

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

January 13, 2025

Vincent Carrica, PE,  
Tierra West LLC  
5571 Midway Park PL NE,  
Albuquerque, NM 87109

**Re: HIWAY HOUSE  
3200 CENTRAL AVE SE,  
ALBUQUERQUE NM 87106  
Conceptual Traffic Circulation Layout-DFT  
Engineer's/Architect's Stamp 01-13-25 (K16D055)**

Dear Mr. Carrica,

The conceptual TCL submittal received 01-08-25 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **An approved traffic scoping form is required before a full traffic circulation layout approval.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

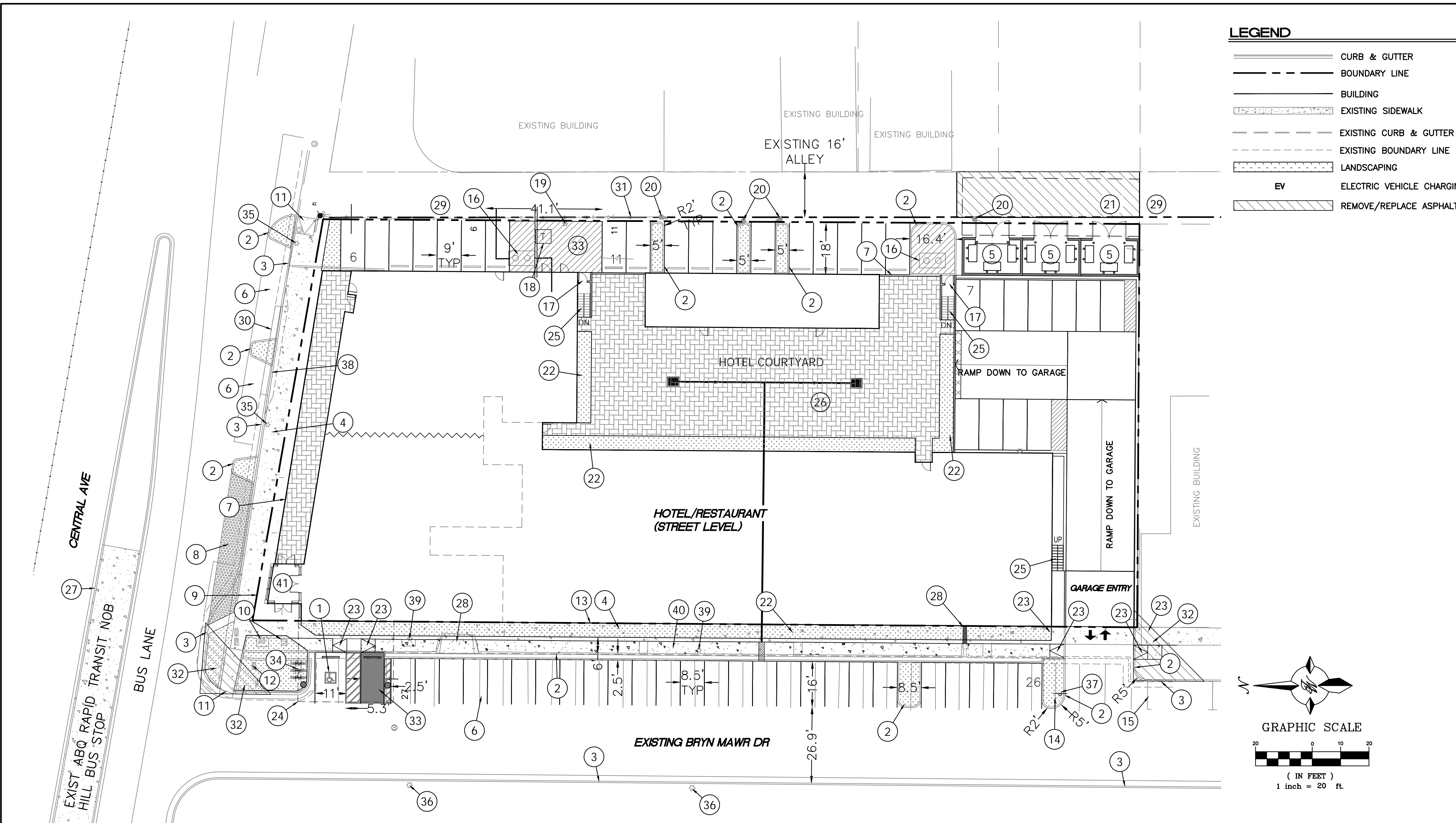
Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_

