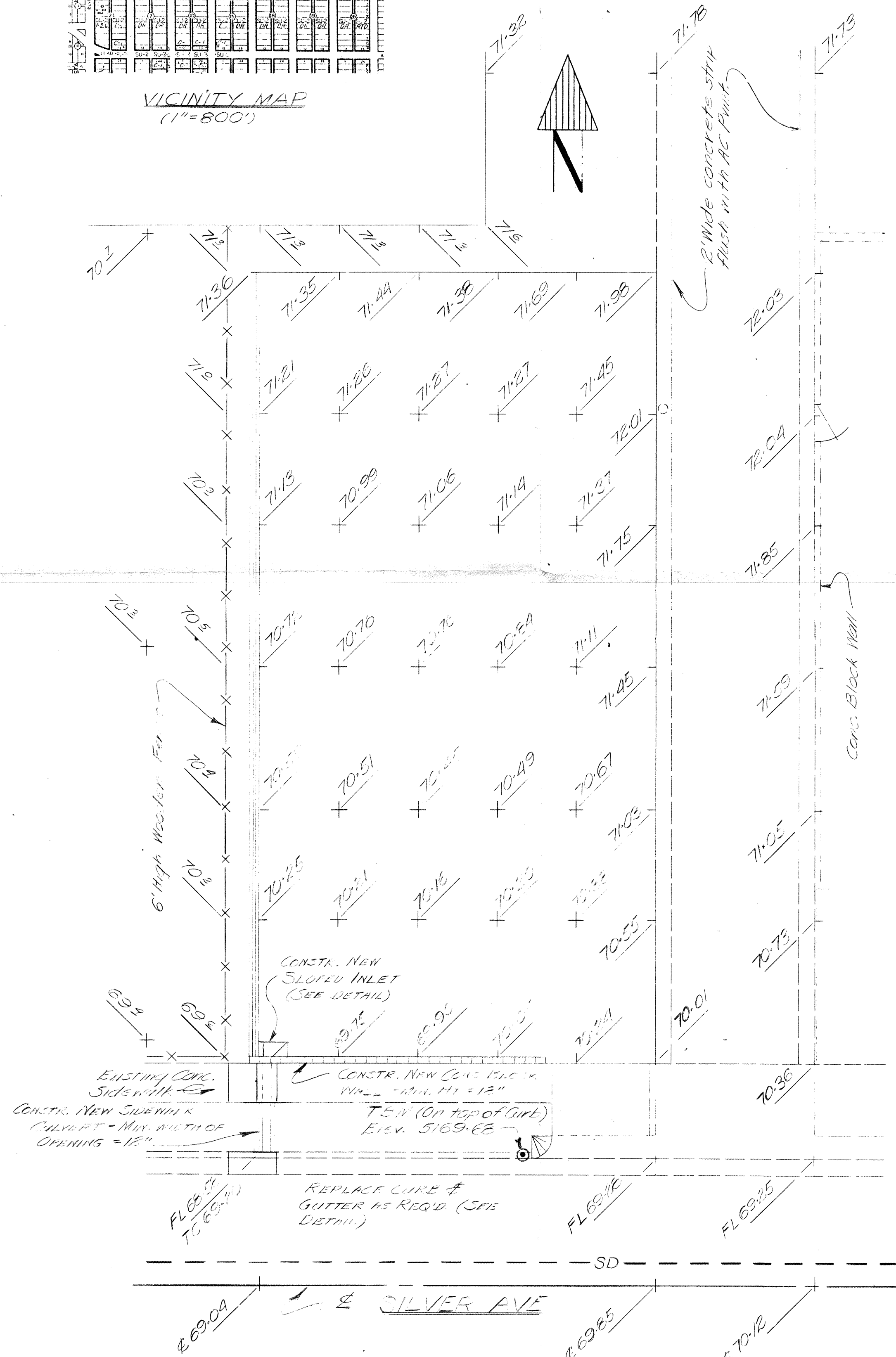
CAM/bsj



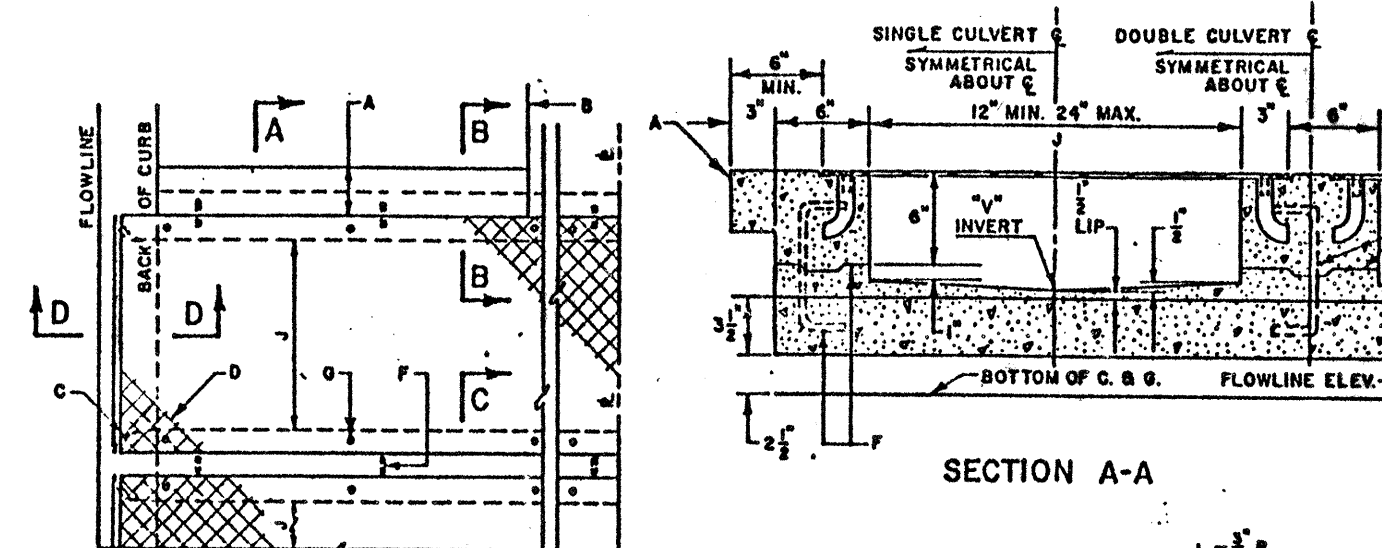
VICINITY MAP
(1"=800')

PROJECT BENCH MARK
=====

Station is a 2" brass tablet, stamped "5-K16A 1974 ACS", set in the sidewalk on the north side of Central Ave., 108.9 ft. west of the extended centerline of Columbia Dr. and 41.3 ft. north of the centerline of Central Ave. The elevation is 5171.38 (MSLD).

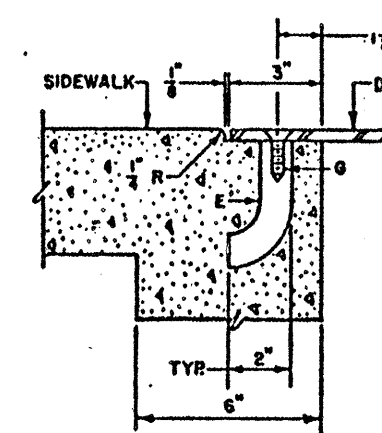


PARKING LOT
(Lots 11 and 12, Block 9, Univ. Hts.)
(1"=10'-0")

