CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

January 13, 2025

Vincent Carrica, PE, Tierra West LLC 5571 Midway Park PL NE, Albuquerque, NM 87109

Re: HIWAY HOUSE

3200 CENTRAL AVE SE, ALBUQUERQUE NM 87106

Conceptual Traffic Circulation Layout-DFT Engineer's/Architect's Stamp 01-13-25 (K16D055)

Dear Mr. Carrica.

The conceptual TCL submittal received 01-08-25 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **An approved traffic scoping form is required before a full traffic circulation layout approval.**

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to <u>plndrs@cabq.gov</u> for log in and evaluation by Transportation.

NM 87103

Albuquerque

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.

Principal Engineer, Planning Dept. Development Review Services



City of Albuquerque Planning Department

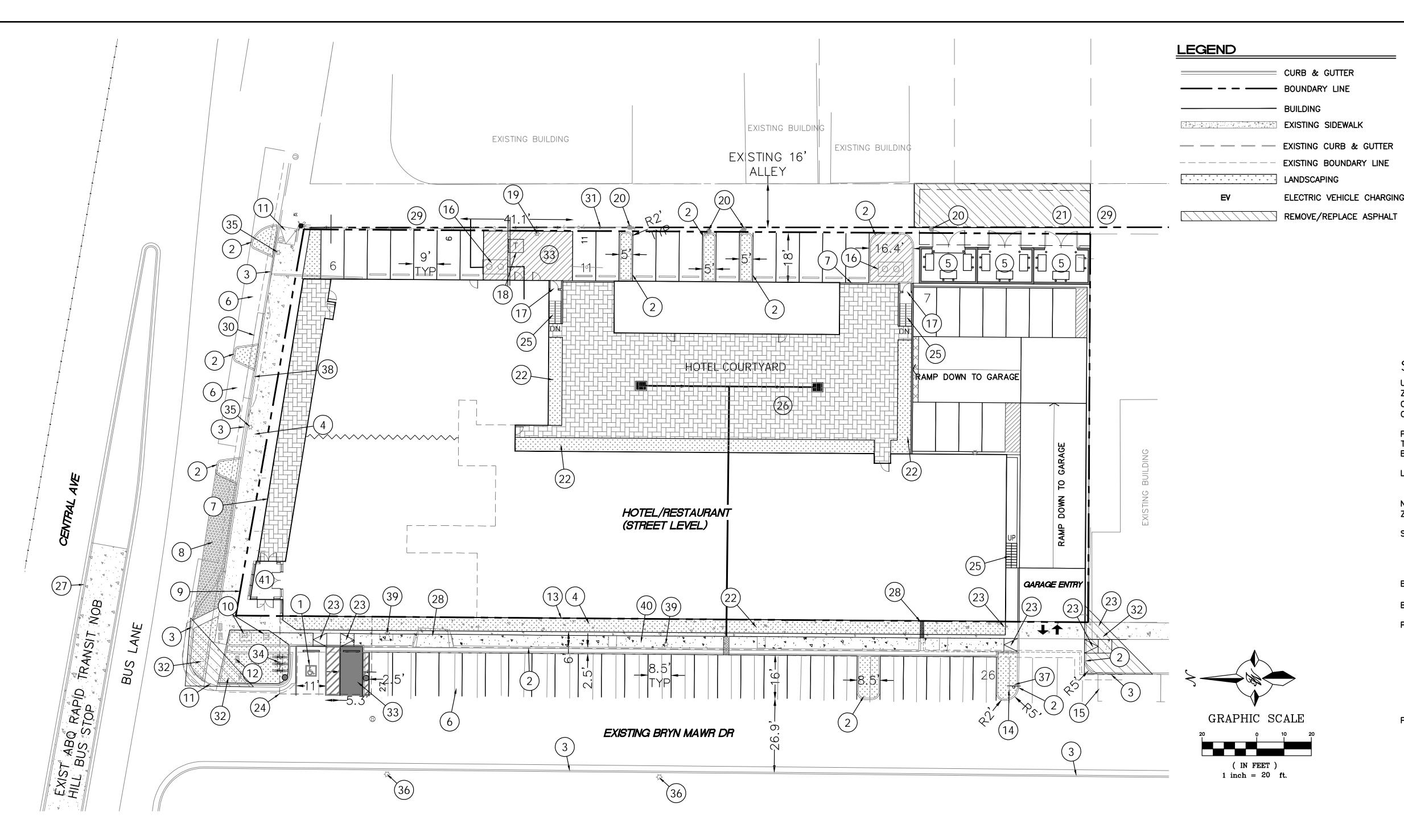
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