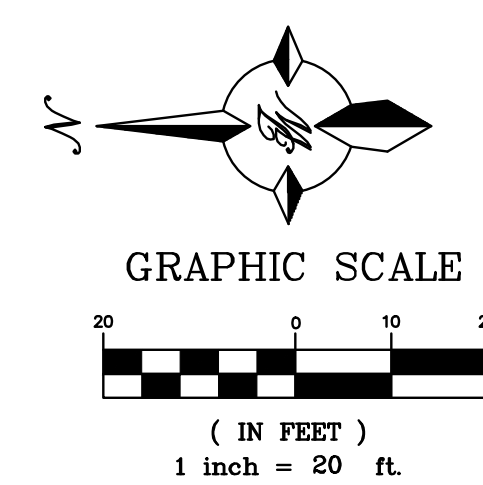




**LEGAL DESCRIPTION**  
LOTS 1-9 UNIVERSITY HEIGHTS

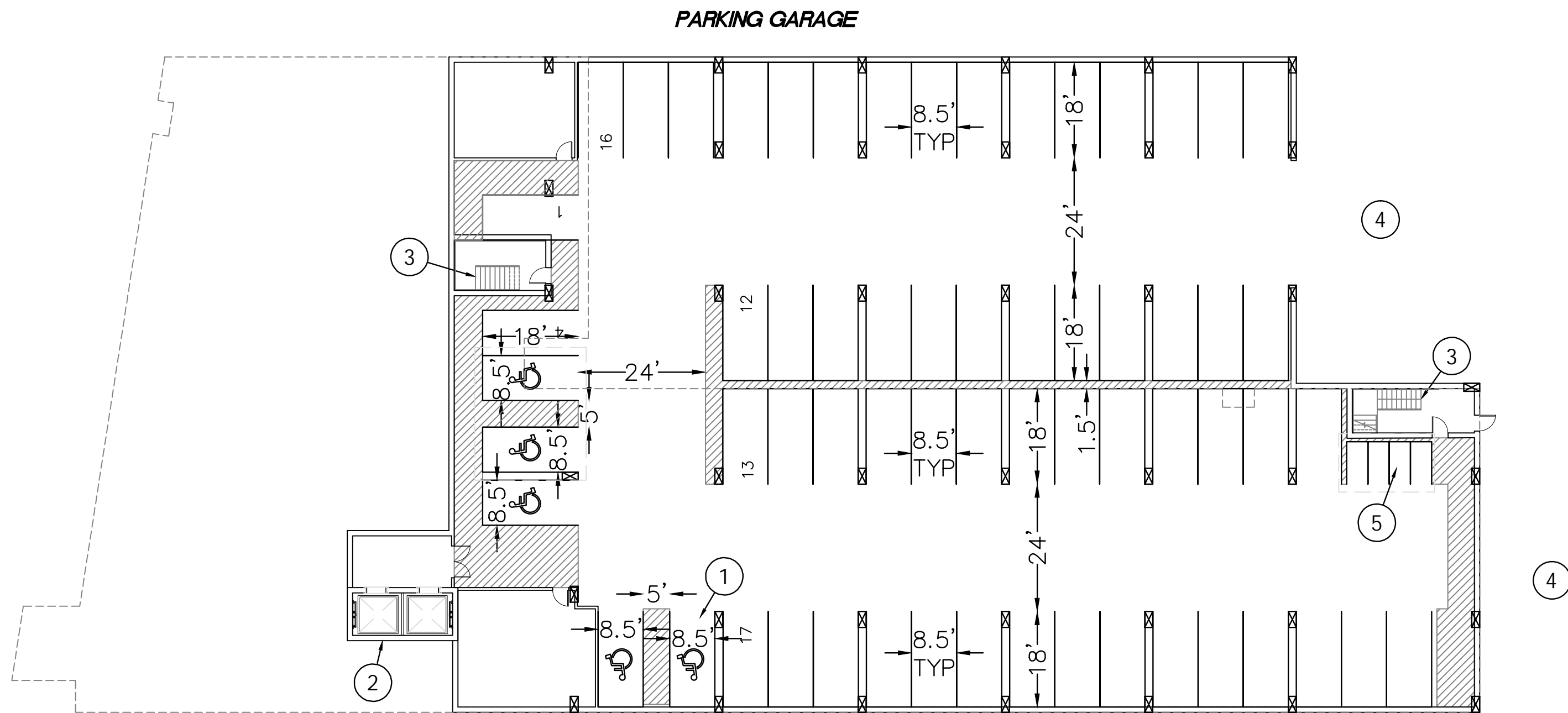
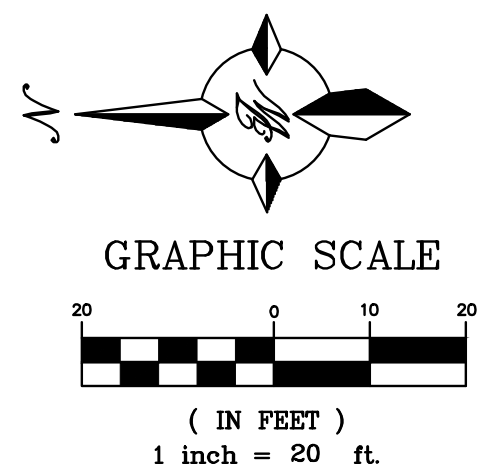
### SITE DATA

