



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 22, 1989

George Sawtelle
204 Montano Wells
Rio Rancho, New Mexico 87124

RE: DRAINAGE PLAN FOR DUPLEX APARTMENT BUILDINGS A & B
LOCATED AT 419 CORNELL DRIVE, SE (K-16/D33)
ENGINEER'S STAMP DATED MARCH 7, 1989

Dear Mr. Sawtelle:

Based on the information provided on your submittal of March 7, 1989,
listed are some concerns that will need to be addressed prior to approval.

1. Temporary Bench Mark must be permanently marked by a curb notch or painted.
2. Note indicating that there will be no runoff or access from site onto the alley. A chain link fence or header curb is required.
3. Elevation at property line must be 1.0' above flow line elevation.
4. Downspouts from duplex A indicates that there may be a possibility of the runoff ponding adjacent to the building. Please extend the splash blocks onto the asphalt area.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially:

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1049)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: DUPLEX APT. BLDG A & B ZONE ATLAS/DRNG. FILE #: K-16-21033

LEGAL DESCRIPTION: Lot 15, Block 5 University Heights Addition Alb., NM

CITY ADDRESS: 419 Cornell Drive S.E. Albuquerque, NM

ENGINEERING FIRM: George L Sautelle CONTACT: _____

ADDRESS: 204 Montana Wells PHONE: _____

OWNER: Rio Rancho, N.Mex 87124 CONTACT: MARIO SARRACINO

OWNER: MARIO AND BERTHA SARRACINO PHONE: 836-7089
ADDRESS: P.O. BOX 1455 ALBUQ., NM 87103

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: The B.E.A.R. Co. CONTACT: Mike Beyer

ADDRESS: 1341 Apex Court PHONE: _____
Rio Rancho, NMex 87124

CONTRACTOR: BERMAR DEVELOPMENT CONTACT: MARIO SARRACINO

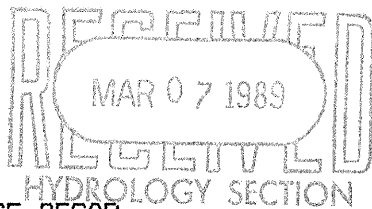
ADDRESS: P.O. BOX 1455 ALBUQ., NM PHONE: 836-7089

