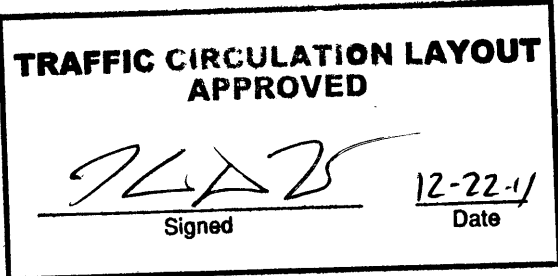
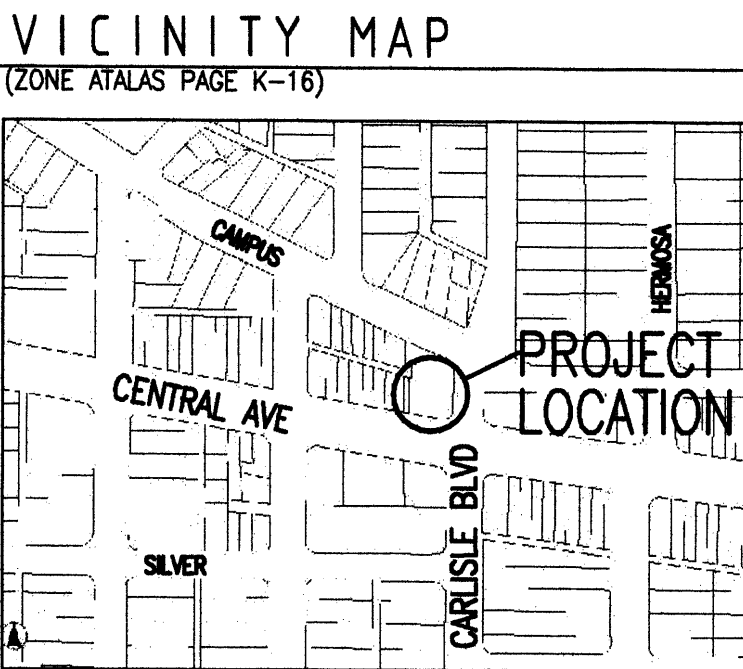


3523 CENTRAL AVENUE NE



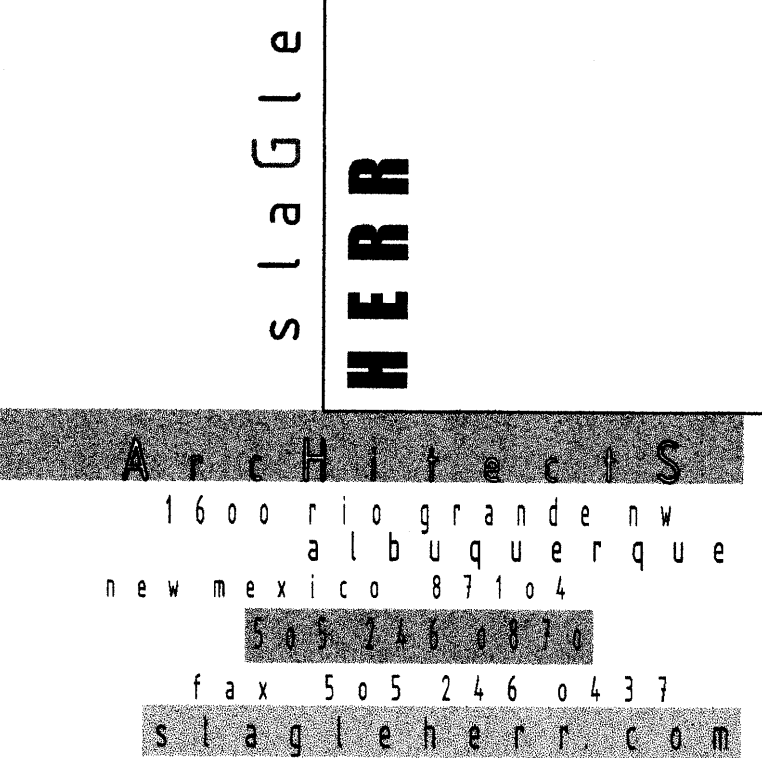
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

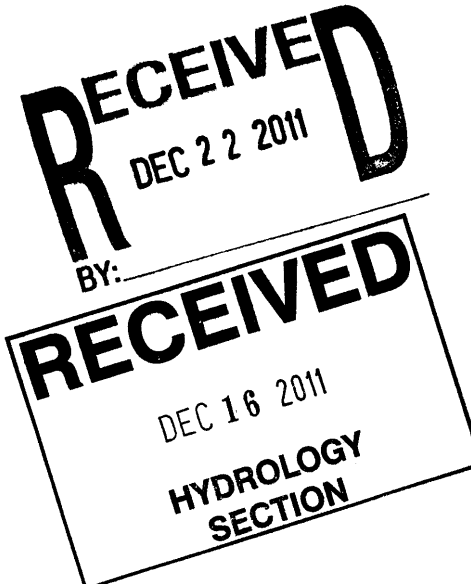
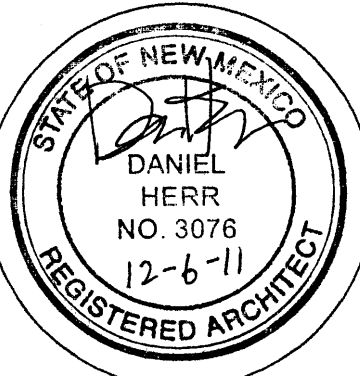


PROJECT DATA	
ADDRESS:	3523 CENTRAL AVENUE NE
LEGAL DESCRIPTION:	THE SOUTHERLY PORTION OF LOT 10, AND ALL OF LOTS 11 AND 12, BLOCK 4, MONTE VISTA ADDITION.
UPC NO.:	101605750528810706
OWNER:	CARLSLE & CENTRAL LLC 3523 CENTRAL AVE NE
ZONING:	CCR-1 NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN EXISTING STRUCTURE DESIGNATED AS "CHARACTERISTIC BUILDING"
LOT AREA:	8,214 S.F.
PARKING SPACES REQUIRED:	ZERO SPACES PER THE NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN, FOR PROPERTIES ZONED CCR-1: *COMMERCIAL USES 3,000 SQUARE FEET OR LESS IN SIZE ARE EXEMPT FROM PARKING REQUIREMENTS.
BUILDING AREA:	2,897 S.F.

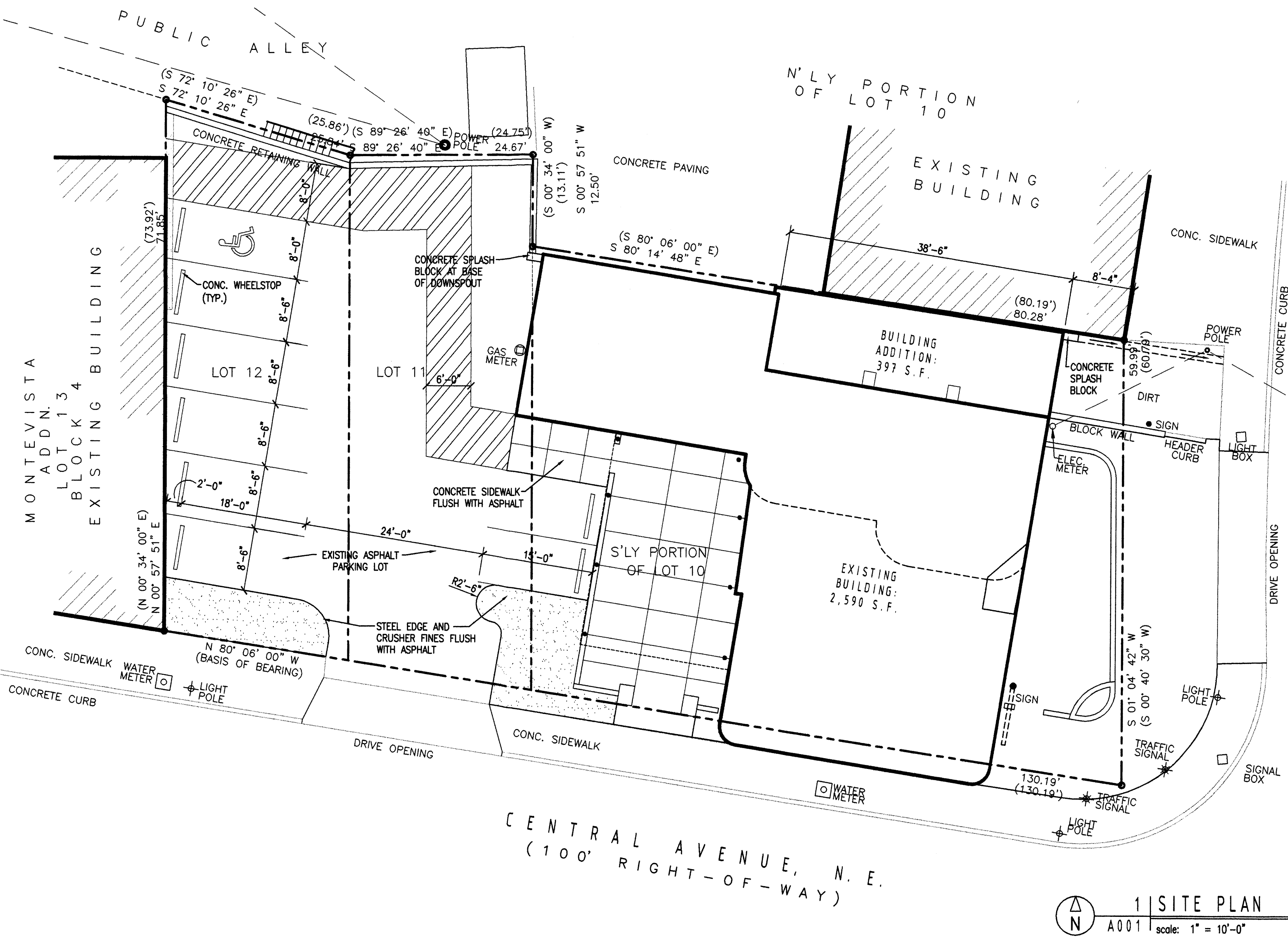
REMODEL AND ADDITION 3523 CENTRAL AVENUE NE Albuquerque NM