USE:	MIXED USE - HOTEL (112 ROOMS), BAR, AND RESTAURANT
ZONING:	MX-M
OVERLAY:	NOB HILL/HIGHLAND CPO-8
CENTERS AND CORRIDORS:	MAIN STREET AND MAJOR TRANSIT - CENTRAL AVENUE
PREMIUM TRANSIT STATION:	NOB HILL ART STATION
TRANSIT:	ROUTES 66, 16, 766, AND 777
BICYCLE FACILITIES:	SILVER AVENUE BICYCLE BOULEVARD
LEGAL DESCRIPTION:	LOTS 1 - 5, BLOCK 41 UNIVERSITY HEIGHTS ADDITION AND LOT 1, BLOCK 3 MONTE VISTA ADDITION
NET SITE AREA:	42,571 SF (1.08 ACRES)
ZONE ATLAS PAGE:	K-16
SETBACKS:	FRONT: 0 FEET MINIMUM, 15 FOOT MAXIMUM SIDE: 0 FEET MINIMUM, 15 FOOT MAXIMUM STREET SIDE: 0 FEET MINIMUM, 15 FOOT MAXIMUM REAR: 0 FEET
BUILDING HEIGHT:	ALLOWED (WITH STRUCTURED PARKING BONUS): 42 FEET PROVIDED (WITH STRUCTURED PARKING): 40 FEET
BUILDING FOOTPRINT:	25,784 SF
PARKING:	REQUIRED (UC-MS-PT): HOTEL = 2 SPACES/3 ROOMS = 74 SPACES BAR = 5/1,000 SF = 9 SPACES RESTAURANT = 3.5/1,000 SF = 15 SPACES TOTAL REQUIRED: 98 SPACES LESS TRANSIT REDUCTION* @ 40% -39 SPACES TOTAL (AFTER REDUCTIONS) 59 SPACES
*5-5(C)(5)(D) 1 AND 2	
PROVIDED:	PARKING STRUCTURE: 73 SPACES ALLEY SPACES: 18 SPACES TOTAL 91 SPACES
MOTORCYCLE SPACES REQUIRED	3 SPACES
MOTORCYCLE SPACES PROVIDED	4 SPACES IN GARAGE
BICYCLE SPACES REQUIRED	3 SPACES
BICYCLE SPACES PROVIDED	3 SPACES



	<b>3200 CENTRAL AVE SE ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>TRAFFIC CIRCULATION PLAN</b>	DATE 1-13-25
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
SHEET # <b>TCL-1</b>		JOB # 2024042