oject Title: Hydrology File #			
Legal Description:			
City Address, UPC, OR Parcel:			
Applicant/Agent:	Contact:		
Address:			
Email:			
Applicant/Owner:			
Address:			
Email:			
TYPE OF DEVELOPMENT: Plat (# of lots)			
RE-SUBMITTAL:	: YES NO		
DEPARTMENT: TRANSPORTATION	HYDROLOGY/DRAINAGE		
Check all that apply under Both the Type of Submittal	and the Type of Approval Sought:		
ГҮРЕ OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:		
Engineering / Architect Certification	Pad Certification		
Conceptual Grading & Drainage Plan	Building Permit		
Grading & Drainage Plan, and/or Drainage	Grading Permit		
Report	Paving Permit		
Drainage Report (Work Order)	SO-19 Permit		
Drainage Master Plan	Foundation Permit		
Conditional Letter of Map Revision (CLOMR)	Certificate of Occupancy - Temp Perm		
Letter of Map Revision (LOMR)	Preliminary / Final Plat		
Floodplain Development Permit	Site Plan for Building Permit - DFT		
Traffic Circulation Layout (TCL) – Administrative	Work Order (DRC)		
Traffic Circulation Layout (TCL) – DFT Approval	Release of Financial Guarantee (ROFG) CLOMR / LOMR		
Traffic Impact Study (TIS)	Conceptual TCL - DFT		
Street Light Layout	<u>.</u>		
·	OTHER (SPECIFY)		
OTHER (SPECIFY)			

REV. 04/03/24

DATE SUBMITTED:



GENERAL NOTES

- 1. ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES
- THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN. 2. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT
- 3. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND
- 4. ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND
- 5. A 6FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
- 6. SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO MX-M
- REQUIREMENTS.
- 7. EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.

EXECUTIVE SUMMARY

THE SITE IS LOCATED IN KNOB HILL OFF CENTRAL AVE. IT IS BORDERD BY BRYN MAWR STREET TO THE WEST AND BY AN EXISTING 16' ALLEYWAY TO THE EAST. THE EXISTING HOTEL STRUCTURE IS BEING REPLACED WITH A NEW HOTEL AND RESTAURANT ON THE 1.08 ACRES PROPERTY. AN UNDERGROUND PARKING STRUCTURE WILL BE CONSTRUCTED AS PART OF THE DEVELOPMENT. ACCESS TO THE GARAGE WILL BE OFF BRYN MAWR DR AT THE SOUTHWEST CORNER OF THE SITE FOR USE BY THE DEVELOMENT. THE MAJORITY OF THE EXISTING ONSTREET PARKING IN BRYN MAWR DR WILL REMAIN FOR USE BY THE PUBLIC AND NEW PARKING WILL BE ADDED ADJACENT TO THE EXISTING ALLEY WAY FOR USE BY THE DEVELOPMENT. A DROP OF AREA WILL BE PROVIDED ON CENTRAL FOR ACCESS TO THE HOTEL LOBBY ALONG WITH PUBLIC PARKING ALONG CENTRAL IN FRONT OF THE DEVELOPMENT.

KEYED NOTES

WITH SIGN

- 1) ACCESSIBLE SPACE PER ADA REQUIREMENTS
- (2) 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- (3) EXISTING CURB AND GUTTER TO REMAIN
- (4) EXISTING SIDEWALK TO BE REMOVED
- (5) TRASH ENCLOSURE
- (6) PUBLIC PARKING
- (7) PRIVACY BARRIER ALONG PROPERTY LINE
- (8) HOTEL DROP-OFF
- 9 BUILDING ABOVE
- (10) CONTROL BOX
- (11) EXISTING HC RAMP TO REMAIN
- (12) EXISTING PULL BOX
- (13) ZERO SETBACK
- (14) DIRECTIONAL SIGN