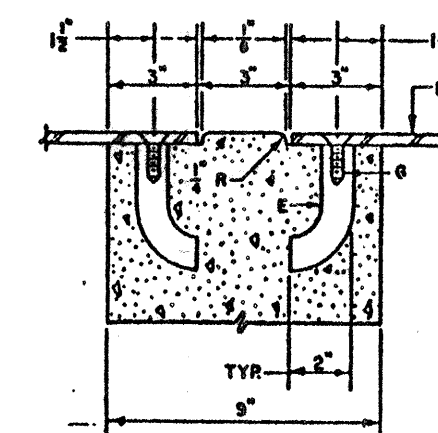


SECTION A-A

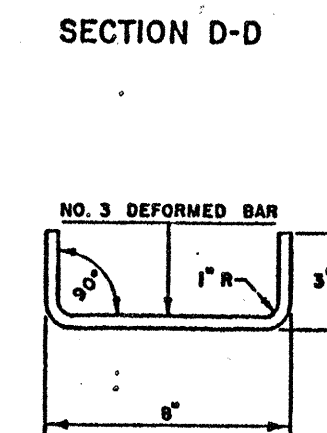
PLAN
SINGLE AND OR MULTIPLE CULVERT



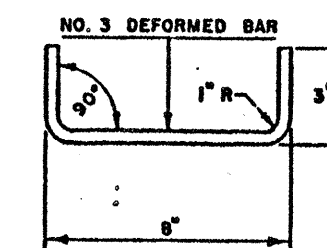
SECTION B-B



SECTION C-C



SECTION D-D



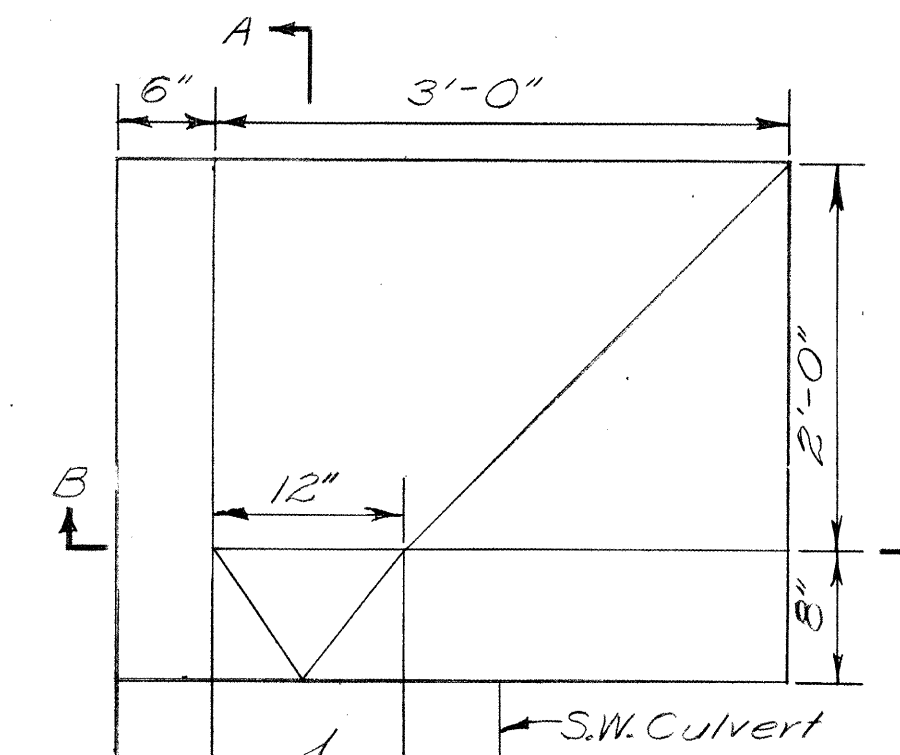
DOWEL DETAIL

GENERAL NOTES:

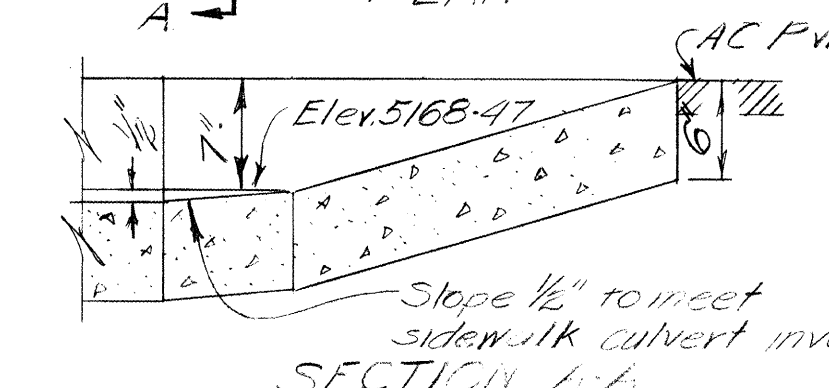
1. PLACING OF DRAIN THRU EXIST. SIDEWALK, C. & G. REQUIRE THAT ENTIRE SIDEWALK, C. & G. STONES BE REMOVED & REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED & RETROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX. DENSITY & SMOOTHNESS. "V" INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, WARPED FROM THIS POINT TO OUTLET. AT OUTLET IT SHALL PARALLEL FLOWLINE UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACES SHALL MATCH GRADE, COLOR, FINISH & SCORING OF ADJACENT CURB & SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION TO BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. DRILL & TAP ROD ANCHORS FOR F.H. MACH. SCREW, SPACE AT 24" O.C. MAX., A MIN. OF 2 P/SIDE P/PLATE. PLACE ONE WITHIN 6" OF EA. END. ANCHORS SHALL BE ATTACHED TO PLATE & PLATE SECURED IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EA. PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. & SHALL BE STRENGTH RELIEVED AFTER FABRICATION. AFTER CLEANING SURFACE OF RUST, SCALE, ETC., PLATE & FRAMING MEMBERS WILL BE PAINTED ONE SHOP COAT RED OXIDE & TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