LEGEND

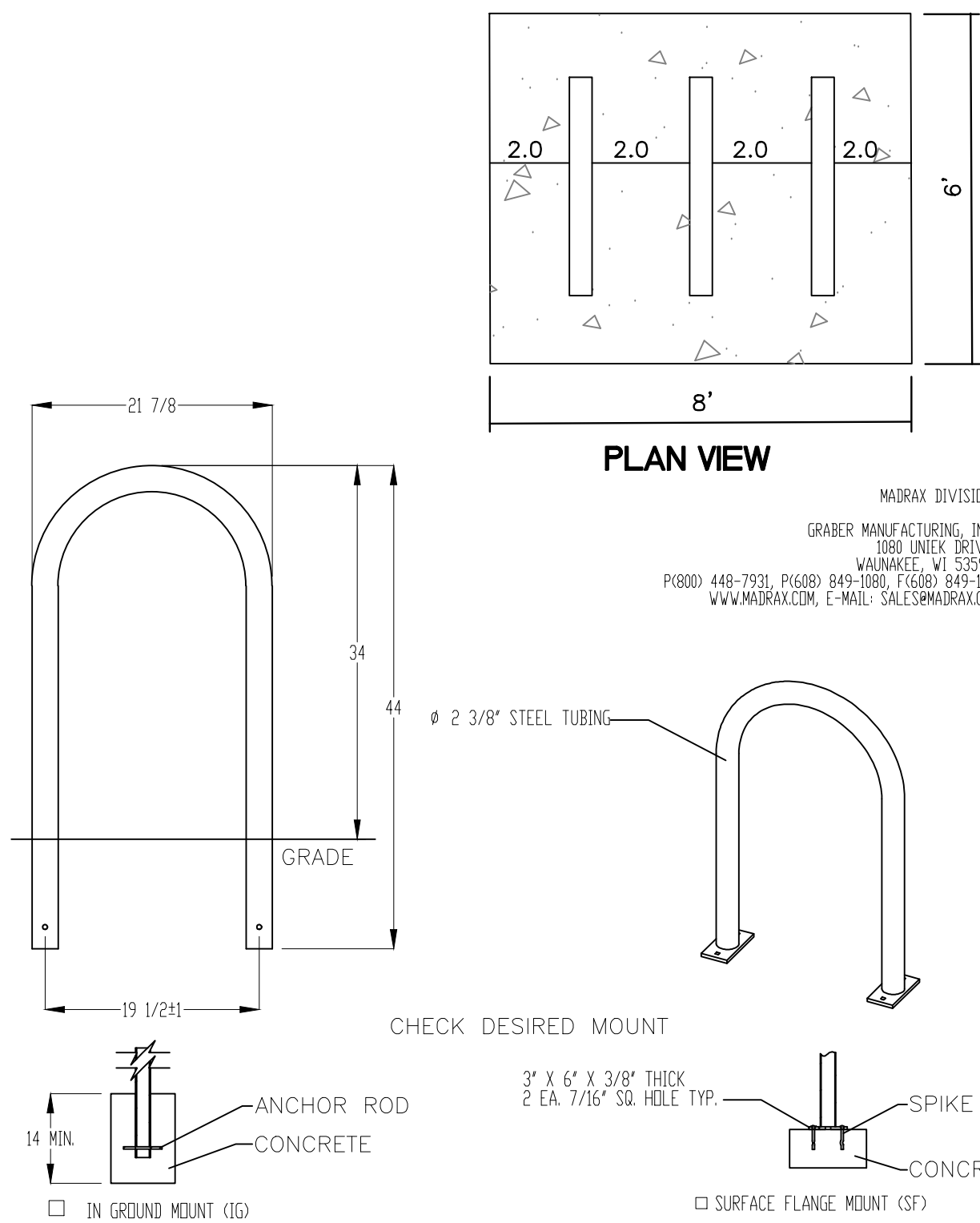
- BUILDING  
▨ STRIPED AREA

KEYED NOTES

- ① ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (TYP.)  
② ELEVATOR  
③ STAIRS  
④ SEE TCL-1 FOR ADJACENT PARKING/GARAGE ACCESS RAMPS  
⑤ 4'X8' MOTORCYCLE SPACES



