



City of Albuquerque

Public Works Department Transportation Development Services Section

March 15, 2000

Robert C. Ponto, Registered. Arch.,
Robert C. Ponto Architects Inc.
9509 Deneen N.W.
Albuquerque, New Mexico 87114

Re: T.C.L. submittal for building permit approval for Phil DuBois 6-Plex Apartments, 315 Columbia S.E.,
University Heights, Block 14, Lot17. [K16/ D060], No dated Architect's Stamp.

Dear Mr. Ponto,

The location referenced above, dated March 15, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Written Comments: File # [K16 / D060]
3/15/2000

- The following comments are general to all plan reviews for Transportation, once more information is provided, full review will then be completed.
- T.C.L.(Site Plan) must be stamped and stamp must be dated.
- For this Plan, and all others following, submit street address of site and call out name of subdivision and lot number or tract number.
- Place a note on the plan stating the following:
 "The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy."
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued until all work is finished.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:
 "The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan." and
 "This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
 (1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
 (2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on plan.
- Use of DPM and close review of T.C.L. and comments in previous Building Permit plan set submittals can aid in production of T.C.L. requiring fewer corrections to original and more expedient review time.
- New and existing elements noted on the T.C.L. must be shown, labelled, and dimensioned correctly and accurately, this includes curb & gutter, site sidewalks, asphalt surface, drivepad [call out conc. or asph.], parking stalls (including H.C.), landscaping (if on separate landscape plan, submit plan), concrete wheel stops, all curbing, any neighboring drivepads, if close to property lines shared with the adjacent lots, and fencing (specifically at property lines), etc. __Need to see clear differentiation between new construction and existing on T.C.L.: curbing, wheel stops, retaining walls, fences, gates, etc.
- Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed.
- Any new sidewalks must be built so back of sidewalk is at Right-of-way (property) line.
- Dimension new or existing stalls - label "typical" or call out in individual locations, if not typical.
- 6" high concrete curb, per city standard, must be constructed per DPM, Section 23.7 B6. Must prevent overhanging into adjacent property and pedestrian path. __Label concrete curb, and type (or show detail labelled "typical"), at each individual location or call out double-line style (or equivalent) linework, used to designate curbing, as "typical". __If extruded concrete is used, top of surface of landscape mulching (gravel, bark, etc.) must be level with, or up to 1" below top of curb.
- Minim. 5' wide concrete sidewalk, raised 6" above parking surface, needed at the front of parked vehicles adjacent to the building especially when parking is backing into alley. __Remove wheel stops. __H.C. ramp must be constructed at H.C. parking as part of sidewalk, as shown.
- Clearly indicate transition from one type of surface to the other on T.C.L., for example ramps, concrete/ asphalt, landscape/concrete, etc. Label each area or stipple to show varying surfaces, using a legend.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.

Written Comments: File # [K16 / D060]
3/15/2000

- Show Columbia drivepad and label - "Construct new drivepad per City of Albuq. Std. Detail Dwg. No. 2425."
_Call out existing drivepad construction (concrete, asphalt, dirt, etc.), if applicable.
- Where is Refuse enclosure? Approval from Solid Waste is needed.
- Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- Show and label property lines and right-of-way line.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- Call out to restripe existing lot per City Standard, if applicable.
- All Civil Sheets (Drainage Plan and T.C.L. & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. _Confirm the acceptability of the changes in T.C.L. that are required by this office with Hydrology. If minor changes are acceptable to Hydrology, call out on T.C.L.: INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET. This office recommends that as much information as possible that is pertinent to it's requirements be placed on T.C.L. and not Drainage Plan. Any changes required by Transportation shown on Drainage Plan cannot be marked up on Drainage Plan per Hydrology's preference, such as curbs, ramps, drivepads, dimensions, labels, etc.
- North arrow on Site Plan is needed. _Engineer's scale needs to be used.



City of Albuquerque

March 3, 2000

Frank Lovelady, P.E.
Lovelady & Associates
300 Alamosa NW
Albuquerque, NM 87107

**RE: SIX-PLEX APARTMENT COMPLEX - 315 Columbia Drive NE K16-D60).
DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
FEBRUARY 8, 2000.**

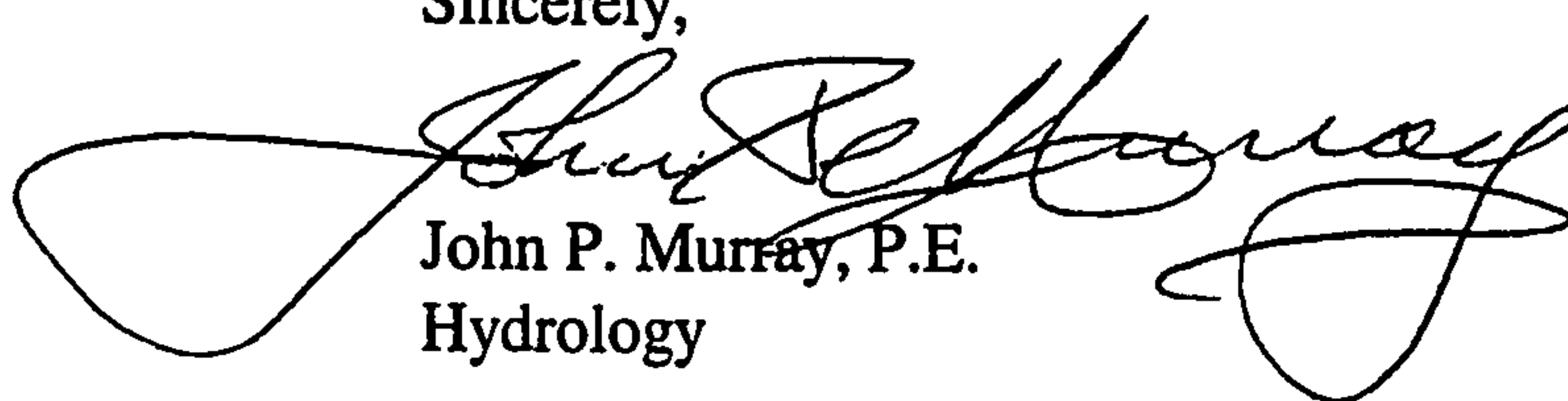
Dear Mr. Lovelady:

Based on the information provided on your February 10, 2000 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

6- PLEX APARTMENTS
 APPLICANT'S NAME: 315 COLUMBIA SE ZONE ATLAS/DRNG. FILE #: K-16 / 0060
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT 17 BLOCK 14 UNIVERSITY HEIGHTS
 CITY ADDRESS: 315 COLUMBIA SE
 ENGINEERING FIRM: FRANK D. LOVELADY PE CONTACT: FRANK D. LOVELADY
 ADDRESS: 300 ALAMOSA NW 87107 PHONE: 345-2267
 OWNER: Phil DuBois CONTACT: Phil DuBois
 ADDRESS: 8100 LANG AVE NE PHONE: 345-2267
 ARCHITECT: ROBERT C. PONTO CONTACT: JIM RYAN
 ADDRESS: 3250 COORS BLVD NW PHONE: 833-0345
 SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: 2416-D MONROE NE PHONE: 889-8056
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: FEBRUARY 10, 2000

BY: Frank D. Lovelady

Revised 02/98