SITE PLAN AND PROJECT DATA



date:
12/6/11
sheet:
A001



OWNERSHIP OF DOCUMENTS:

ARCHITECTURAL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT. THESE PLANS WERE DEVELOPED FOR USE ONLY IN AND FOR THE SPECIFIC PROJECT. NO PERMISSION, EXPRESS OR IMPLIED IS GIVEN OR GRANTED BY THE ARCHITECT FOR THE USE OR APPLICATION OF THESE PLANS FOR ANY OTHER PROJECT, ANY OTHER PURPOSE, OR ANY OTHER LOCATION, AND THE ARCHITECT SPECIFICALLY DISCLAIMS AND DENIES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR THE USE OR APPLICATION OF THE PLANS, INCLUDING MODIFICATIONS, CHANGES, AND AMENDMENTS, THERETO, FOR ANY OTHER PROJECT OR LOCATION EXCEPTING THAT SPECIFIC PROJECT AND THAT SPECIFIC LOCATION IDENTIFIED IN THE PLANS. THE ARCHITECT SPECIFICALLY CLAIMS A RIGHT OF INDEMNIFICATION AGAINST ANY AND ALL CLAIMS WHICH MAY BE RAISED OR ASSERTED AGAINST THE ARCHITECT AS A RESULT OF SUCH UNAUTHORIZED USE OR APPLICATION.

CONSULTANT DRAWINGS:

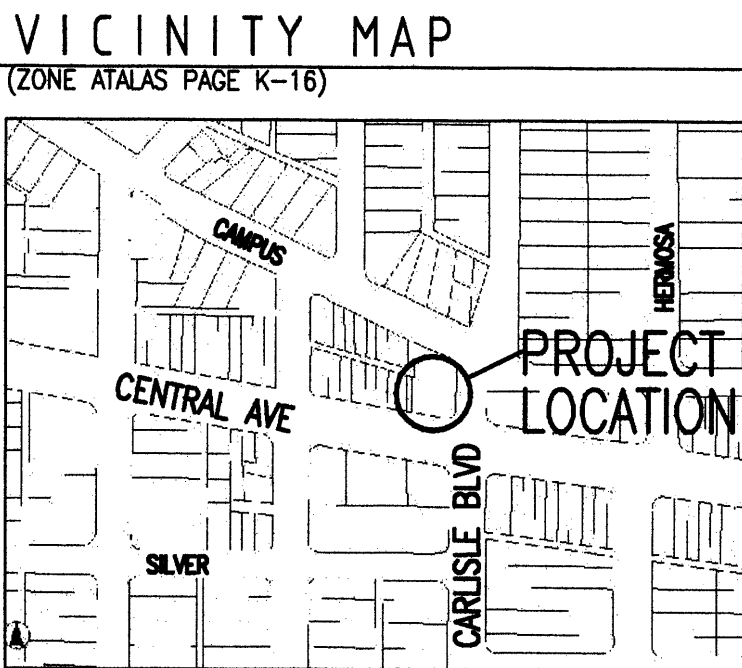
CONSULTANTS AND/OR ENGINEERS DRAWINGS ARE INCLUDED HEREIN. THESE DOCUMENTS HAVE BEEN FURNISHED TO THE ARCHITECT BY THE CONSULTANTS/ENGINEERS. IN THAT THESE DRAWINGS HAVE BEEN PREPARED BY OTHERS, WITHOUT SUPERVISION OF THE ARCHITECT, THE ARCHITECT CANNOT AND DOES NOT WARRANT THEIR ACCURACY. WHILE INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BELIEVED TO BE RELIABLE, SLAGLEHERR ARCHITECTS CANNOT ASSURE THEIR ACCURACY OR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THEM. INCLUSION OF ALL DRAWINGS WITHIN ONE SET IS FOR THE PURPOSE OF COORDINATION BY THE DESIGN/BUILDER AND HIS SUBCONTRACTORS ONLY.

GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND ANY OTHER TRADE OR SYSTEM PLANS WITH ARCHITECTURAL PLANS FOR ROUTING, BLOCKOUTS, STUBS, BLOCKING, ETC. FOR EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS, ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- IF ANY CONFLICTS IN THE CONSTRUCTION ARISE, THE LARGER SCALE DETAIL TAKES PRECEDENCE AND SPECIFICATIONS, IF INCLUDED, GOVERN OVER ANY DRAWING.

3523 CENTRAL AVENUE NE

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____ Date 12-22-11



PROJECT DATA

ADDRESS: 3523 CENTRAL AVENUE NE
LEGAL DESCRIPTION: THE SOUTHERLY PORTION OF LOT 10, AND ALL OF LOTS 11 AND 12, BLOCK 4, MONTE VISTA ADDITION.
UPC NO.: 101605750526810706
OWNER: CARLISLE & CENTRAL LLC
3523 CENTRAL AVE NE
ZONING: COR-1 NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN
EXISTING STRUCTURE DESIGNATED AS "CHARACTERISTIC BUILDING"
LOT AREA: 8,214 S.F.
PARKING SPACES REQUIRED: ZERO SPACES
PER THE NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN, FOR PROPERTIES ZONED COR-1:
COMMERCIAL USES 3,000 SQUARE FEET OR LESS IN SIZE ARE EXEMPT FROM PARKING REQUIREMENTS.
BUILDING AREA: 2,897 S.F.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

REMODEL AND ADDITION
3523 CENTRAL AVENUE NE
Albuquerque NM

SLAGLE
HERR
ARCHITECTS

1600 rio grande nw
albuquerque
new mexico 87104
505.746.8314
fax 505.246.0437
slagleherr.com

SITE PLAN AND PROJECT
DATA



revisions:

RECEIVED
DEC 16 2011
HYDROLOGY
SECTION

date:
12/6/11
sheet:
A001

OWNERSHIP OF DOCUMENTS:

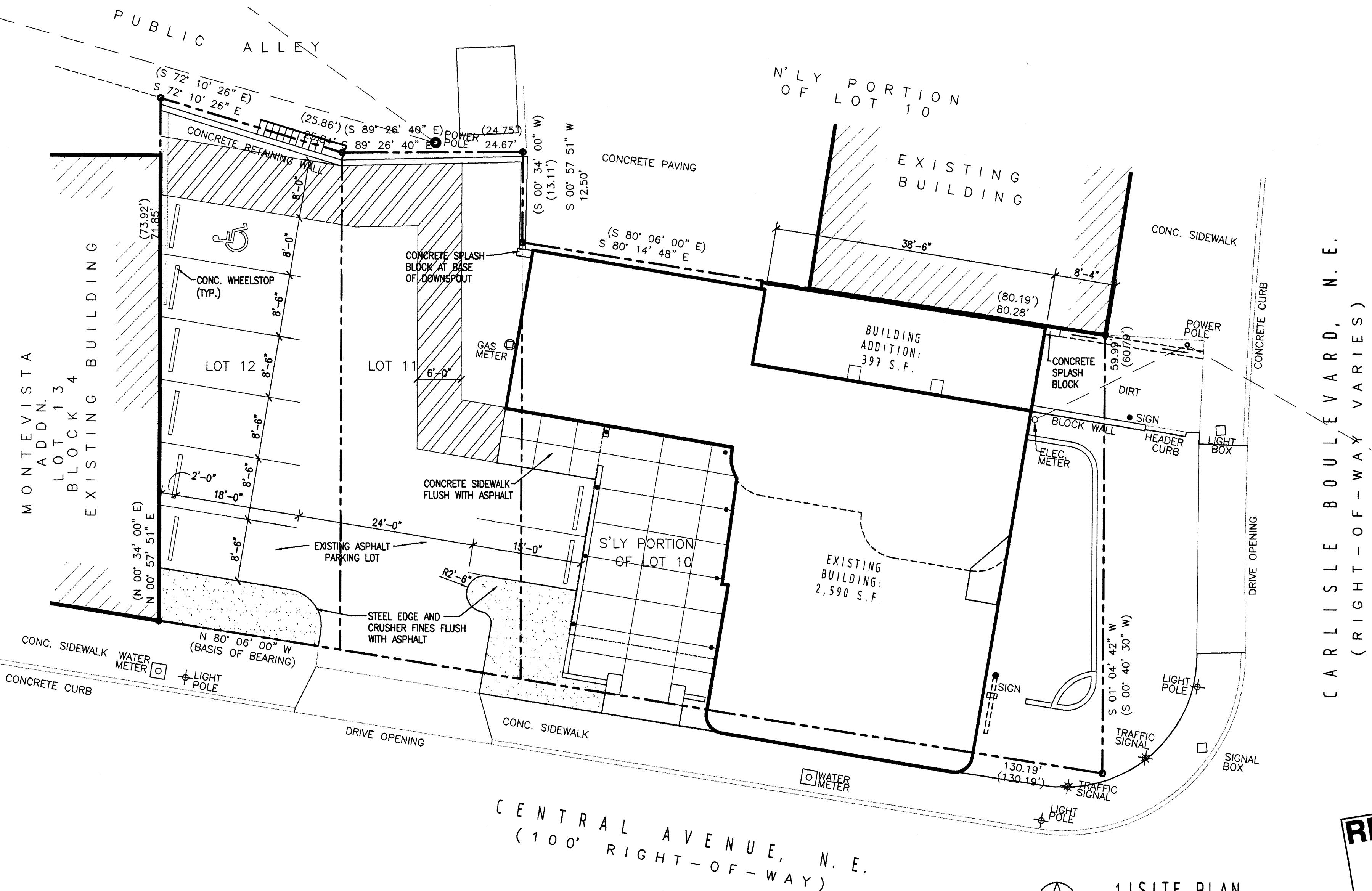
ARCHITECTURAL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT. THESE PLANS WERE DEVELOPED FOR USE ONLY IN AND FOR THE SPECIFIC PROJECT. NO PERMISSION, EXPRESS OR IMPLIED IS GIVEN OR GRANTED BY THE ARCHITECT FOR THE USE OR APPLICATION OF THESE PLANS FOR ANY OTHER PROJECT, ANY OTHER PURPOSE, OR ANY OTHER LOCATION, AND THE ARCHITECT SPECIFICALLY DISCLAIMS AND DENIES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR THE USE OR APPLICATION OF THE PLANS, INCLUDING MODIFICATIONS, CHANGES, AND AMENDMENTS, THERETO, FOR ANY OTHER PROJECT OR LOCATION EXCEPTING THAT SPECIFIC PROJECT AND THAT SPECIFIC LOCATION IDENTIFIED IN THE PLANS. THE ARCHITECT SPECIFICALLY CLAIMS A RIGHT OF INDEMNIFICATION AGAINST ANY AND ALL CLAIMS WHICH MAY BE RAISED OR ASSERTED AGAINST THE ARCHITECT AS A RESULT OF SUCH UNAUTHORIZED USE OR APPLICATION.