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

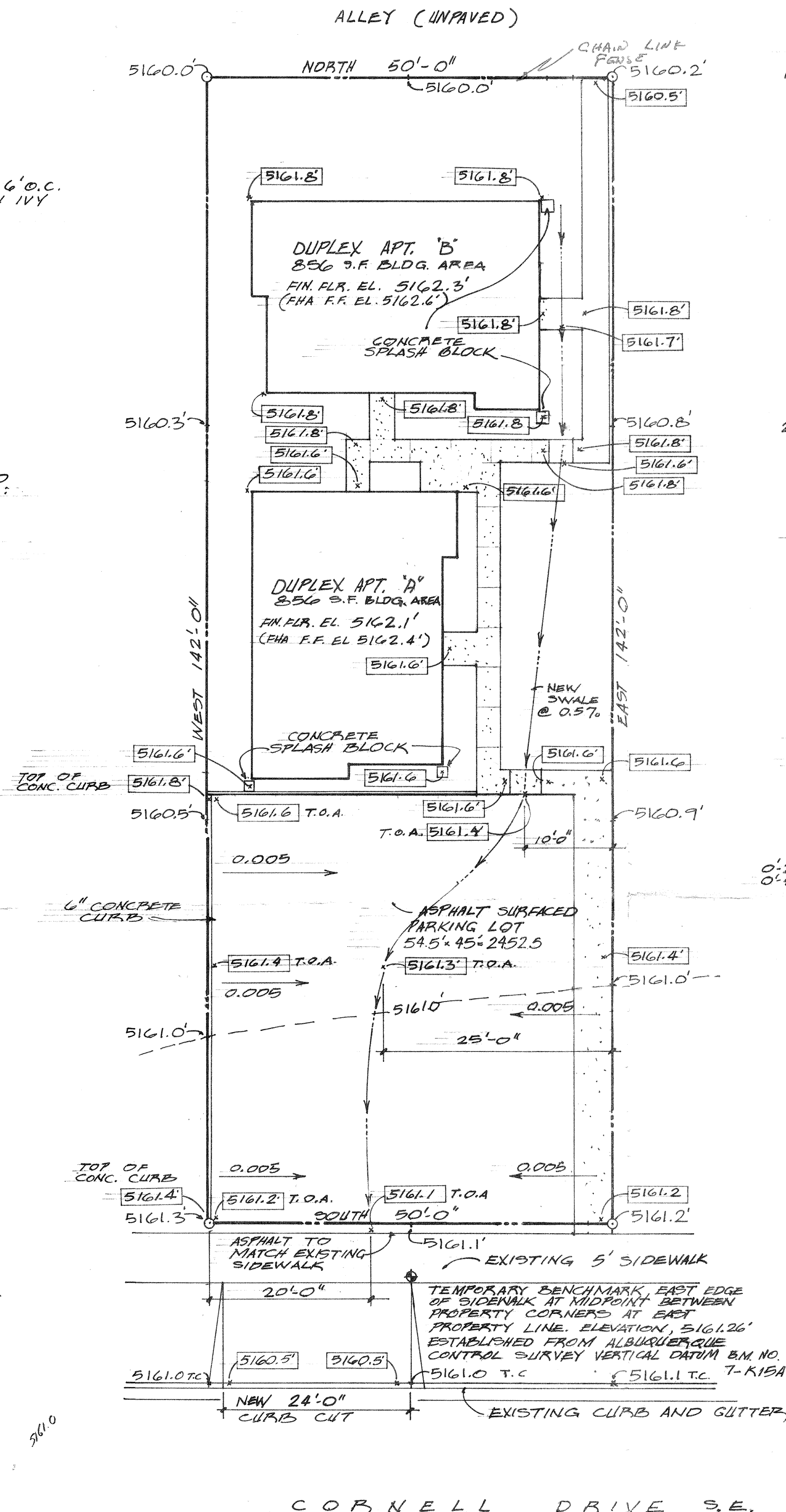
DATE SUBMITTED: _____

BY: _____

CORNELL DRIVE S. E.

LANDSCAPING PLAN

- CONSTRUCTION NOTES:
1. ALL SHRUBS ARE 5 GALLON SIZE MINIMUM.
2. ALL TREES ARE 1.5 INCH IN CALIPER OR 10-12 FEET IN HEIGHT.



GRADING PLAN
1" = 10'-0"

- CONSTRUCTION NOTES:**
1. GRADING CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 3. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

CALCULATIONS

1. RUNOFF-UNDEVELOPED CONDITION
 $Q = C I A$

<u>SURFACE</u>	<u>AREA</u>	<u>"C" VALUE</u>
EARTH	7,100 s.f.	0.40

RAINFALL 100 YR 6 HOUR (REF. I.A. PLATE 22.2 D-1)
R_c = 2.35 INCHES

TIME OF CONCENTRATION
 $T_c = 0.0078 L^{0.77} S^{0.385}$ (KIRPICH EQUATION)
 $L = 142.0$ FEET
 $S = 0.007$

$$T_c = 0.0078 \times \frac{(142)^{0.77}}{0.007^{0.385}} = 2.39 \text{ min. USE } T_c = 10 \text{ min.}$$

RAINFALL INTENSITY, I (REF IA PLATE 22.2 D-2)
 $I = R_1 \times 6.84 T_1^{-0.91} = 2.35 \times 6.84 (10^{-0.91})$

PEAK DISCHARGE, 100 YR. FREQUENCY
 $Q = 0.16 \text{ ACRE} \times 4.97 \text{ IN/HR} \times 0.40$
 $= 0.32 \text{ CFS.}$

