

PROJECT TITLE: Four-1 : Apartment Bldg. ZONE ATLAS/DR FILE #: K-16 1035LEGAL DESCRIPTION: Lot 21, Block 18, University Heights AdditionCITY ADDRESS: 207 Princeton Drive, S.E.ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank LoveladyADDRESS: 7408 Morrow Ave. NE 87110 PHONE: 883-7973OWNER: Don Keith & Associates CONTACT: Don KeithADDRESS 7116 Edwina Ct. NE PHONE: 884-4070

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Lovelady & Associates CONTACT: Frank LoveladyADDRESS: 7408 Morrow Ave. N.E. 87110 PHONE: 883-7973CONTRACTOR: Don Keith & Associates CONTACT: Don KeithADDRESS: 7116 Edwina Ct. NE PHONE: 884-4070

PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN. PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ Revised Plan - lowered
Fin Flr. 6"DATE SUBMITTED: April 21, 1989BY: Frank D. Lovelady, P.E.

Rev. 11/84

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

FILE COPY

MEMORANDUM:

May 24, 1989



TO: Jacob Baca, Transportation System Division ENGINEERING GROUP

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
4-PLEX 207 PRINCETON DRIVE, SE (K-16/D35)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

May 24, 1989

Frank Lovelady, P.E.
Lovelady & Associates
7408 Morrow, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR FOUR PLEX APARTMENT BUILDING
207 PRINCETON AVENUE, SE (K-16/D35)
REVISION DATED MAY 12, 1989

Dear Mr. Lovelady:

Based on the information provided on your resubmittal of May 16, 1989, the revisions as indicated are acceptable for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, please be advised that a separate permit is required for construction within City right of way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Becky Sandoval

BJM/bsj
(WP+1084)

CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF SAID PROPERTY SERVED.
- THE ADDRESS OF THE PROPERTY SERVED IS 207 PRINCETON DR. S.E.

APPROVALS:

HYDROLOGY Bernie J. Montoya 5/24/89
(NAME) (DATE)

INSPECTOR _____
(NAME) (DATE)