CONSULTANT DRAWINGS:

CONSULTANTS AND/OR ENGINEERS DRAWINGS ARE INCLUDED HEREIN. THESE DOCUMENTS HAVE BEEN FURNISHED TO THE ARCHITECT BY THE CONSULTANTS/ENGINEERS. IN THAT THESE DRAWINGS HAVE BEEN PREPARED BY OTHERS, WITHOUT SUPERVISION OF THE ARCHITECT, THE ARCHITECT CANNOT AND DOES NOT WARRANT THEIR ACCURACY. WHILE INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BELIEVED TO BE RELIABLE, SLAGLEHERR ARCHITECTS CANNOT ASSURE THEIR ACCURACY OR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THEM. INCLUSION OF ALL DRAWINGS WITHIN ONE SET IS FOR THE PURPOSE OF COORDINATION BY THE DESIGN/BUILDER AND HIS SUBCONTRACTORS ONLY.

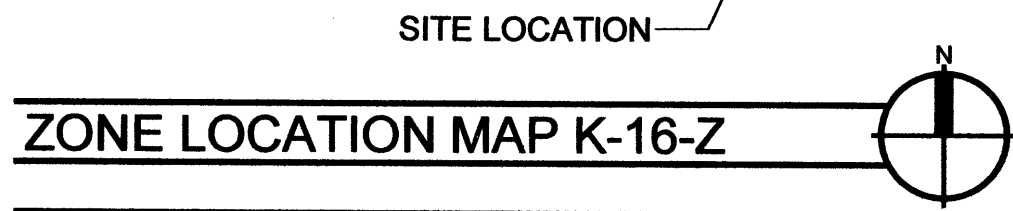
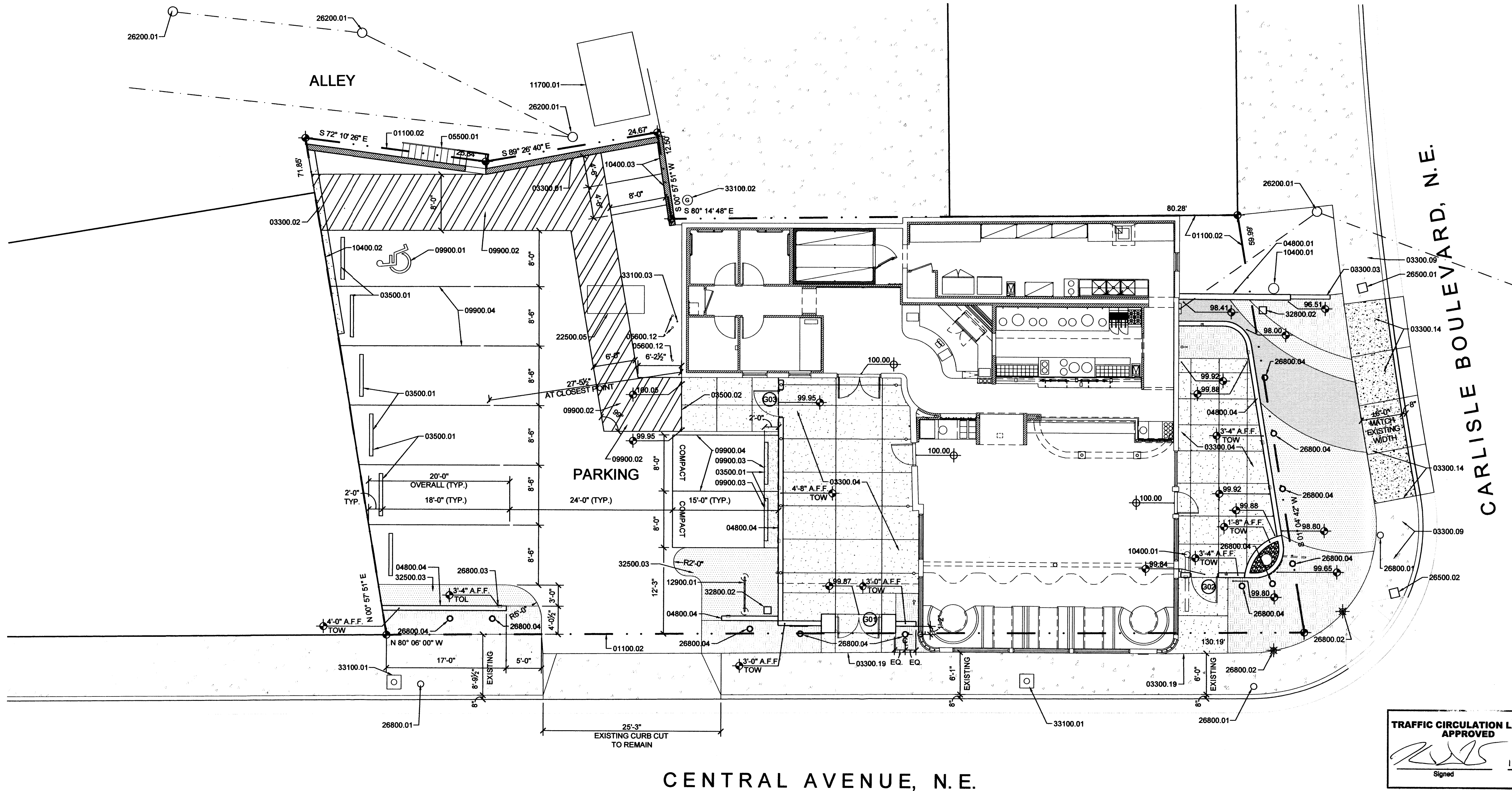
GENERAL NOTES:

CONTRACTOR SHALL COORDINATE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND ANY OTHER TRADE OR SYSTEM PLANS WITH ARCHITECTURAL PLANS FOR ROUTING, BLOCKOUTS, STUBS, BLOCKING, ETC. FOR EQUIPMENT.
THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO CONSTRUCTION.
THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS, ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
IF ANY CONFLICTS IN THE CONSTRUCTION ARISE, THE LARGER SCALE DETAIL TAKES PRECEDENCE AND SPECIFICATIONS, IF INCLUDED, GOVERN OVER ANY DRAWING.



CENTRAL AVENUE, N. E.
(100' RIGHT-OF-WAY)

1 SITE PLAN
A001 scale: 1" = 10'-0"



PROJECT DESCRIPTION

TENANT DEVELOPMENT OF EXISTING BUILDING: THE WORK FOR THIS PROJECT INCLUDES THE INTERIOR RENOVATION OF AN EXISTING RESTAURANT / BAR SPACE INTO ANOTHER RESTAURANT. WORK ON THE BUILDING SHELL AND BUILDING ADDITION IS PERMITTED UNDER A SEPARATE BUILDING PERMIT (PERMIT # T201091654). THE BUILDING SHELL PERMIT SHALL INCLUDE THE NEW ADDITION, INTERIOR STRUCTURAL MODIFICATIONS, RE-ROOFING, EXTERIOR GLAZING, AND EXTERIOR STUCCO IMPROVEMENTS. THIS TENANT DEVELOPMENT IS FOR INTERIOR FINISHES OF THE SPACE, NEW ELECTRICAL SYSTEM, NEW HVAC, PLUMBING SYSTEMS.

HISTORIC BUILDING CONDITIONS

THIS BUILDING / PROPERTY IS NOT LISTED ON THE STATE OR NATIONAL HISTORIC REGISTER. IT IS DESIGNATED AS A CHARACTERISTIC BUILDING WITHIN THE NOB HILL PLAN AREA. THE NEW PATIO PORTAL IS DESIGNED TO RESPECT THE ORIGINAL ARCHITECTURE OF THE BUILDING. THE ROOF STRUCTURE IS REPRESENTATIVE OF THE INTERNATIONAL STYLE.

THE EXISTING BUILDING HAS HAD SEVERAL ADDITIONS. THE ORIGINAL BUILDING APPEARS TO BE MASONRY CONSTRUCTION WITH SOME CAST-IN-PLACE CONCRETE BEAMS. CEMENT PLASTER IS OVER THE MASONRY. THE ROOF SYSTEM IS WOOD. THE FLOOR IS CONCRETE SLAB ON GRADE. THE ADDITIONS APPEAR TO BE WOOD FRAMING AND SOME MASONRY WITH CEMENT PLASTER FINISHES.