KEYED NOTES

- (15) EXISTING PARALLEL PARKING TO REMAIN
- (16) GREASE TRAP
- (17) PRIVACY GATE KEY CARD ACCESS ONLY
- (18) TRANSFORMER
- (19) NEW POWER POLE
- (20) EXISTING POWER POLE
- (21) ALLEYWAY ASPHALT TO BE REPAVED DIRECTLY IN FRONT OF TRASH ENCLOSURES
- (22) LANDSCAPE BARRIER
- (23) UNIDIRECTIONAL HC RAMP
- 24) CANOPY
- 25) STAIRWAY
- (26) HOTEL COURTYARD
- (27) EXISTING RAISED MEDIAN AND BUS PLATFORM

KEYED NOTES

- (28) REMOVE EXISTING SIDEWALK CULVERT/CONCRETE PAD
- (29) EXISTING ASHPALT PAVING TO REMAIN
- (30) REMOVE EXISTING DRIVE PAD
- (31) RELOCATE EXISTING GUY WIRES
- (32) 25' X 25' SIGHT VISIBILITY TRIANGLE
- (33) HOTEL LOADING ZONE
- (34) BIKE RACK (3 SPACES)
- (35) EXIST CABQ LIGHTS TO REMAIN
- (36) EXIST STREET LIGHT TO REMAIN
- (37) STOP SIGN
- (38) 32 LF NEW CURB AND GUTTER
- (39) EXIST LIGHT TO BE REMOVED
- (40) NEW CONCRETE SIDEWALK
- (41) VESTIBULE



SITE DATA

USE:

MIXED USE - HOTEL (112 ROOMS), BAR, AND RESTAURANT

ZONING: OVERLAY: NOB HILL/HIGHLAND CPO-8

CENTERS AND CORRIDORS: MAIN STREET AND MAJOR TRANSIT - CENTRAL

PREMIUM TRANSIT STATION: NOB HILL ART STATION ROUTES 66, 16, 766, AND 777

BICYCLE FACILITIES: SILVER AVENUE BICYCLE BOULEVARD LOTS 1 - 5, BLOCK 41 UNIVERSITY HEIGHTS ADDITION AND

LEGAL DESCRIPTION:

BLOCK 3 MONTE VISTA ADDITION

42,571 SF (1.08 ACRES) NET SITE AREA: ZONE ATLAS PAGE:

FRONT: O FEET MINIMUM, 15 FOOT MAXIMUM SIDE: O FEET MINIMUM, 15 FOOT MAXIMUM STREET SIDE: 0 FEET MINIMUM, 15 FOOT MAXIMUM

REAR: 0 FEET

ALLOWED (WITH STRUCTURED PARKING BONUS): 42 FEET BUILDING HEIGHT:

PROVIDED (WITH STRUCTURED PARKING): 40 FEET

BUILDING FOOTPRINT: 25,784 SF

PARKING:

P.E. #7868

SETBACKS:

REQUIRED (UC-MS-PT): HOTEL = 2 SPACES/3 ROOMS = 74 SPACES

> BAR = 5/1,000 SF = 9 SPACESRESTAURANT = 3.5/1.000 SF = 15 SPACES

TOTAL REQUIRED: 98 SPACES

LESS TRANSIT REDUCTION* @ 40% -39 SPACES TOTAL (AFTER REDUCTIONS) 59 SPACES

3 SPACES

*5-5(C)(5)(D) 1 AND 2

PROVIDED: PARKING STRUCTURE: 73 SPACES

ALLEY SPACES: 18 SPACES

TOTAL 91 SPACES

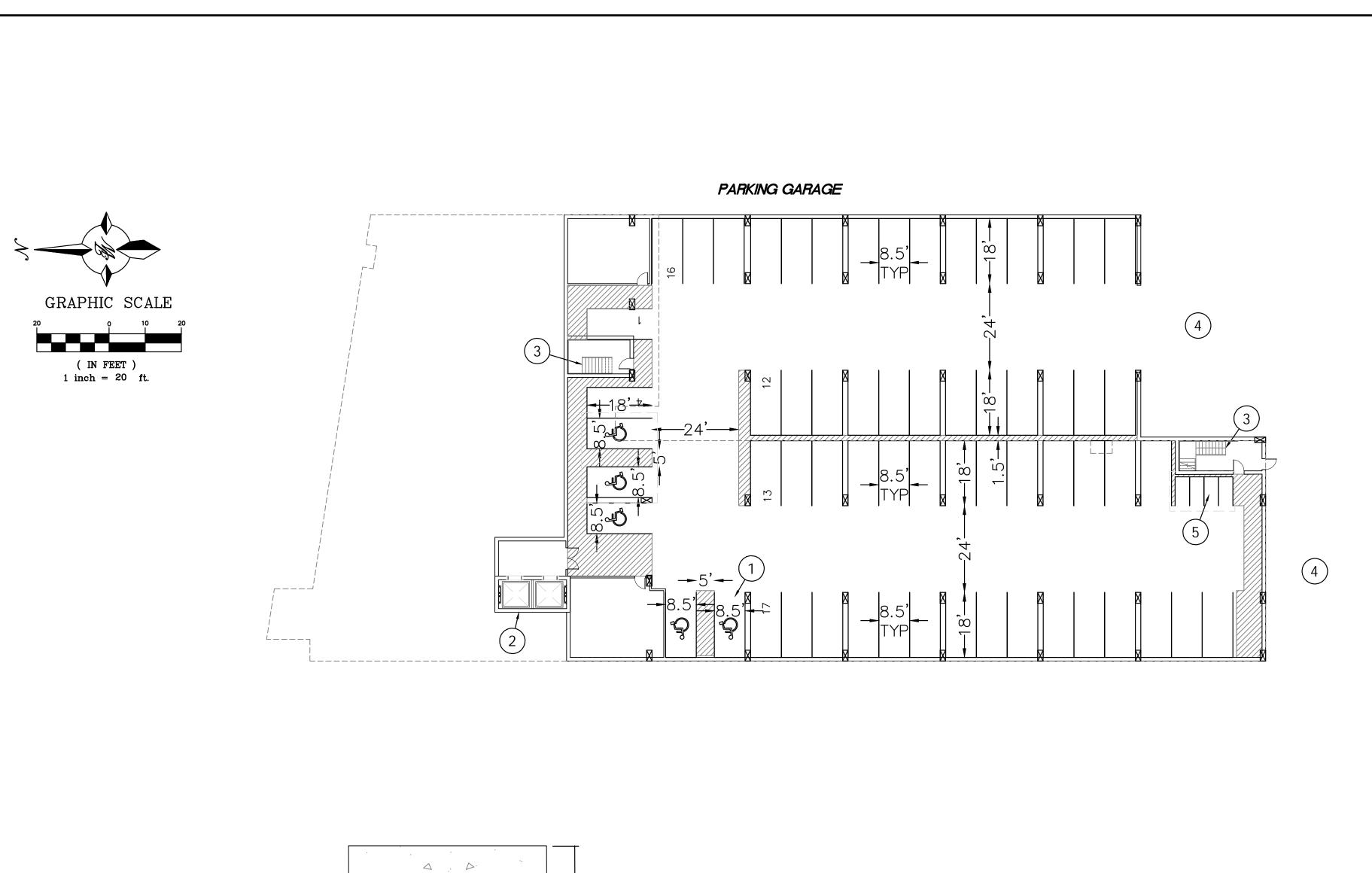
MOTORCYCLE SPACES REQUIRED MOTORCYCLE SPACES PROVIDED 4 SPACES IN GARAGE

3 SPACES BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED 3 SPACES

ENGINEER'S 3200 CENTRAL AVE SE DRAWN BY SEAL pm ALBUQUERQUE, NM DATE 1-13-25 TRAFFIC CIRCULATION MEX DRAWING **PLAN** (7868) SHEET # TOS/ONAL EN TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 1-13-25 (505) 858-3100 JOB # RONALD R. BOHANNAN www.tierrawestllc.com