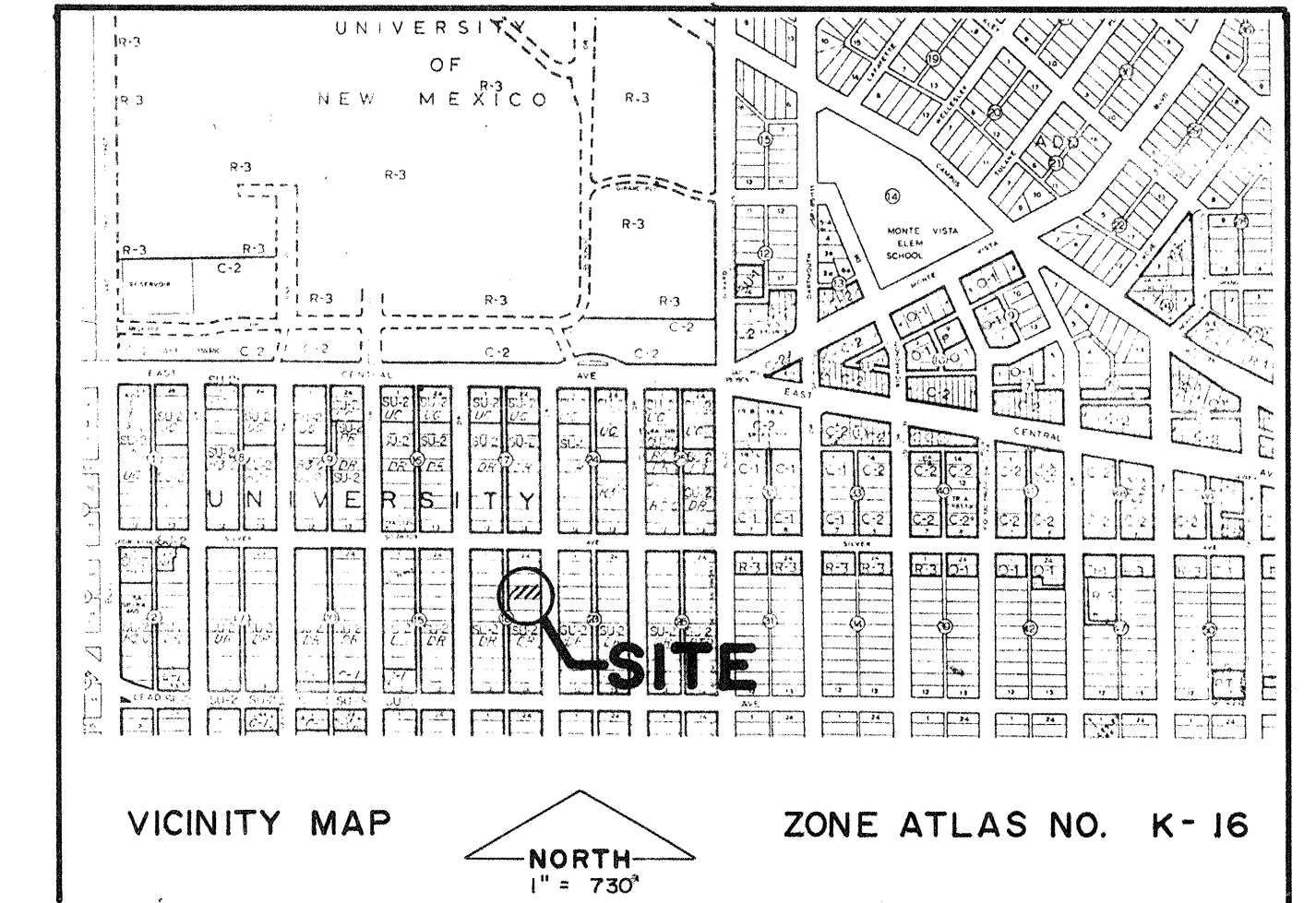
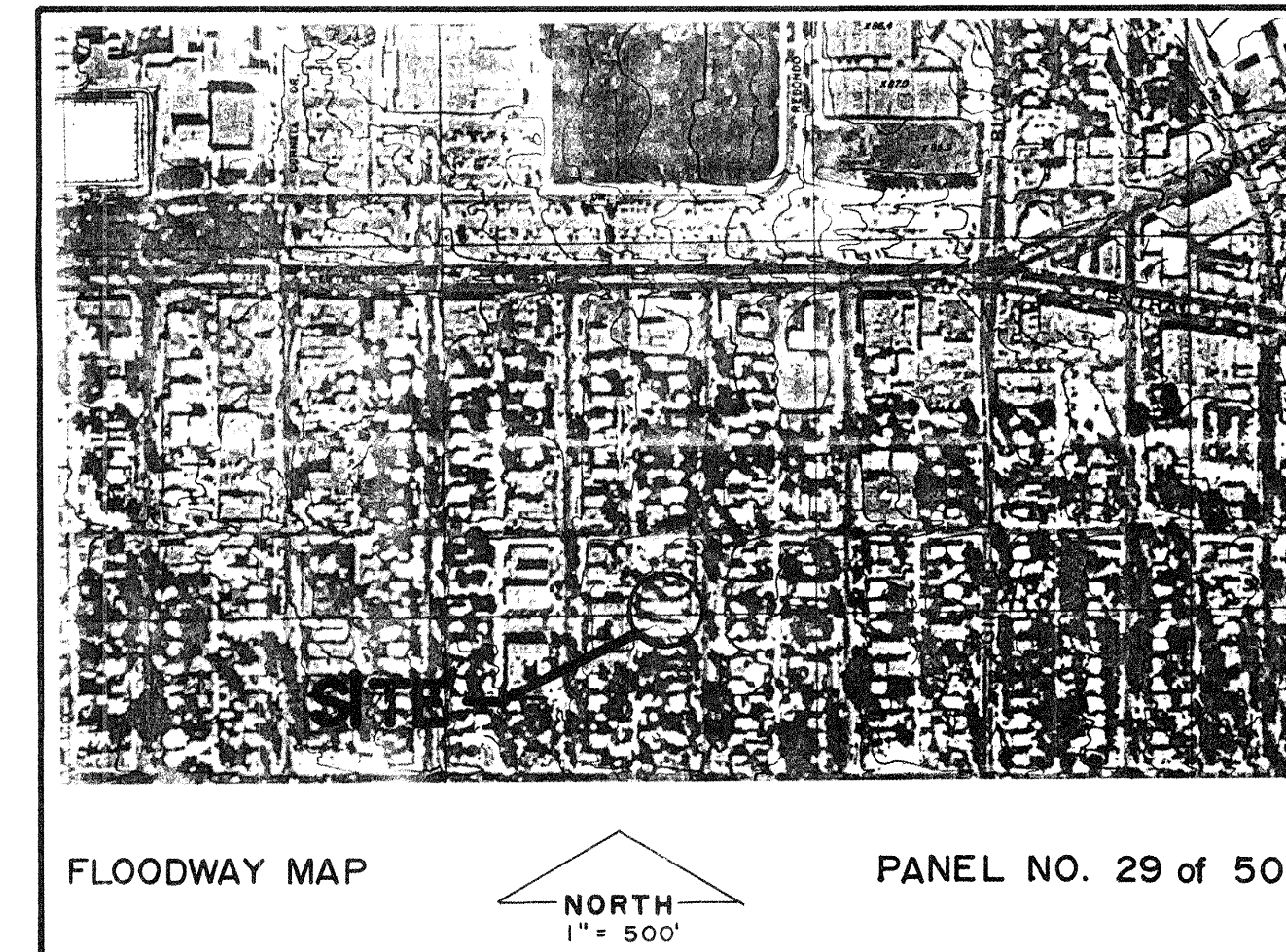
CONSTRUCTION _____
(NAME) (DATE)