SITE DATA

ADDRESS: 3523 CENTRAL AVE. N.E.
ALBUQUERQUE NM

ZONE ATLAS PAGE: K-16-Z
ZONING: CCR-1
BENCHMARK: City of Albuquerque Control Station 6, K17 located in the East median at the intersection of Carlisle Blvd. and Central Avenue. NAVD 1988 Elevation 5202.273
LEGAL DESCRIPTION: THE SOUTHERLY PORTION OF LOT 10. AND ALL OF LOTS 11 AND 12 BLOCK 4, MONTE VISTA ADDITION WITHIN SECTION 22, T. 10 N., R. 3 E., N.M.P.M. ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

UPC No.: 101605750526810706

LOT AREA: 0.18859 AC, 8214 SF.

PARKING REQUIREMENTS

1 SPACE / PER 4 SEATS
134 = 34 PARKING SPACES

BECAUSE THE BUILDING WAS CONSTRUCTED PRIOR TO 1965, THE PROJECT SHALL SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

THEREFORE, THE FOLLOWING PROVIDED PARKING IS ACCEPTABLE:

- 5 FULL SIZE PARKING SPACES
- 1 HANDICAPPED PARKING SPACE
- 2 COMPACT SIZE PARKING SPACES
- 2 MOTORCYCLE PARKING SPACES
- 5 BICYCLE PARKING SPACES

BUILDING CODE DATA:

BASED ON:

- INTERNATIONAL BUILDING CODE 2006
- UNIFORM BUILDING CODE FOR CONSTRUCTION 2006
- NEW MEXICO BUILDING CODE 2004
- CITY OF ALBUQUERQUE UNIFORM ADMINISTRATIVE CODE 1999

OCCUPANCY CLASSIFICATION (SEC. 303): GROUP A-2.

TYPE OF CONSTRUCTION: TYPE VB.

EXISTING BUILDING SIZE: 2,987 GROSS SF

ALLOWABLE HEIGHT AND BUILDING AREAS (TABLE 503):

GROUP A-2 / TYPE VB: 6,000 SF

BUILDING: 6,000 SF > 2,987 SF : THEREFORE, OK

INTERIOR WALL AND CEILING FINISH REQUIREMENTS (TABLE 803.5): GROUP A-2: CLASS A

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lee@gamsm.com

STATE OF NEW MEXICO

LEE D. GAMESKY

No. 1931

REGISTERED ARCHITECT

CHOWS - NOB HILL
3523 CENTRAL AVENUE, N.E.
Albuquerque, New Mexico 87106

PROJECT ARCHITECT: LEE GAMESKY, AIA

Project #: 10-01-P
Date: 05 AUGUST 2010

TRAFFIC CIRCULATION SITE PLAN

By: SMO
File: CHOWS_AS-103_TRAFFIC SITEPLAN.DWG

Sheet: Of:
AS-103

A1 SITE PLAN
1/8" = 1'-0"

LEGEND

- XX.XX INDICATES NEW ELEVATION DATUM
- X'-XX" A.F.F. TOW = TOP OF NEW WALL ABOVE FINISH FLOOR
- X'-XX" A.F.F. TOL = TOP OF LIGHT FIXTURE ABOVE FINISH FLOOR

KEYED NOTES

01100.02 DASHED LINE INDICATES PROPERTY LINE.

03300.01 EXISTING CAST-IN-PLACE CONCRETE RETAINING WALL.

03300.02 EXISTING CONCRETE CURB.

03300.03 EXISTING CONCRETE HEADER CURB.

03300.04 4" THICK REINFORCED CONCRETE SLAB, REINFORCE WITH 6X6- 10/10 WWM. FLAT SHEETS ONLY. 3000 PSI CONCRETE MIN.

03300.09 EXISTING CONCRETE SIDEWALK IN THE RIGHT OF WAY.

03300.14 HATCHED AREA INDICATES REMOVE EXISTING CONCRETE DRIVEWAY/ CURB AND GUTTER. INSTALL A NEW CONCRETE SIDEWALK, AND CURB AND GUTTER. CONSTRUCT PER C.O.A. DWGS NO. 2415 (STANDARD) AND 2430.

03300.19 MATCH NEW CONCRETE SLAB WITH TOP OF EXISTING CONCRETE SIDEWALK.

03500.01 NEW 6'-6" LONG CONCRETE WHEELSTOP. ANCHOR TO PAVEMENT WITH 18" LONG, NO. 4 REBAR.

03500.02 ALIGN / FLUSHOUT TOP OF CONCRETE WITH TOP OF ASPHALT.

04800.01 EXISTING MASONRY BLOCK WALL.

04800.04 8 X 8 X 16 CMU BLOCK WALL. GROUT ALL CELLS SOLID.

05500.01 EXISTING STEEL STAIR TO ALLEYWAY.

05600.12 EXISTING 2'-0" H. STEEL BOLLARD.

09900.01 PAINTED INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVING.

09900.02 WHITE PAINTED STRIPING, 1'-0" WIDE @ 2'-0" O.C.

09900.03 CONCRETE WHEEL STOP. PAINTED IN YELLOW. 'COMPACT PARKING ONLY'.

09900.04 WHITE PAINTED PARKING STALL STRIPING, TYPICAL.

10400.01 EXISTING EXTERIOR SIGN TO REMAIN.

10400.02 HANDICAPPED PARKING SIGN. MOUNT TO BUILDING / WALL AT 48" AT CENTER. 16" H X 14" W X 16GA. STEEL OR 1/4" FIBERGLASS. DISPLAY INTERNATIONAL SYMBOL OF ACCESSIBILITY. LETTERING WHITE, ON A BLUE BACKGROUND.

10400.03 'MOTORCYCLE PARKING' SIGN. MOUNT TO BUILDING / WALL, FENCE AT 48" AT CENTER. 14" H X 16" W X 16GA. STEEL OR 1/4" FIBERGLASS. LETTERING BLACK, ON A WHITE BACKGROUND.

11700.01 EXISTING REFUSE CONTAINER WHICH CURRENTLY SERVES 3501 CENTRAL AVE. NE.

12900.01 5 STALL BIKE RACK. SEE DETAIL A1 / AS-102.

22500.05 TRAFFIC RATED GREASE TRAP. SEE MECHANICAL.

26200.01 EXISTING POWER POLE.

26500.01 EXISTING LIGHT CONTROL BOX.

26500.02 EXISTING TRAFFIC LIGHT CONTROL BOX.

26800.01 EXISTING LIGHT POLE.

26800.02 EXISTING TRAFFIC LIGHT SIGNAL.

26800.03 STEP LIGHT. BEGA, MODEL NO. 1325. LIGHT FIXTURE DIMENSIONS: 5 5/16" W X 2 7/8" H X 4" DEEP. RECESSED IN WALL. ELEVATION NOTED AT EACH LIGHT FIXTURE.

26800.04 EXTERIOR, INGROUND, UP-LIGHT LIGHT FIXTURE.

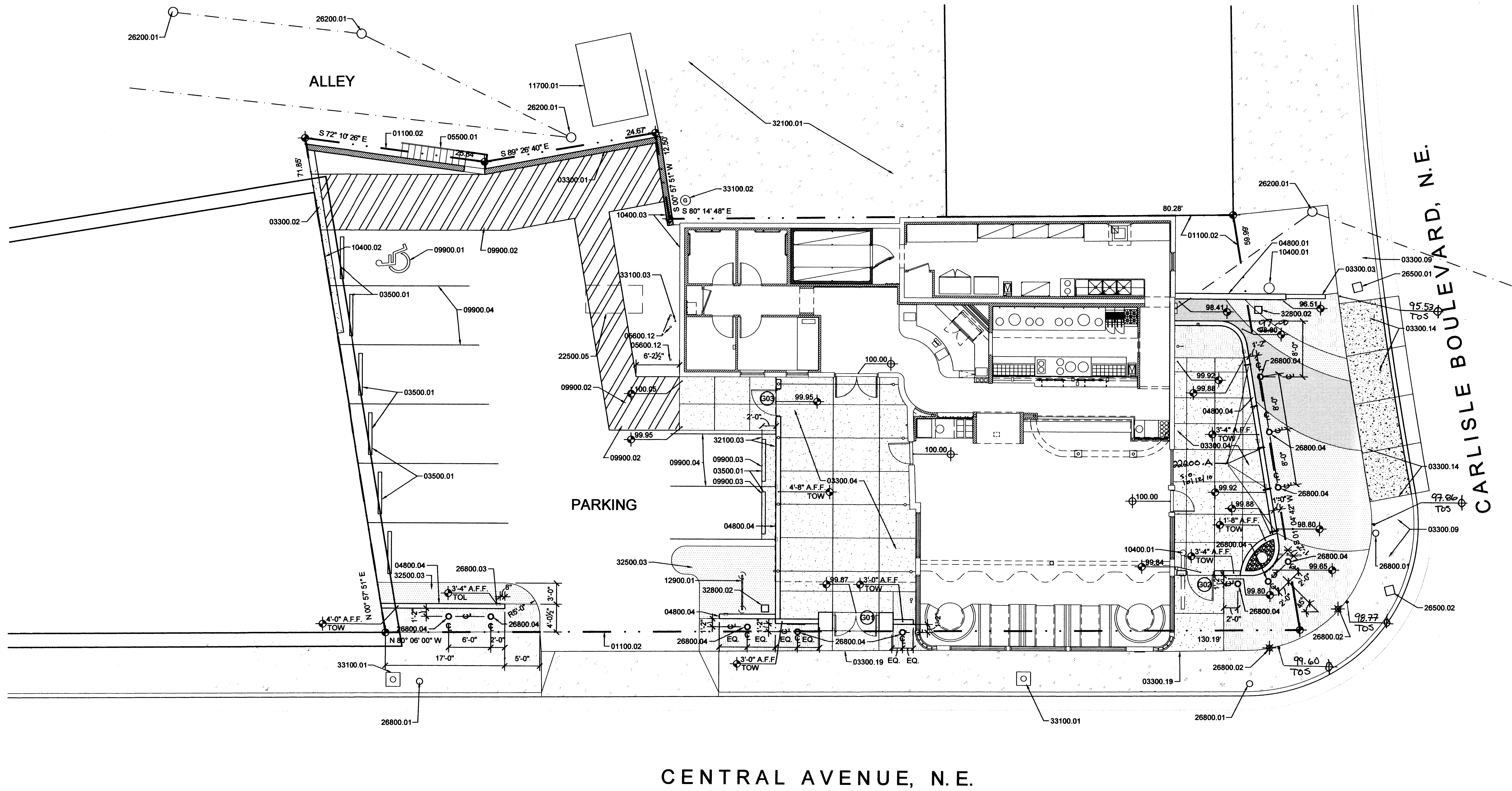
32500.03 CRUSHER FINES. INSTALL CRUSHER FINES COMPACTED TO 95 %, 2" THICK, OVER GEOTEXTILE LANDSCAPE FABRIC, OVER COMPACTED SUBGRADE TO 95 %.