2024042





----- BUILDING

STRIPED AREA

VICINITY MAP

KEYED NOTES

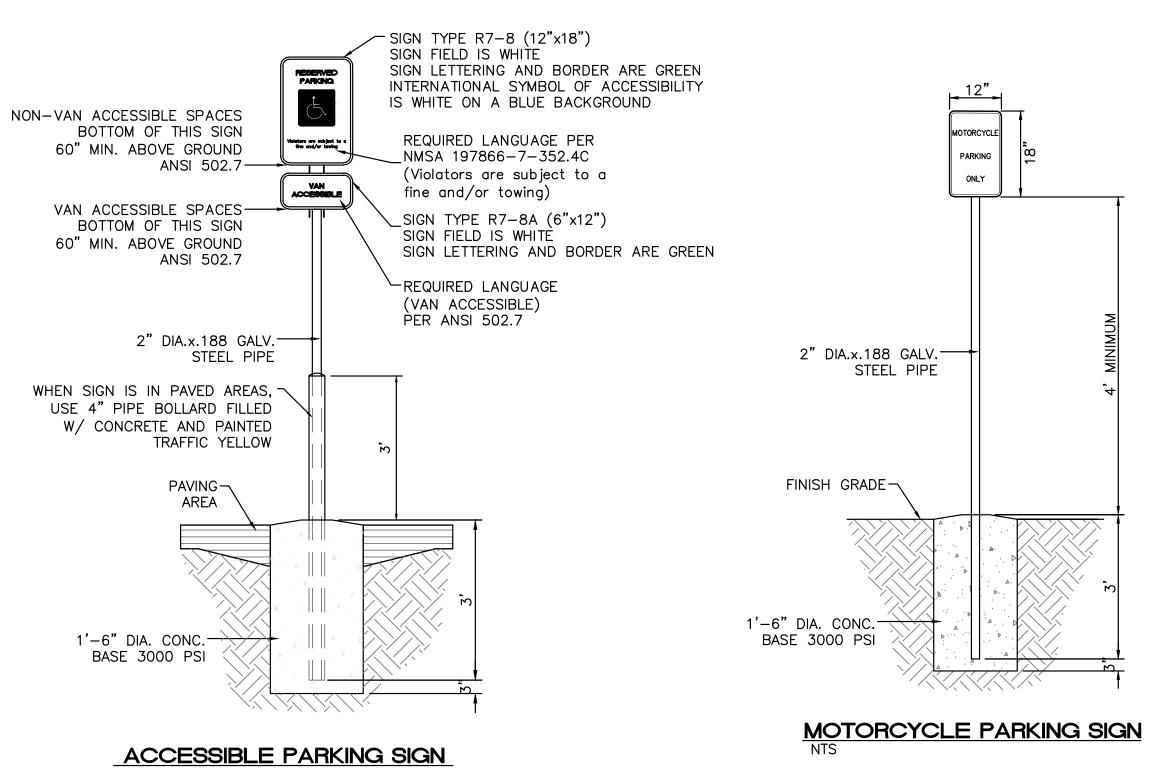
1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (TYP.)

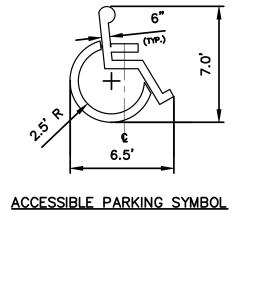
2 ELEVATOR

3 STAIRS

4 SEE TCL-1 FOR ADJACENT PARKING/GARAGE ACCESS RAMPS
5 4'X8' MOTORCYCLE SPACES

LEGAL DESCRIPTION LOTS 1-9 UNIVERSITY HEIGHTS





ENGINEER'S SEAL	3200 CENTRAL AVE SE ALBUQUERQUE, NM	<i>DRAWN BY</i> pm
DR. BOH	ALBOQUENQUE, NIVI	DATE
$\left \left($	TRAFFIC CIRCULATION	1-13-25
	PLAN	DRAWING
PROPERTY OF THE PROPERTY OF TH		SHEET #
1-13-25	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	TCL-2
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	<i>JOB #</i> 2024042

PRODUCT: U238-IG(SF)
DESCRIPTION: 'U' BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

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☐ IN GROUND MOUNT (IG)

21 7/8

NUTES;
INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
SEACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

□ SURFACE FLANGE MOUNT (SF)

2.0 2.0

PLAN VIEW

Ø 2 3/8" STEEL TUBING——

CHECK DESIRED MOUNT

MADRAX DIVISION

GRABER MANUFACTURING, INC.

CONCRETE

HANDER MAINT ACTIONNY, INC.

1080 UNIEK DRIVE
WAUNAKEE, WI 53597
P(800) 448-7931, P(608) 849-1080, F(608) 849-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

GRADE

BIKE RACK DETAIL SCALE: NONE