PRE-DESIGN CONFERENCE RECAP:

- DRAINAGE PLAN PER D.P.M. GUIDELINES REQUIRED PRIOR TO BUILDING PERMIT RELEASE.
- FREE DISCHARGE TO PRINCETON IS ACCEPTABLE.
- FREE DISCHARGE TO ALLEY IS ACCEPTABLE IF ALLEY IS PAVED AND HAS CAPACITY ALL THE WAY TO MAIN STREETS. PROVIDE VERIFICATION WITH DRAINAGE SUBMITTAL.
- APPROVED ALLEY GRADES ARE REQUIRED TO COMPARE WITH SITE GRADES.
- ALLEY FLOWS ARE FROM SOUTH TO NORTH.
- IDENTIFY ANY OFF-SITE FLOWS ENTERING THE SITE.

RESPONSE TO PRE-DESIGN CONFERENCE FINDINGS:

- THE D.P.M. GUIDELINES WERE USED IN PREPARATION OF THIS GRADING AND DRAINAGE PLAN.
- THE SITE HAS BEEN GRADED TO DRAIN MOSTLY TO PRINCETON DRIVE TO MINIMIZE DISCHARGE TO THE ALLEY.
- THE AMOUNT OF FLOW DISCHARGING TO THE ALLEY WILL BE REDUCED AFTER DEVELOPMENT. THE ALLEY IS PRESENTLY PAVED.
- APPROVED ALLEY GRADES ARE PER CITY PROJECT P-124-78. ONLY CENTERLINE GRADES ARE SHOWN ON THE PLAN AND PROFILE AND THERE IS NO TYPICAL SECTION.
- FIELD ELEVATIONS CONFIRM THAT ALLEY FLOWS ARE FROM SOUTH TO NORTH.
- THERE ARE NO OFF-SITE FLOWS ENTERING THE SITE. ALL LOTS DRAIN EITHER TO PRINCETON OR THE ALLEY. THERE IS NO SIGNIFICANT CROSS-LOT-LINE DRAINAGE.



LEGAL DESCRIPTION:

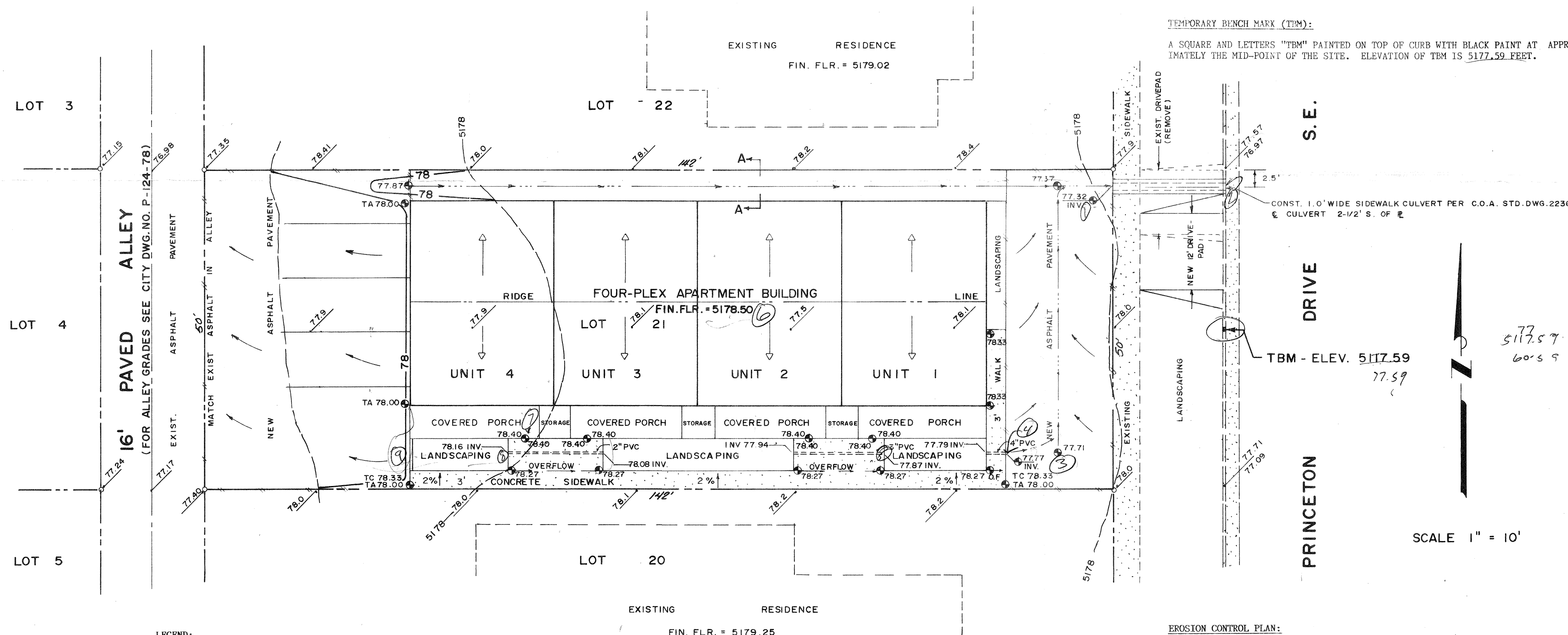
LOT NUMBER 21 IN BLOCK NUMBER 18, UNIVERSITY HEIGHTS ADDITION.

BENCH MARK:

ACS STATION 13-K16 LOCATED AT THE INTERSECTION OF LEAD AVE. AND GIRARD BLVD. THE STATION IS A 31 ALUMINUM TABLET SET IN A DRILL HOLE FLUSH WITH THE TOP OF CURB. STATION IS STAMPED "ACS, 13-K16, 1984". ELEVATION IS 5187.389 FEET.

TEMPORARY BENCH MARK (TBM):

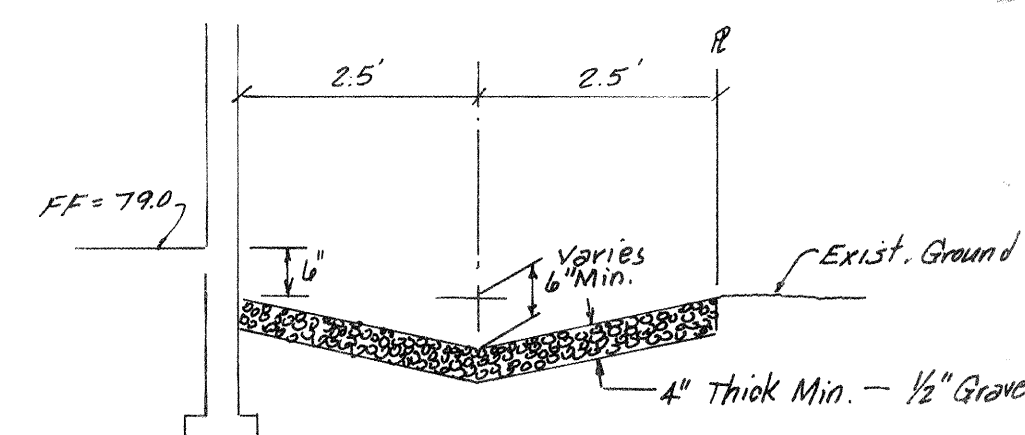
A SQUARE AND LETTERS "TBM" PAINTED ON TOP OF CURB WITH BLACK PAINT AT APPROXIMATELY THE MID-POINT OF THE SITE. ELEVATION OF TBM IS 5177.59 FEET.