32800.02 IRRIGATION VALVE BOX. PROVIDE STUB OUT TO IRRIGATION VALVE BOX.

33100.01 EXISTING WATER METER.

33100.02 EXISTING GAS METER.

33100.03 GAS LINE.



GENERAL NOTES

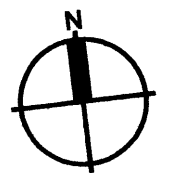
- SEE SHEET A-101 FOR PATIO AND ADJACENT AREAS FOR DIMENSIONING, NOTES, REFERENCING OF DETAILS, ETC.
- PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCING WORK, GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO FIELD VERIFY ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO BIDDING/COMMENCING WORK.
- COORDINATE WORK WITH SITE PLANS, ARCHITECTURAL PLANS DWGS.
- SEE COVER SHEET AND SHEET AS-101-D FOR GENERAL NOTES.
- TOP OF NEW SIDEWALK ELEVATIONS ARE INDICATED BY NEW SPOT ELEVATION MARKS. TOP OF GRADE AGAINST NEW CONCRETE SIDEWALKS SHALL BE 1/2" BELOW TOP OF SIDEWALK.
- AT ALL EXTERIOR CONCRETE PROVIDE FLAT SHEETS ON CHAIRS: 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB.
- CONTRACTOR MUST VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS WITH APPROPRIATE PUBLIC UTILITIES BEFORE COMMENCING WORK.
- INSTALL CONCRETE SIDEWALKS, CURB, AND GUTTER PER CITY OF ALBUQUERQUE CONSTRUCTION STANDARDS.
- ALL NEW ASPHALT TO BE INSTALLED WITH A POSITIVE SLOPE TO PREVENT BIRDBATHS. MAINTAIN POSITIVE DRAINAGE.
- FINISH FLOOR ELEVATION 100'-0" REFERS TO FINISH FLOOR ELEVATION OF EXISTING BUILDING. 5202.76. SEE AS-101-D FOR SITE ELEVATIONS.
- GROUT ALL CMU CELLS SOLID.
- ALL NEW CONCRETE SIDEWALKS ARE TO HAVE SLOPES LESS THAN 1:20 IN THE DIRECTION OF TRAVEL, AND CROSS SLOPES LESS THAN 1:50.
- AT SITE IMPROVEMENTS: COMPACT SUBGRADE TO A MINIMUM 90% COMPACTION.
- COMPLY W/ ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- AT PARKING SPACES, PAINT OUT OLD STRIPING AS REQUIRED TO ALLOW FOR NEW PARKING CONFIGURATION. RESTRIPE ASPHALT AS INDICATED.
- NEW ASPHALT PAVING TO BE 2" OVER COMPACTED GRADE (95%).
- ALL CONCRETE AND PAVING IN THE CITY R.O.W. MUST BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DESIGN DETAILS AND STANDARD DESIGN MIX AND SPECIFICATIONS. THE FOLLOWING C.O.A. STANDARDS ARE APPLICABLE:
 - CURB AND GUTTER NO. 2415
 - SIDEWALK WORK NO. 2430
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL C.O.A. STANDARD DESIGN DETAILS, DESIGN MIX AND SPECIFICATIONS ARE BEING FULFILLED.
- INSTALL ALL NEW GRAVEL OVER COMPOSITE GEOTEXTILE FABRIC WEED BARRIER.
- NEW GRADES ARE TO 'MATCH' TRANSITION INTO EXISTING GRADES / EXISTING ASPHALT. AS REQUIRED GRIND EXISTING ASPHALT TO TRANSITION THE NEW ASPHALT / NEW OVERLAY IN A SMOOTH AND LEVEL TRANSITION.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. TOP OF GRADE.
- CONSTRUCT CONCRETE WALKS WITH THICKENED EDGE ADJACENT TO PAVED PARKING LOT / DRIVE AREAS EXCEPT AS NOTED. SEE AS-102 FOR DETAILS.

22200.01 1 1/2" Ø SCHEDULE 40 PVC PIPE THRU WALL. SLOPE FOR DRAINAGE. LOCATE AT 6'-0" O.C. INVERT PIPE TO BE 1/4" BELOW TOP OF PATIO SIDEWALK.

LEGEND

- XX.XX ± INDICATES NEW ELEVATION DATUM
- X'-XX" A.F.F. TOW ± = TOP OF NEW WALL ABOVE FINISH FLOOR
- X'-XX" A.F.F. TOL ± = TOP OF LIGHT FIXTURE ABOVE FINISH FLOOR
- XX.XX ± = TOP OF EXISTING SIDEWALK TOS

A1 SITE PLAN
1/8" = 1'-0"



KEYED NOTES

- | | | | |
|----------|--|----------|--|
| 01100.02 | DASHED LINE INDICATES PROPERTY LINE. | 26800.02 | EXISTING TRAFFIC SIGNAL. |
| 03300.01 | EXISTING CAST-IN-PLACE CONCRETE RETAINING WALL. | 26800.03 | STEP LIGHT. BEGA, MODEL NO. 1325. LIGHT FIXTURE DIMENSIONS: 5 5/16" W X 2 7/8" H X 4" DEEP. RECESSED IN WALL. ELEVATION NOTED AT EACH LIGHT FIXTURE. |
| 03300.02 | EXISTING CONCRETE CURB. | 26800.04 | EXTERIOR, INGROUND, UP-LIGHT LIGHT FIXTURE. |
| 03300.03 | EXISTING CONCRETE HEADER CURB. | 32100.01 | EXISTING CONCRETE PAVING. |
| 03300.04 | 4" THICK REINFORCED CONCRETE SLAB, REINFORCE WITH 6X6- 10/10 WWM, FLAT SHEETS ONLY. 3000 PSI CONCRETE MIN. | 32100.03 | WHERE EXIST. ASPHALT IS CUT FOR NEW FOOTING/ INSTALL NEW ASPHALT OVER 4" COMPACTED GRADE. |
| 03300.09 | EXISTING CONCRETE SIDEWALK IN THE RIGHT OF WAY. | 32500.03 | CRUSHER FINES. INSTALL CRUSHER FINES COMPACTED TO 95 %, 2" THICK, OVER GEOTEXTILE LANDSCAPE FABRIC, OVER COMPACTED SUBGRADE TO 95 %. |
| 03300.14 | HATCHED AREA INDICATES REMOVE EXISTING CONCRETE DRIVEWAY/ CURB AND GUTTER. INSTALL A NEW CONCRETE SIDEWALK, AND CURB AND GUTTER. CONSTRUCT PER C.O.A. DWGS NO. 2415 (STANDARD) AND 2430. | 32800.02 | IRRIGATION VALVE BOX. PROVIDE STUB OUT TO IRRIGATION VALVE BOX. |
| 03300.19 | MATCH NEW CONCRETE SLAB WITH TOP OF EXISTING CONCRETE SIDEWALK. | 33100.01 | EXISTING WATER METER. |
| 03500.01 | NEW 6'-8" LONG CONCRETE WHEELSTOP. ANCHOR TO PAVEMENT WITH 18" LONG, NO. 4 REBAR. | 33100.02 | EXISTING GAS METER. |
| 04800.01 | EXISTING MASONRY BLOCK WALL. | 33100.03 | GAS LINE. |
| 04800.04 | 8 X 8 X 16 CMU BLOCK WALL. GROUT ALL CELLS SOLID. | | |
| 05500.01 | EXISTING STEEL STAIR TO ALLEYWAY. | | |
| 05600.12 | EXISTING 2'-0" H. STEEL BOLLARD. | | |
| 09900.01 | PAINTED INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVING. | | |
| 09900.02 | WHITE PAINTED STRIPING, 1'-0" WIDE @ 2'-0" O.C. | | |
| 09900.03 | CONCRETE WHEEL STOP. PAINTED IN YELLOW. 'COMPACT PARKING ONLY'. | | |
| 09900.04 | WHITE PAINTED PARKING STALL STRIPING, TYPICAL. | | |
| 10400.01 | EXISTING EXTERIOR SIGN TO REMAIN. | | |
| 10400.02 | HANDICAPPED PARKING SIGN. MOUNT TO BUILDING / WALL AT 48" AT CENTER. 16" H X 14" W X 16GA. STEEL OR 1/4" FIBERGLASS. DISPLAY INTERNATIONAL SYMBOL OF ACCESSIBILITY. LETTERING WHITE, ON A BLUE BACKGROUND. | | |
| 10400.03 | 'MOTORCYCLE PARKING' SIGN. MOUNT TO BUILDING / WALL, FENCE AT 48" AT CENTER. 14" H X 16" W X 16GA. STEEL OR 1/4" FIBERGLASS. LETTERING BLACK, ON A WHITE BACKGROUND. | | |
| 11700.01 | EXISTING REFUSE CONTAINER WHICH CURRENTLY SERVES 3501 CENTRAL AVE. NE. | | |
| 12900.01 | 5 STALL BIKE RACK. SEE DETAIL A1 / AS-102. | | |
| 22500.05 | TRAFFIC RATED GREASE TRAP. SEE MECHANICAL. | | |
| 26200.01 | EXISTING POWER POLE. | | |
| 26500.01 | EXISTING LIGHT CONTROL BOX. | | |
| 26500.02 | EXISTING TRAFFIC LIGHT CONTROL BOX. | | |
| 26800.01 | EXISTING LIGHT POLE. | | |