CONSTRUCTION NOTES:

- A. JOIN TO NEAREST SCORE LINE OR WEAKENED PLANE JOINT, INSTALL 1/2" EXPANSION JOINT.
- B. SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL).
- D. 3/8" CHECKERED STEEL PLATE.
- E. ROD ANCHOR 1" X 5" STAINLESS STEEL.
- F. CONSTR. JT. & DOWEL (OPT.); IF DOWELS ARE USED SPACE AT 24" O.C. MAX., 1-1/2" MIN. FROM FACE OF CONC.; DOWELS MAY BE INCLINED IF NECESSARY.
- G. 3/8" X 1" F.H. C'SUNK STAINLESS STEEL MACH. SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH, 12" MIN., 24" MAX.



PLAN



SECTION A-A
SLOPED INLET DETAIL
(1"=1'-0")

EROSION CONTROL MEASURES:

1. The Contractor shall ensure that no soil erodes from the site into Public Right-of-Way or onto private property. Material excavated within the Public Right-of-Way shall be cleaned up promptly to avoid its being washed into the street.
2. The Contractor shall obtain a "Topsoil Disturbance Permit" prior to beginning construction.

CONSTRUCTION NOTES:

1. Two working days prior to any excavation, the contractor must contact the Line Locating Service (Ph 765-1234) for location of existing utilities.
2. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. If a conflict exists, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
3. All work on this shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning health and safety.
4. All construction within the public Right-of-Way shall be performed in accordance with applicable City of Albuquerque procedures and standards.

DRAINAGE PLAN

The following items pertaining to the Parking Lot to be situated at 122 and 124 Cornell Dr. S.E., near the intersection of Cornell Drive and Silver Avenue S.E., are included on this drawing:

1. Vicinity Map
2. Grading Plan
3. Runoff Computations

The proposed improvements are located on the east 50 feet of Lots 11 and 12, Block 9, University Heights Addition. Prior to this development this portion of the two lots contained outbuildings for the residences located on the fronts of the lots. Plate K-16 of the Albuquerque Master Drainage Study shows that this location does not lie within a designated Flood Hazard Zone. Downstream flooding is not apparent and does not appear to be a problem. On the basis of the apparent downstream capacity and the small increase in runoff generated by the improvements, the proposed free discharge from this site is considered appropriate.

The Grading Plan shows the limit and character of the proposed improvements. The finished grades are indicated by spot elevations. Runoff from the parking lot will flow to the south to Silver Ave., and then to the West along Silver Ave. to an existing catch basin on the northeast corner of the intersection of Silver Ave. and Cornell Dr. S. E.

Calculations show the pre- and post-development runoff for the 100-year, 6-hour rainfall. Runoff quantities were determined using the "Rational Method" as suggested in the City of Albuquerque Development Process Manual, Volume II. The computations show that the increase in runoff will be 0.48 cfs for a 100-year frequency. This should not result in downstream flooding.

RUNOFF COMPUTATIONS

TIME OF CONCENTRATION:
 $T_c = 0.0078 \times 175^{0.77} \times 0.0195^{-0.385}$ (DPM 22.2)
 T_c is less than 2 Min
 Use $T_c = 10$ Minutes

RAINFALL INTENSITY:
 $V = 2.28$ inches (6-Hour Vol., 100 Year Freq. DPM PLATE 22.2 D-1)
 $I/6 = 2.16$ inches/hour (DPM PLATE 22.2 D-2)
 $I = 2.28 \times 2.16 = 4.92$ inches/hour

PRE-DEVELOPMENT RUNOFF:
 $Q = CIA$
 $C = 0.58$ (PLATE 22.2 C-1 Soils Group B 50% Impervious)
 $A = 75 \times 135 \times 1/43560 = 0.232$ Ac
 $Q = 0.58 \times 4.92 \times 0.232 = 0.66$ cfs

POST-DEVELOPMENT RUNOFF
 $C = 1.00$ (PLATE 22.2 C-1 Soils Group B 100% Impervious)
 $Q = 1.00 \times 4.92 \times 0.232 = 1.14$ cfs

INCREASE IN PEAK RUNOFF = $1.14 - 0.66 = 0.48$ CFS

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL: *[Signature]* Date: 3-16-87
 INSPECTION APPROVAL: *[Signature]* Date: 3-16-87
 ACCEPTANCE: *[Signature]* Date: 3-16-87

Donegan & Associates, Inc.
 P.O. Box 20127
 Albuquerque, NM 87154

PERMIT # 35008
 3-16-87

K16/D26