LEGEND:

EXISTING	NEW	DESCRIPTION
---	---	CONTOUR
•	•	SPOT ELEVATION
---	---	PROPERTY LINE
---	---	SWALE
---	---	SHEET FLOW
---	---	ROOF DRAINAGE
---	---	EDGE NEW ASPHALT
---	---	TA TOP ASPHALT
---	---	TC TOP CURB
---	---	FL FLOWLINE

SECTION A-A - SWALE DETAIL



EROSION CONTROL PLAN:

DURING CONSTRUCTION OF THE BUILDING, ALL RUNOFF FROM THE SITE SHALL BE CONTAINED BY THE USE OF A POND, BERM, OR OTHER SUITABLE CONTAINMENT FROM WHICH SEDIMENT-FREE WATER SHALL BE RELEASED AT A CONTROLLED RATE. ALL SEDIMENT SHALL BE SETTLED OR FILTERED OUT BEFORE RELEASING THE WATER TO THE PUBLIC RIGHT-OF-WAY.

DRAINAGE CALCULATIONS

SOIL INFORMATION: (REFER TO SCS SOIL SURVEY OF BERNALILLO COUNTY.)

SOIL IS WeB, WINK-EMBUDO COMPLEX, HYDROLOGIC SOIL GROUP "B".

RAINFALL, 100-YEAR, 6-HOUR: (REFER TO D.P.M., PLATE 22.2 D-1)

$R_6 = 2.25$ INCHES.

TIME OF CONCENTRATION: (REFER TO D.P.M. SECTION 22.2, PAGE 3)

TEN (10) MINUTES, MINIMUM TIME OF CONCENTRATION.

RAINFALL INTENSITY: (REFER TO PLATE 22.2 D-2)

$I = R_6 \times 6.84 \times T_c^{-0.51} = 2.25 \times 6.84 \times (10)^{-0.51} = 4.76$ INCHES PER HOUR.

CURVE NUMBERS: (REFER TO D.P.M. PLATE 22.2 C-2)

	CN	EXISTING AREA	NEW AREA
EXISTING PAVEMENT	70	-	6185
BUILDINGS AND PAVEMENT	98	-	365
LANDSCAPING	61	-	550
UNPAVED GRAVEL	85	-	-
UNPAVED DIRT	82	7100	-
TOTAL AREAS		7100 SF = 0.163 AC	7100

WEIGHTED CURVE NUMBER (CN_w):

EXISTING $CN_w = 82$ DEVELOPED $CN_w = 95$

DIRECT RUNOFF: (REFER TO D.P.M. PLATE 22.2 C-4)

EXISTING $Q_p = 0.85$ DEVELOPED $Q_p = 1.75$

RUNOFF COEFFICIENTS: (REFER TO "NOTICE OF EMERGENCY RULE",

CITY OF ALBUQUERQUE, JANUARY 14, 1986).

	"C"	EXISTING AREA	NEW AREA
UNDEVELOPED	0.40	7100	550
LAWNS AND LANDSCAPING	0.25	-	365
ROOFS	0.90	-	3325
STREETS, DRIVES, WALKS	0.95	-	2860

TOTAL AREAS

WEIGHTED "C" FACTORS: EXISTING "C" = 0.40 DEVELOPED "C" = 0.85

EXISTING CONDITIONS:

RUNOFF BY RATIONAL EQUATION, $Q = CIA$

$Q = 0.40 \times 4.76 \times 0.163 = 0.31$ CFS

VOLUME BY SCS METHOD, $V = A(Q_p/12)$, WHERE A = AREA IN SQUARE FEET.

$V = 7100 (0.85/12) = 503$ CF

DEVELOPED CONDITIONS:

$Q = 0.85 \times 4.76 \times 0.163 = 0.66$ CFS

$V = 7100 (1.75/12) = 1035$ CF

DRAINAGE TO ALLEY:

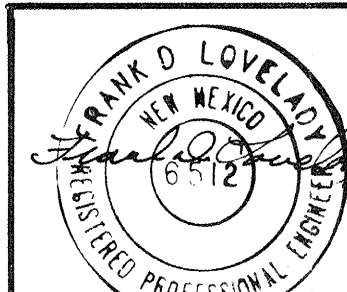
UNDEVELOPED - THE WESTERLY 75% OF THE SITE DRAINS TO THE ALLEY.

$0.75 \times 0.31 = 0.23$ CFS

DEVELOPED - THE WESTERLY 32' OF THE SITE WILL DRAIN TO THE ALLEY.

$Q = 0.95 \times 4.76 (1600/43560) = 0.17$ CFS. THEREFORE, THE AMOUNT OF RUNOFF DISCHARGING TO THE ALLEY WILL BE REDUCED BY DEVELOPMENT.

REVISED MAY 12, 1989



APRIL 21, 1989

GRADING AND DRAINAGE PLAN
FOUR-PLEX APARTMENT BUILDING
207 PRINCETON DRIVE, S.E.
ALBUQUERQUE, NEW MEXICO