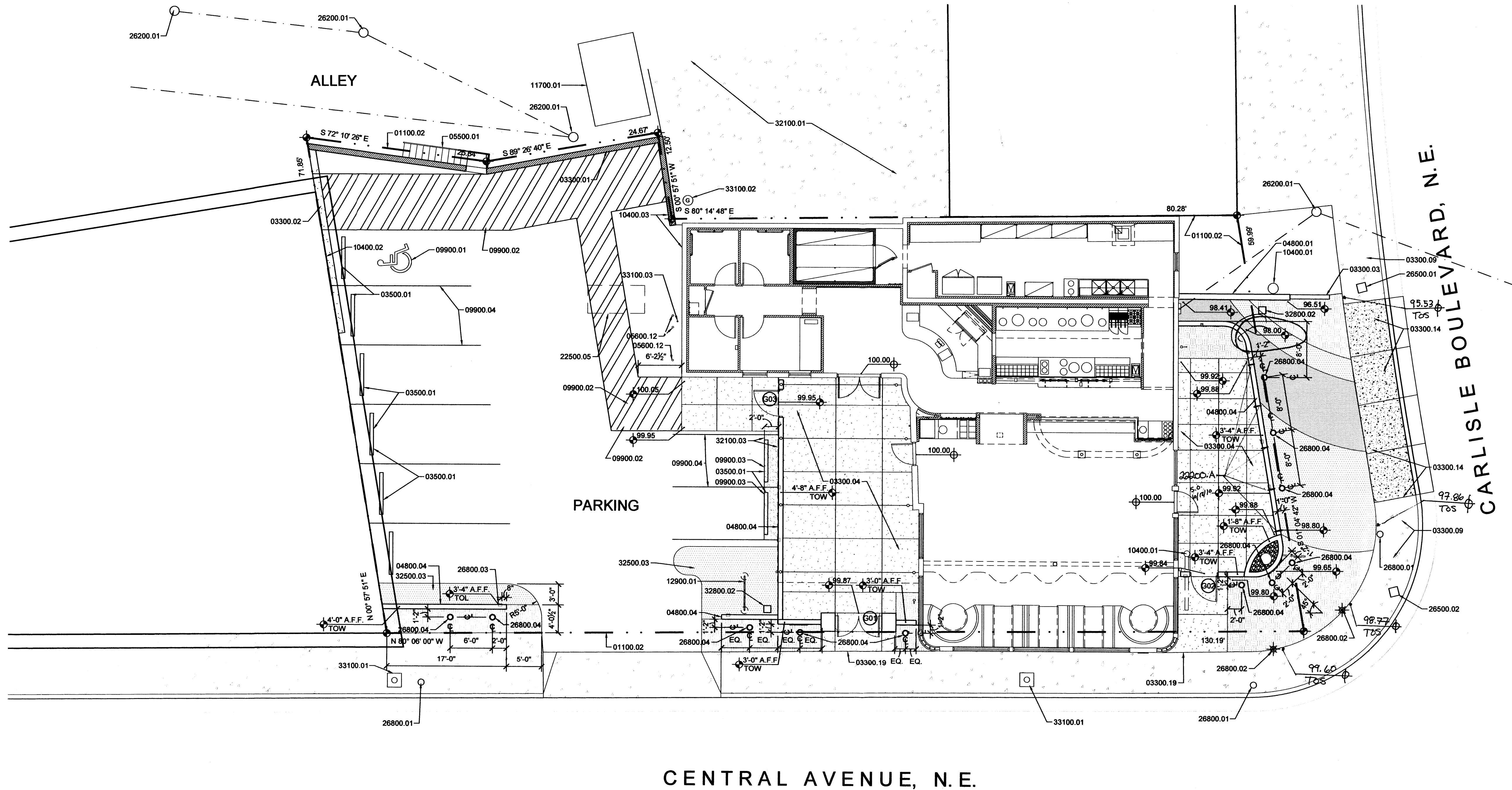
LEE GAMESKY ARCHITECTS P.C.	STATE OF NEW MEXICO LEE D. GAMESKY No. 1931 REGISTERED ARCHITECT
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@ganm.com	

CHOWS - NOB HILL
3523 CENTRAL AVENUE, N.E.
Albuquerque, New Mexico 87106

PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: 10-01-P
	Date: 05 AUGUST 2010

SITE PLAN

By: SMO	Sheet: Of:
File: CHOWS_AS-101_SITEPLAN.DWG	AS-101



GENERAL NOTES

- SEE SHEET A-101 FOR PATIO AND ADJACENT AREAS FOR DIMENSIONING, NOTES, REFERENCING OF DETAILS, ETC.
- PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCING WORK, GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO FIELD VERIFY ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO BIDDING/COMMENCING WORK.
- COORDINATE WORK WITH SITE PLANS, ARCHITECTURAL PLANS DWGS.
- SEE COVER SHEET AND SHEET AS-101-D FOR GENERAL NOTES.
- TOP OF NEW SIDEWALK ELEVATIONS ARE INDICATED BY NEW SPOT ELEVATION MARKS. TOP OF GRADE AGAINST NEW CONCRETE SIDEWALKS SHALL BE 1/2" BELOW TOP OF SIDEWALK.
- AT ALL EXTERIOR CONCRETE PROVIDE FLAT SHEETS ON CHAIRS: 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB.
- CONTRACTOR MUST VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS WITH APPROPRIATE PUBLIC UTILITIES BEFORE COMMENCING WORK.
- INSTALL CONCRETE SIDEWALKS, CURB, AND GUTTER PER CITY OF ALBUQUERQUE CONSTRUCTION STANDARDS.
- ALL NEW ASPHALT TO BE INSTALLED WITH A POSITIVE SLOPE TO PREVENT BIRDBATHS. MAINTAIN POSITIVE DRAINAGE.
- FINISH FLOOR ELEVATION 100'-0" REFERS TO FINISH FLOOR ELEVATION OF EXISTING BUILDING, 5202.76. SEE AS-101-D FOR SITE ELEVATIONS.
- GROUT ALL CMU CELLS SOLID.
- ALL NEW CONCRETE SIDEWALKS ARE TO HAVE SLOPES LESS THAN 1:20 IN THE DIRECTION OF TRAVEL, AND CROSS SLOPES LESS THAN 1:50.
- AT SITE IMPROVEMENTS: COMPACT SUBGRADE TO A MINIMUM 90% COMPACTION.
- COMPLY W/ ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- AT PARKING SPACES, PAINT OUT OLD STRIPING AS REQUIRED TO ALLOW FOR NEW PARKING CONFIGURATION. RESTRIPE ASPHALT AS INDICATED.
- NEW ASPHALT PAVING TO BE 2" OVER COMPACTED GRADE (95%).
- ALL CONCRETE AND PAVING IN THE CITY R.O.W. MUST BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DESIGN DETAILS AND STANDARD DESIGN MIX AND SPECIFICATIONS. THE FOLLOWING C.O.A. STANDARDS ARE APPLICABLE:
 - CURB AND GUTTER NO. 2415
 - SIDEWALK WORK NO. 2430
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL C.O.A. STANDARD DESIGN DETAILS, DESIGN MIX AND SPECIFICATIONS ARE BEING FULFILLED.
- INSTALL ALL NEW GRAVEL OVER COMPOSITE GEOTEXTILE FABRIC WEED BARRIER.
- NEW GRADES ARE TO 'MATCH' TRANSITION INTO EXISTING GRADES / EXISTING ASPHALT. AS REQUIRED GRIND EXISTING ASPHALT TO TRANSITION THE NEW ASPHALT / NEW OVERLAY IN A SMOOTH AND LEVEL TRANSITION.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. TOP OF GRADE.
- CONSTRUCT CONCRETE WALKS WITH THICKENED EDGE ADJACENT TO PAVED PARKING LOT / DRIVE AREAS EXCEPT AS NOTED. SEE AS-102 FOR DETAILS.

20000.A 1 1/2" Ø SCHEDULE 40 PVC PIPE THRU WALL. SLOPE FOR DRAINAGE. LOCATE AT 6'-0" O.C. INVERT PIPE TO BE 1/4" BELOW TOP OF PATIO SIDEWALK.

