



**Planning Department
Transportation Development Services**

November 19, 2014

Roger Cinelli, R.A.
Cinelli Architects
2418 Manuel Torres Lane NW
Albuquerque, NM 87107

Re: Victory Town House, 222 Yale
Certificate of Occupancy – Transportation Development
Architect's Stamp dated 04-02-14 (K16-D032)
Certification dated 11-05-14

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 11-05-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

A

B

C

D

E

YALE BLVD.
76' ROW

142' 1/4"

23'-7 1/4"

5' COURTYARD WALL

COURTYARD

COURTYARD

COURTYARD

COURTYARD

COURTYARD

UNIT 222A

UNIT 222B

UNIT 222C

UNIT 222D

UNIT 222E

UNIT 222A

UNIT 222B

UNIT 222C

UNIT 222D

UNIT 222E

UNIT 222A

UNIT 222B

UNIT 222C

UNIT 222D

UNIT 222E

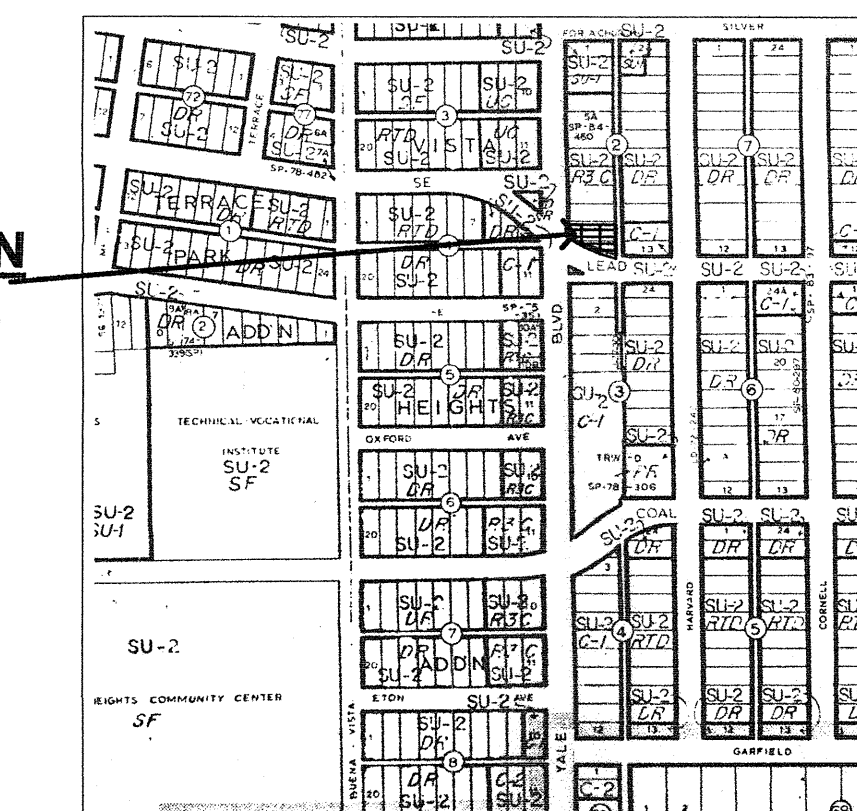
UNIT 222A

UNIT 222B

UNIT 222C

UNIT 222D

UNIT 222E

LEAD AVE.
60' ROWPROJECT LOCATION
222 YALE BLVD S.E.

VICINITY MAP

NTS

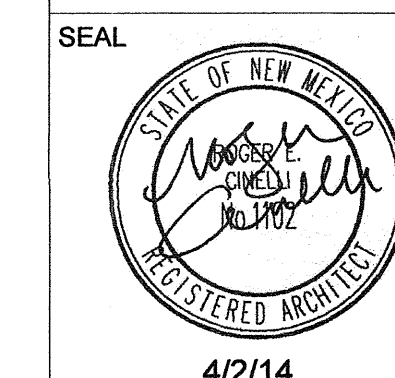
LEGAL DESCRIPTION

LOT 12, BLOCK 2, UNIVERSITY
HEIGHTS SUBDIVISION
ALBUQUERQUE, NEW MEXICOOFF STREET PARKING
PROVIDED

OFF STREET PARKING:

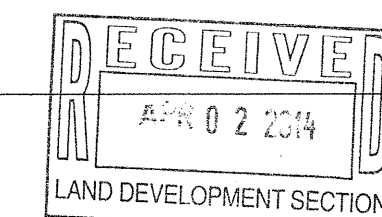
STANDARD SPACES (8'-6" X 18'):
REQUIRED: 1.5 X 5 UNITS = 7.5 SPACES
10% BUS TRANSIT ROUTE REDUCTION: 7.5 X 1 = .75
7.5 - .75 = 6.75 SPACES OR 7 PARKING SPACES REQUIRED
PROVIDED: 8 SPACES + ONE GUEST SPACE COMPLIES

LEGEND

▲ UNIT FRONT ENTRY
CP COVERED PORCHCinelli / Roger Cinelli & Assoc.
ARCHITECTS 2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211PROJECT TITLE:
TOWNHOUSE PROJECT
FOR THE VICTORYS'
222 YALE S.E.
ALBUQUERQUE, NEW MEXICODRAWING TITLE:
TRAFFIC CONTROL LAYOUTDATE
APR 2014
PROJECT NO.
VICTORY

DRAWING NO.

C102



SHEET KEYNOTES C102

- EXISTING PAVED PUBLIC ALLEY
- PROPOSED FENCED REFUSE ENCLOSURE FOR ROLL OUT DUMPSTER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING BUILDING
- CONCRETE BUMPER TYPICAL
- 7' +/- WIDE PUBLIC SIDEWALK
- 8' +/- WIDE PUBLIC SIDEWALK
- EXISTING TRAFFIC LIGHT
- EXISTING BUS SHELTER & LANDING
- ASPHALT DRIVEWAY AND PARKING SPACES
- 6' WIDE CONCRETE SIDEWALK - CONTINUOUS TO PUBLIC SIDEWALK - PROVIDE FLUSH CONDITION AT ASPHALT PARKING AREA WHERE APPLICABLE
- EXISTING 38' WIDE DRIVEPAD TO REMAIN - (FORMERLY SOLE ACCESS FOR 30 SPACE PARKING LOT)
- ADJACENT RESIDENTIAL DRIVEWAY
- MANEUVERING LANE & DRIVE
- BILLBOARD SIGNPOSTS TO BE REMOVED (4)
- EXISTING TREE IN ROW
- EXISTING POWER POLE, GUY WIRE AND BOLLARDS TO BE REMOVED
- EXISTING PUBLIC SIDEWALK RAMPS AND TRUNCATED DOME STREET CROSSWALK ACCESS
- EXISTING PUBLIC SIDEWALK CURB RAMPS
- EXISTING LANDSCAPED R.O.W.
- LANDSCAPE AREA
- NEW POWER POLE

SHEET KEYNOTES C102

- 6" CONCRETE CURB
- NEW 6' BLOCK WALL - SEPARATE PERMIT
- POLE MOUNTED SIGN: "NO PARKING"
- EXISTING STOP SIGN
- POLE MOUNTED CROSSING SIGNAL

1 TRAFFIC CONTROL LAYOUT -222 Yale SE

Scale: 1/8" = 1'-0"

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT-OF-WAY
MUST HAVE TRUNCATED DOMES.
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DP/CP/Permit approval
and Work Order required.

SCALE: 1/8"=1'-0"