2. BUNOFF-DEVELOPED CONDITION INTO CORNELL
Q = CIA

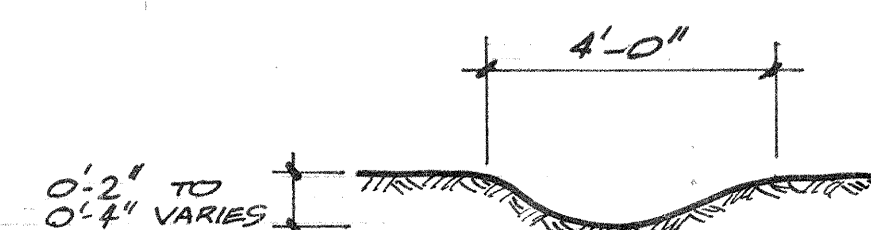
<u>SURFACE</u>	<u>AREA</u>	<u>"C" VALUE</u>	<u>A x C</u>
ROOF	1712.00	0.90	1540.8
SIDEWALK	719.50	0.95	683.5
PAVEMENT	2452.50	0.95	2329.9
TOTAL AREA	4884.10		4555.2

$$\text{WEIGHTED "C" VALUE} = \frac{4555.2}{4884.0} = 0.93$$

TC = 10 min.
RAINFALL INTENSITY I
 $I = 2.35 \text{ in.} \times 6.84 \times 10^{-0.51} = 4.97 \text{ IN/HR}$

$$Q = 0.93 \times 4.97 \times 0.11$$
$$Q = 0.52 \text{ cfs}$$

THE DEVELOPED CONDITION WILL PRODUCE 0.20 CFS MORE THAN THE UNDEVELOPED CONDITION.



TYPICAL SWALE
NTS

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: K16 DATE: 2-28-86

PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: 2 - Duplex Apts

STREET ADDRESS (IF KNOWN): Lot 15 BK 5 University
SUBDIVISION NAME: Hts

APPROVAL REQUESTED

☐ PRELIMINARY PLAT	☐ FINAL PLAT
☐ SITE DEVELOPMENT PLAN	☒ BUILDING PERMIT
☐ OTHER	☐ ROUGH GRADING

WHO REPRESENTING

ATTENDANCE: George Sawtelle
Carl A. Monty

- ① Driveway. Paved per DPM
- ② Free discharge allowed to Cornell Dr.
 - ① Not in a 100 year floodzone
 - ② minimum impact on downstream drainage facilities
 - ③ inlet site
- ③ Need to putter roof flows to asphalt parking parking lot needs to drain to Cornell
- ④ What falls on landscape areas can be retained there
- ⑤ if ~~ally~~ ally is well time access or drainage used to give ally to City streets

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: John A. Mont SIGNED: George Penteth
TITLE: _____ TITLE: Carl E. Green
DATE: 2-28-89 DATE: 2-28-89

***NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL.

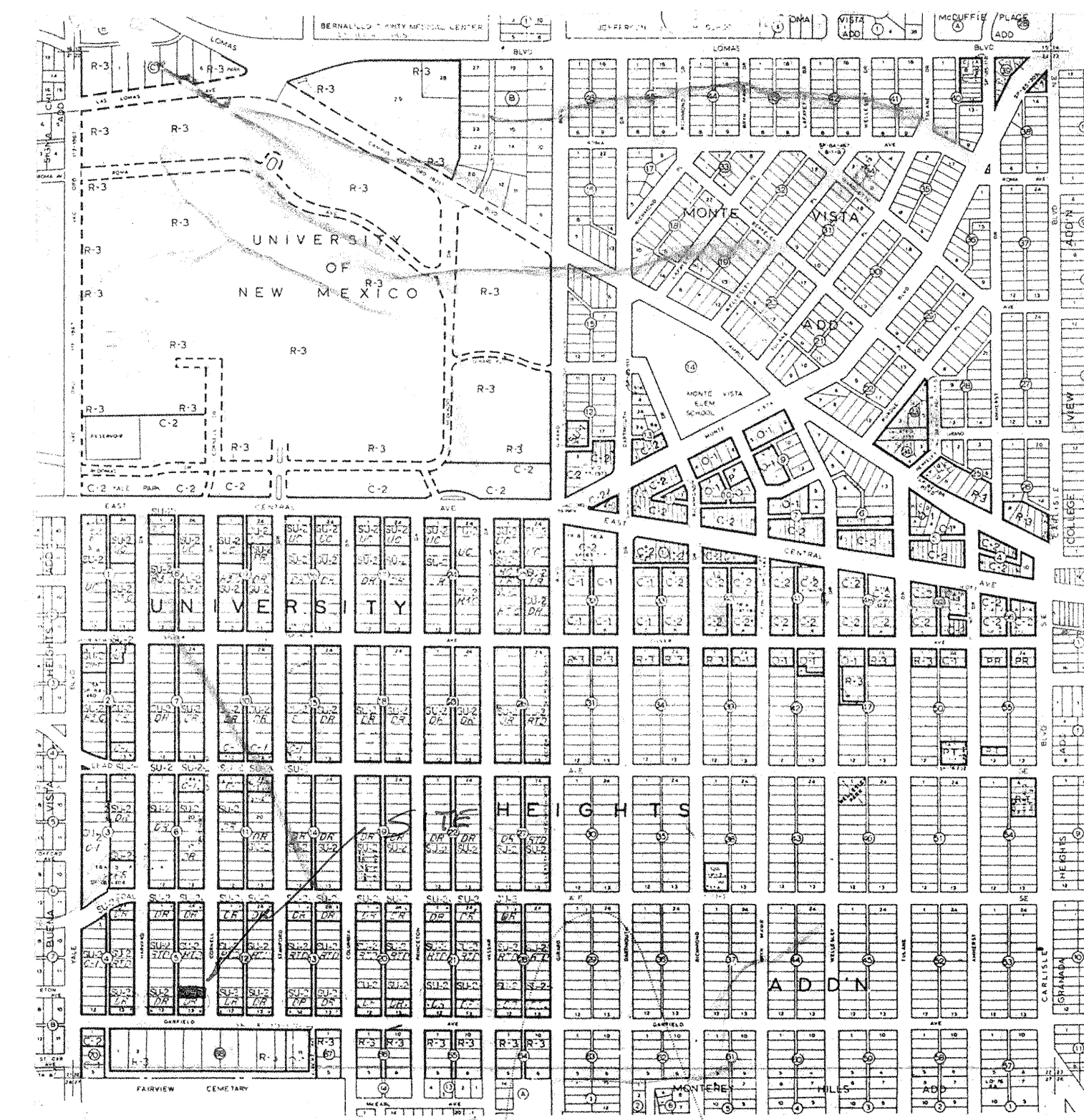
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PROJECT:
DUPLEX APARTMENT BUILDINGS "A" AND "B"
LOCATED AT 419 CORNELL DRIVE S.E
ALBUQUERQUE, NEW MEXICO

OWNER:
MARIO AND BERTHA SARRACINO
P.O. BOX 1455
ALBUQUERQUE, NEW MEXICO 87103
TELEPHONE: 836-7089

CONTRACTOR:
BERMAR DEVELOPMENT
LICENSE NO. 26964
P.O. BOX 1455
ALBUQUERQUE, NEW MEXICO 87103

SHEET
1
OF 3



VICINITY MAP

LOT NUMBERED FIFTEEN (15) IN BLOCK NUMBERED FIVE (5) OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 7, 1916.

PROJECT BENCHMARK

B.M. NO. 7-K15A LOCATED AT THE INTERSECTION OF YALE BLVD. AND ST. CYR S.E. A SQUARE CHISELED ON TOP OF A CONCRETE CURB AT THE SSW RETURN.
ELEVATION: 1570.641'

LEGEND

-  PROPERTY LINE
 EXISTING CONTOUR
 NEW SWALE
 NEW CONC. SIDEWALK
 NEW SPOT ELEVATION
 EXISTING SPOT ELEV.
 NEW ASPHALT PAVEMENT
 TEMPORARY BENCHMARK
 PLANT MATERIAL.
 TYPE AS NOTED ON
 LANDSCAPING PLAN
 T.O.A. TOP OF ASPHALT

T.O.A. TOP OF ASPHALT

MARCH 6, 1989