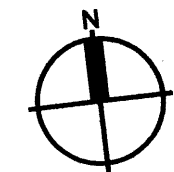
S.P.
10/12/10

LEGEND

- XX.XX.01 INDICATES NEW ELEVATION DATUM
- X'-XX" A.F.F. TOW = TOP OF NEW WALL ABOVE FINISH FLOOR
- X'-XX" A.F.F. TOL = TOP OF LIGHT FIXTURE ABOVE FINISH FLOOR
- XX.XX TOS = TOP OF EXISTING SIDEWALK

S.P.
10/12/10

A1 SITE PLAN
1/8" = 1'-0"



KEYED NOTES

- | | | | |
|----------|--|----------|--|
| 01100.02 | DASHED LINE INDICATES PROPERTY LINE. | 26800.02 | EXISTING TRAFFIC SIGNAL. |
| 03300.01 | EXISTING CAST-IN-PLACE CONCRETE RETAINING WALL. | 26800.03 | STEP LIGHT. BEGA, MODEL NO. 1325. LIGHT FIXTURE DIMENSIONS: 5 5/16" W X 2 7/8" H X 4" DEEP. RECESSED IN WALL. ELEVATION NOTED AT EACH LIGHT FIXTURE. |
| 03300.02 | EXISTING CONCRETE CURB. | 26800.04 | EXTERIOR, INGROUND, UP-LIGHT LIGHT FIXTURE. |
| 03300.03 | EXISTING CONCRETE HEADER CURB. | 32100.01 | EXISTING CONCRETE PAVING. |
| 03300.04 | 4" THICK REINFORCED CONCRETE SLAB, REINFORCE WITH 6X6- 10/10 W/M, FLAT SHEETS ONLY. 3000 PSI CONCRETE MIN. | 32100.03 | WHERE EXIST. ASPHALT IS CUT FOR NEW FOOTING/ INSTALL NEW ASPHALT OVER 4" COMPACTED GRADE. |
| 03300.09 | EXISTING CONCRETE SIDEWALK IN THE RIGHT OF WAY. | 32500.03 | CRUSHER FINES. INSTALL CRUSHER FINES COMPACTED TO 95 %, 2" THICK, OVER GEOTEXTILE LANDSCAPE FABRIC, OVER COMPACTED SUBGRADE TO 95 %. |
| 03300.14 | HATCHED AREA INDICATES REMOVE EXISTING CONCRETE DRIVEWAY/ CURB AND GUTTER. INSTALL A NEW CONCRETE SIDEWALK, AND CURB AND GUTTER. CONSTRUCT PER C.O.A. DWGS NO. 2415 (STANDARD) AND 2430. | 32800.02 | IRRIGATION VALVE BOX. PROVIDE STUB OUT TO IRRIGATION VALVE BOX. |
| 03300.19 | MATCH NEW CONCRETE SLAB WITH TOP OF EXISTING CONCRETE SIDEWALK. | 33100.01 | EXISTING WATER METER. |
| 03500.01 | NEW 6'-6" LONG CONCRETE WHEELSTOP. ANCHOR TO PAVEMENT WITH 18" LONG, NO. 4 REBAR. | 33100.02 | EXISTING GAS METER. |
| 04800.01 | EXISTING MASONRY BLOCK WALL. | 33100.03 | GAS LINE. |
| 04800.04 | 8 X 8 X 16 CMU BLOCK WALL. GROUT ALL CELLS SOLID. | | |
| 05500.01 | EXISTING STEEL STAIR TO ALLEYWAY. | | |
| 05600.12 | EXISTING 2'-0" H. STEEL BOLLARD. | | |
| 09900.01 | PAINTED INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVING. | | |
| 09900.02 | WHITE PAINTED STRIPING, 1'-0" WIDE @ 2'-0" O.C. | | |
| 09900.03 | CONCRETE WHEEL STOP. PAINTED IN YELLOW. COMPACT PARKING ONLY. | | |
| 09900.04 | WHITE PAINTED PARKING STALL STRIPING, TYPICAL. | | |
| 10400.01 | EXISTING EXTERIOR SIGN TO REMAIN. | | |
| 10400.02 | HANDICAPPED PARKING SIGN. MOUNT TO BUILDING / WALL AT 48" AT CENTER. 16" H X 14" W X 16GA. STEEL OR 1/4" FIBERGLASS. DISPLAY INTERNATIONAL SYMBOL OF ACCESSIBILITY. LETTERING WHITE, ON A BLUE BACKGROUND. | | |
| 10400.03 | 'MOTORCYCLE PARKING' SIGN. MOUNT TO BUILDING / WALL, FENCE AT 48" AT CENTER. 14" H X 16" W X 16GA. STEEL OR 1/4" FIBERGLASS. LETTERING BLACK, ON A WHITE BACKGROUND. | | |
| 11700.01 | EXISTING REFUSE CONTAINER WHICH CURRENTLY SERVES 3501 CENTRAL AVE. NE. | | |
| 12900.01 | 5 STALL BIKE RACK. SEE DETAIL A1 / AS-102. | | |
| 22500.05 | TRAFFIC RATED GREASE TRAP. SEE MECHANICAL. | | |
| 26200.01 | EXISTING POWER POLE. | | |
| 26500.01 | EXISTING LIGHT CONTROL BOX. | | |
| 26500.02 | EXISTING TRAFFIC LIGHT CONTROL BOX. | | |
| 26800.01 | EXISTING LIGHT POLE. | | |

LEE GAMESKY ARCHITECTS P.C.	STATE OF NEW MEXICO LEE D. GAMESKY No. 1931 REGISTERED ARCHITECT
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lee@gamnm.com	

CHOWS - NOB HILL
3523 CENTRAL AVENUE, N.E.
Albuquerque, New Mexico 87106

PROJECT ARCHITECT:	Project #:	10-01-P
LEE GAMESKY, AIA	Date:	05 AUGUST 2010

SITE PLAN

By: SMO	Sheet: Of:
File: CHOWS_AS-101_SITEPLAN.DWG	AS-101

GENERAL NOTES

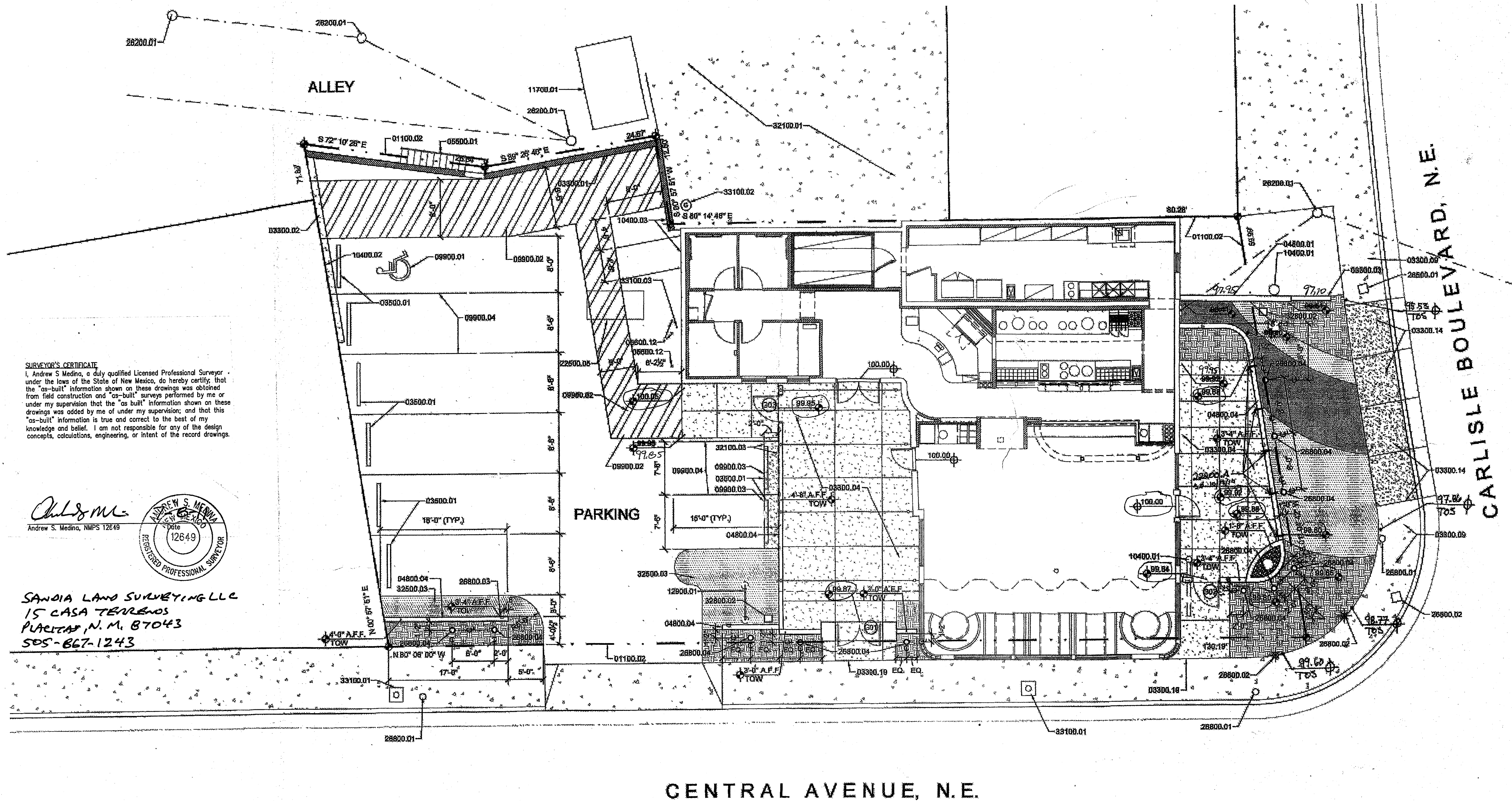
- SEE SHEET A-101 FOR PATIO AND ADJACENT AREAS FOR DIMENSIONING, NOTES, REFERENCING OF DETAILS, ETC.
- PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCING WORK, GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO FIELD VERIFY ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO BIDDING/COMMENCING WORK.
- COORDINATE WORK WITH SITE PLANS, ARCHITECTURAL PLANS, DWGS.
- SEE COVER SHEET AND SHEET AS-101-D FOR GENERAL NOTES.
- TOP OF NEW SIDEWALK ELEVATIONS ARE INDICATED BY NEW SPOT ELEVATION MARKS. TOP OF GRADE AGAINST NEW CONCRETE SIDEWALKS SHALL BE 1/2" BELOW TOP OF SIDEWALK.
- AT ALL EXTERIOR CONCRETE PROVIDE FLAT SHEETS ON CHAIRS: 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB.
- CONTRACTOR MUST VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS WITH APPROPRIATE PUBLIC UTILITIES BEFORE COMMENCING WORK.
- INSTALL CONCRETE SIDEWALKS, CURBS, AND GUTTER PER CITY OF ALBUQUERQUE CONSTRUCTION STANDARDS.
- ALL NEW ASPHALT TO BE INSTALLED WITH A POSITIVE SLOPE TO PREVENT BIRDBATHS. MAINTAIN POSITIVE DRAINAGE.
- FINISH FLOOR ELEVATION 100'-0" REFERS TO FINISH FLOOR ELEVATION OF EXISTING BUILDING. 3222.75. SEE AS-101-D FOR SITE ELEVATIONS.
- GROUT ALL CMU CELLS SOLID.
- ALL NEW CONCRETE SIDEWALKS ARE TO HAVE SLOPES LESS THAN 120 IN THE DIRECTION OF TRAVEL, AND CROSS SLOPES LESS THAN 1:80.
- AT SITE IMPROVEMENTS: COMPACT SUBGRADE TO A MINIMUM 90% COMPACTION.
- COMPLY WITH ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- AT PARKING SPACES, PAINT OUT OLD STRIPING AS REQUIRED TO ALLOW FOR NEW PARKING CONFIGURATION. RESTRIPE ASPHALT AS INDICATED.
- NEW ASPHALT PAVING TO BE 2" OVER COMPACTED GRADE (95%).
- ALL CONCRETE AND PAVING IN THE CITY R.O.W. MUST BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DESIGN DETAILS AND STANDARD DESIGN MIX AND SPECIFICATIONS. THE FOLLOWING C.O.A. STANDARDS ARE APPLICABLE:
 - CURB AND GUTTER NO. 2415
 - SIDEWALK WORK NO. 2430
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL C.O.A. STANDARD DESIGN DETAILS, DESIGN MIX AND SPECIFICATIONS ARE BEING FULLY FILLED.
- INSTALL ALL NEW GRAVEL OVER COMPOSITE GEOTEXTILE FABRIC WEED BARRIER.
- NEW GRADES ARE TO MATCH TRANSITION INTO EXISTING GRADES / EXISTING ASPHALT. AS REQUIRED BRIND EXISTING ASPHALT TO TRANSITION THE NEW ASPHALT / NEW OVERLAY IN A SMOOTH AND LEVEL TRANSITION.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. TOP OF GRADE.
- CONSTRUCT CONCRETE WALKS WITH THICKENED EDGE ADJACENT TO PAVED PARKING LOT / DRIVE AREAS EXCEPT AS NOTED. SEE AS-102 FOR DETAILS.