LEGAL DESCRIPTION  
LOTS 1-9 UNIVERSITY HEIGHTS

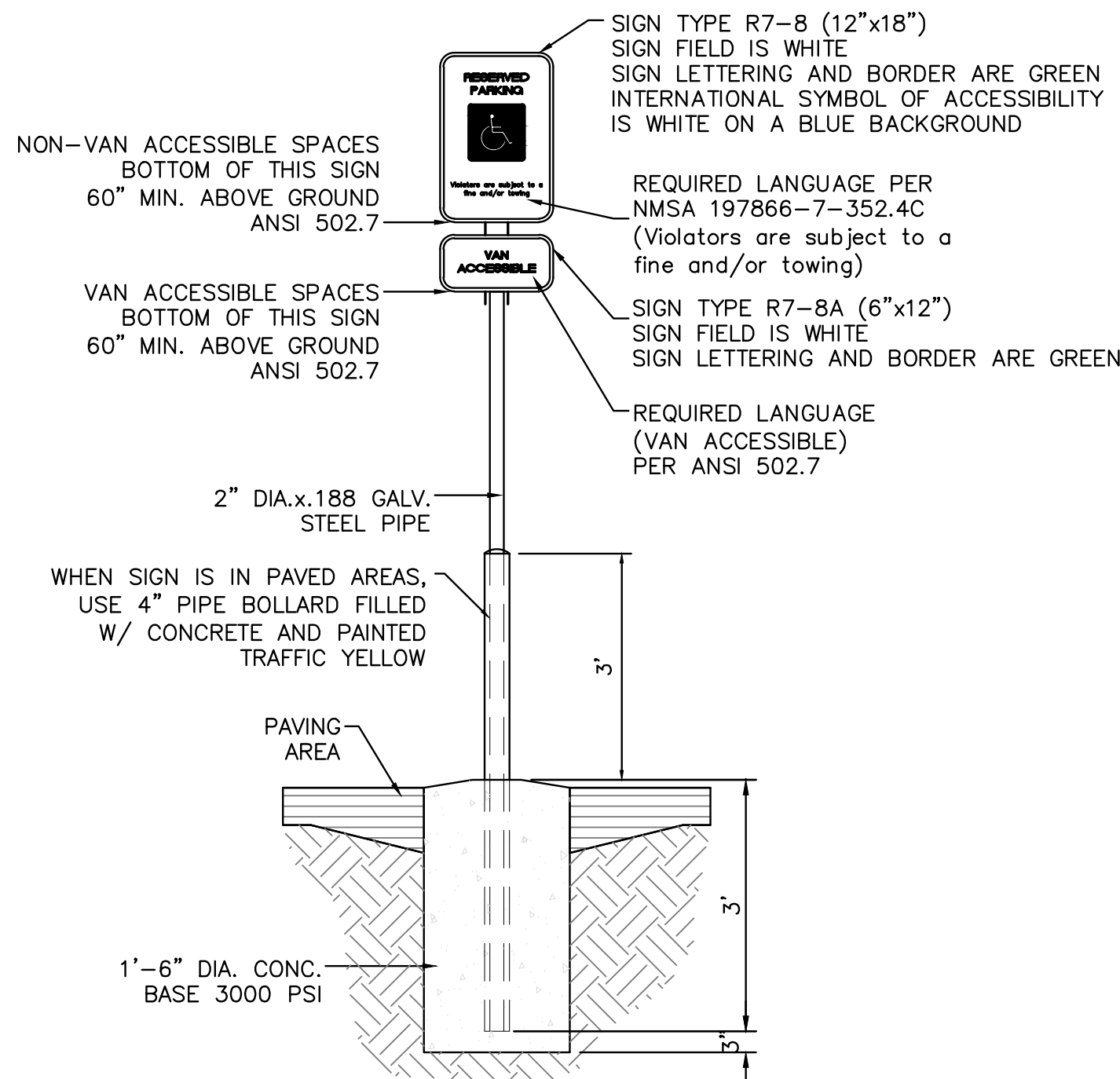


PRODUCT: 1238-1G(S)  
DESCRIPTION: "U" BIKE RACK  
DATE: 10-4-18  
ENG: SMC  
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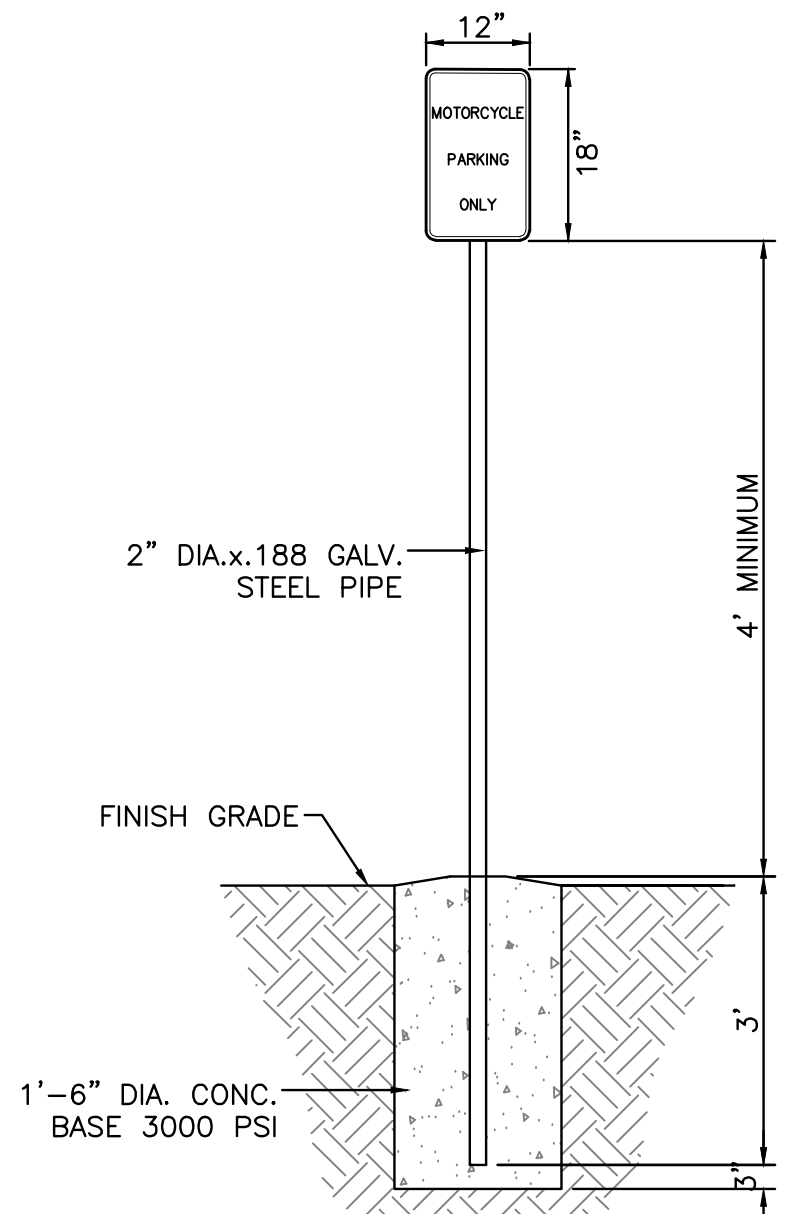
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BIKE RACK DETAIL  
SCALE: NONE

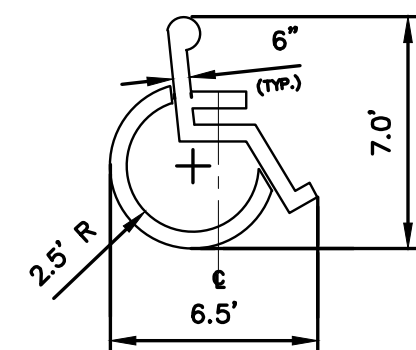
- NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OF CONSULTANT DWG.  
4. BIKE RACK SHALL HAVE A 4-FOOT CLEAR ZONE ALL AROUND.  
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



ACCESSIBLE PARKING SIGN  
NTS



MOTORCYCLE PARKING SIGN  
NTS



ACCESSIBLE PARKING SYMBOL

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN</p> <p>NEW MEXICO</p> <p>7868</p> <p>PROFESSIONAL ENGINEER</p> <p>1-13-25</p> <p>RONALD R. BOHANNAN</p> <p>P.E. #7868</p>	<p>3200 CENTRAL AVE SE</p> <p>ALBUQUERQUE, NM</p>	<p>DRAWN BY</p> <p>pm</p>
	<p>TRAFFIC CIRCULATION</p> <p>PLAN</p>	<p>DATE</p> <p>1-13-25</p>
	<p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL. NE</p> <p>ALBUQUERQUE, NEW MEXICO 87109</p> <p>(505) 858-3100</p> <p>www.tierrawestllc.com</p>	<p>DRAWING</p>
		<p>SHEET #</p> <p>TCL-2</p>
		<p>JOB #</p> <p>2024042</p>