32200.0 A 1/4" SCHEDULE 40 PVC PIPE THRU WALL. SLOPE FOR DRAINAGE. LOCATE AT 6'-0" O.C. INVERT PIPE TO BE 1/4" BELOW TOP OF PATIO SIDEWALK.

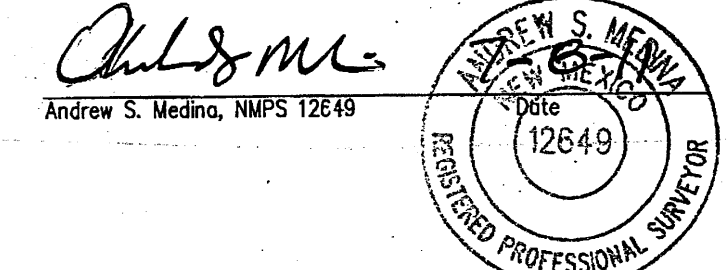
LEGEND

- XXXX INDICATES NEW ELEVATION DATUM
- XXXX AFF TOW = TOP OF NEW WALL ABOVE FINISH FLOOR
- XXXX AFF TOL = TOP OF LIGHT FIXTURE ABOVE FINISH FLOOR
- XX XX TOS = TOP OF EXISTING SIDEWALK

S.O. 10/12/10



SURVEYOR'S CERTIFICATE
I, Andrew S. Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as-built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.



SANDIA LAND SURVEYING LLC
15 CASA TERRENOS
PLACITA, N.M. 87043
505-867-1243

CENTRAL AVENUE, N.E.

A1 SITE PLAN
1/8" = 1'-0"



KEYED NOTES

- | | | | |
|----------|--|----------|---|
| 01100.02 | DASHED LINE INDICATES PROPERTY LINE. | 26800.02 | EXISTING TRAFFIC SIGNAL. |
| 03300.01 | EXISTING CAST-IN-PLACE CONCRETE RETAINING WALL. | 26800.03 | STEP LIGHT, BEGA, MODEL NO. 1328. LIGHT FIXTURE DIMENSIONS: 6 5/8" W X 2 1/8" H X 4" DEEP. RECESSED IN WALL. ELEVATION NOTED AT EACH LIGHT FIXTURE. |
| 03300.02 | EXISTING EXPOSED CONCRETE FOOTING. | 26800.04 | EXTERIOR, INGROUND, UP-LIGHT LIGHT FIXTURE. |
| 03300.03 | EXISTING CONCRETE HEADER CURB. | 32100.01 | EXISTING CONCRETE PAVING. |
| 03300.04 | 4" THICK REINFORCED CONCRETE SLAB, REINFORCE WITH 6X6-10/10 W/M, FLAT SHEETS ONLY. 3000 PSI CONCRETE MIN. | 32100.03 | WHERE EXIST. ASPHALT IS CUT FOR NEW FOOTING/INSTALL NEW ASPHALT OVER 4" COMPACTED GRADE. |
| 03300.09 | EXISTING CONCRETE SIDEWALK IN THE RIGHT OF WAY. | 32500.03 | NEW CRUSHER FINE WALKWAY. INSTALL. CRUSHER FINES COMPACTED TO 98% 2" THICK, OVER GEOTEXTILE LANDSCAPE FABRIC, OVER COMPACTED SUBGRADE TO 95%. |
| 03300.14 | HATCHED AREA INDICATES REMOVE EXISTING CONCRETE DRIVEWAY/ CURB AND GUTTER. INSTALL A NEW CONCRETE SIDEWALK, AND CURB AND GUTTER. CONSTRUCT PER C.O.A. DWGS NO. 2415 (STANDARD) AND 2430. | 32800.02 | IRRIGATION VALVE BOX. PROVIDE STUB OUT TO IRRIGATION VALVE BOX. |
| 03300.19 | MATCH NEW CONCRETE SLAB WITH TOP OF EXISTING CONCRETE SIDEWALK. | 33100.01 | EXISTING WATER METER. |
| 03500.01 | NEW 6'-6" LONG CONCRETE WHEELSTOP. ANCHOR TO PAVEMENT WITH 16" LONG, NO. 4 REBAR. | 33100.02 | EXISTING GAS METER. |
| 04800.01 | EXISTING MASONRY BLOCK WALL. | 33100.03 | EXISTING 2" GAS LINE. |
| 04800.04 | 8 X 8 X 16 CMU BLOCK WALL. GROUT ALL CELLS SOLID. | | |
| 05500.01 | EXISTING STEEL STAIR TO ALLEYWAY. | | |
| 05800.12 | EXISTING 2'-0" H. STEEL BOLLARD. | | |
| 06900.01 | PAINTED INTERNATIONAL ACCESSIBILITY SYMBOL ON PAVING. | | |
| 06900.02 | WHITE PAINTED STRIPING, 1'-0" WIDE @ 2'-0" O.C. | | |
| 06900.03 | CONCRETE WHEEL STOP. PAINTED IN YELLOW. 'COMPACT PARKING ONLY'. | | |
| 09900.04 | WHITE PAINTED PARKING STALL STRIPING, TYPICAL. | | |
| 10400.01 | EXISTING EXTERIOR SIGN. | | |
| 10400.02 | HANDICAPPED PARKING SIGN. MOUNT TO BUILDING / WALL AT 48" AT CENTER. 16" H X 14" W X 1/4" THICK. STEEL OR 1/4" FIBERGLASS. DISPLAY INTERNATIONAL SYMBOL OF ACCESSIBILITY. LETTERING WHITE, ON A BLUE BACKGROUND. | | |
| 10400.03 | 'MOTORCYCLE PARKING' SIGN. MOUNT TO BUILDING / WALL, FENCE AT 48" AT CENTER. 14" H X 18" W X 1/4" THICK. STEEL OR 1/4" FIBERGLASS. LETTERING BLACK, ON A WHITE BACKGROUND. | | |
| 11700.01 | EXISTING REFUSE CONTAINER WHICH CURRENTLY SERVES 3801 CENTRAL AVE. N.E. | | |
| 12800.01 | 5 STALL BIKE RACK. SEE DETAIL A1 / AS-102. | | |
| 22800.05 | TRAFFIC RATED GREASE TRAP. SEE MECHANICAL. | | |
| 26200.01 | EXISTING POWER POLE. | | |
| 26500.01 | EXISTING LIGHT CONTROL BOX. | | |
| 26500.02 | EXISTING TRAFFIC LIGHT CONTROL BOX. | | |
| 26800.01 | EXISTING LIGHT POLE. | | |

City of Albuquerque
Building & Safety
SEP 15 2010
I.B.C.
Plan Check Section

LEE GAMESKY ARCHITECTS P.C.
 2412 MILES ROAD SE
 ALBUQUERQUE, NM 87105
 505.842.8965 FAX 505.842.1693
 lee@gamem.com

CHOWS - NOB HILL
3523 CENTRAL AVENUE, N.E.
Albuquerque, New Mexico 87105

PROJECT ARCHITECT:
LEE GAMESKY, AIA

Project # 10-01-P
Date: 05 AUGUST 2010

SITE PLAN

By: SMO
File: CHOWS_AS-101_SITEPLAN.DWG

Sheet: 14 OF 32
AS-101