



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 19, 2002

Frank Lovelady, P.E.
300 Alamosa Rd NW
Albuquerque, New Mexico 87107

RE: DON KEITH PROPERTIES FOUR PLEX (K-16/D61)
(202 Stanford Dr SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 1/16/2001
ENGINEERS CERTIFICATION DATED 2/1/2002

Dear Mr. Lovelady:

Based upon the information in your Engineers Certification submittal dated 2/15/2002, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
8LB

C: Vickie Chavez, COA
✓ drainage file
approval file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: KEITH PROPERTIES FOUR-PLEX ZONE MAP/DRG. FILE #: K16/D61
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, BLOCK 15 UNIVERSITY HEIGHTS ADDITION.
CITY ADDRESS: 202 STANFORD DR SE

ENGINEERING FIRM: FRANK D. LOVELADY
ADDRESS: 300 ALAMOSA NW
CITY, STATE: ALBUQUERQUE NM 87107

CONTACT: FRANK LOVELADY
PHONE: 345-2267
ZIP CODE: 87107

OWNER: KEITH PROPERTIES
ADDRESS: 209 COLUMBIA DRIVE SE
CITY, STATE: ALBUQUERQUE NM

CONTACT: DON KEITH
PHONE: 255-2685
ZIP CODE: 87108

ARCHITECT: G.P. GATES ARCHITECT
ADDRESS: 2839 GRACELAND
CITY, STATE: ALBUQUERQUE NM

CONTACT: G.P. GATES
PHONE: 837-9434
ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CO.
ADDRESS: 2412 MONROE NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: TONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: Don Keith Construction
ADDRESS: 209 COLUMBIA SE APT NO6
CITY, STATE: ALBUQUERQUE NM

CONTACT: DON KEITH
PHONE: 255-2685
ZIP CODE: 87106

CHECK TYPE OF SUBMITTAL:

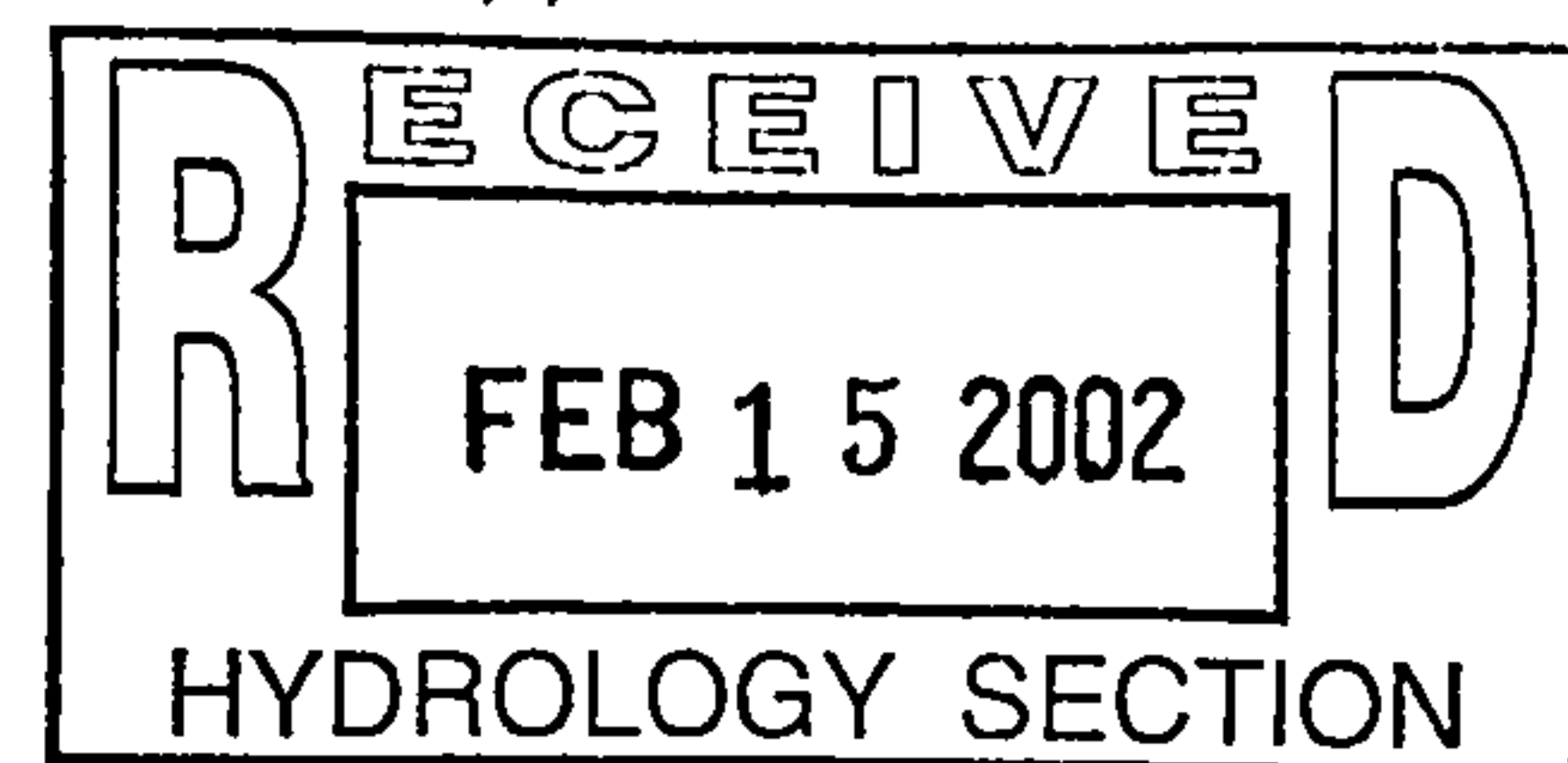
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

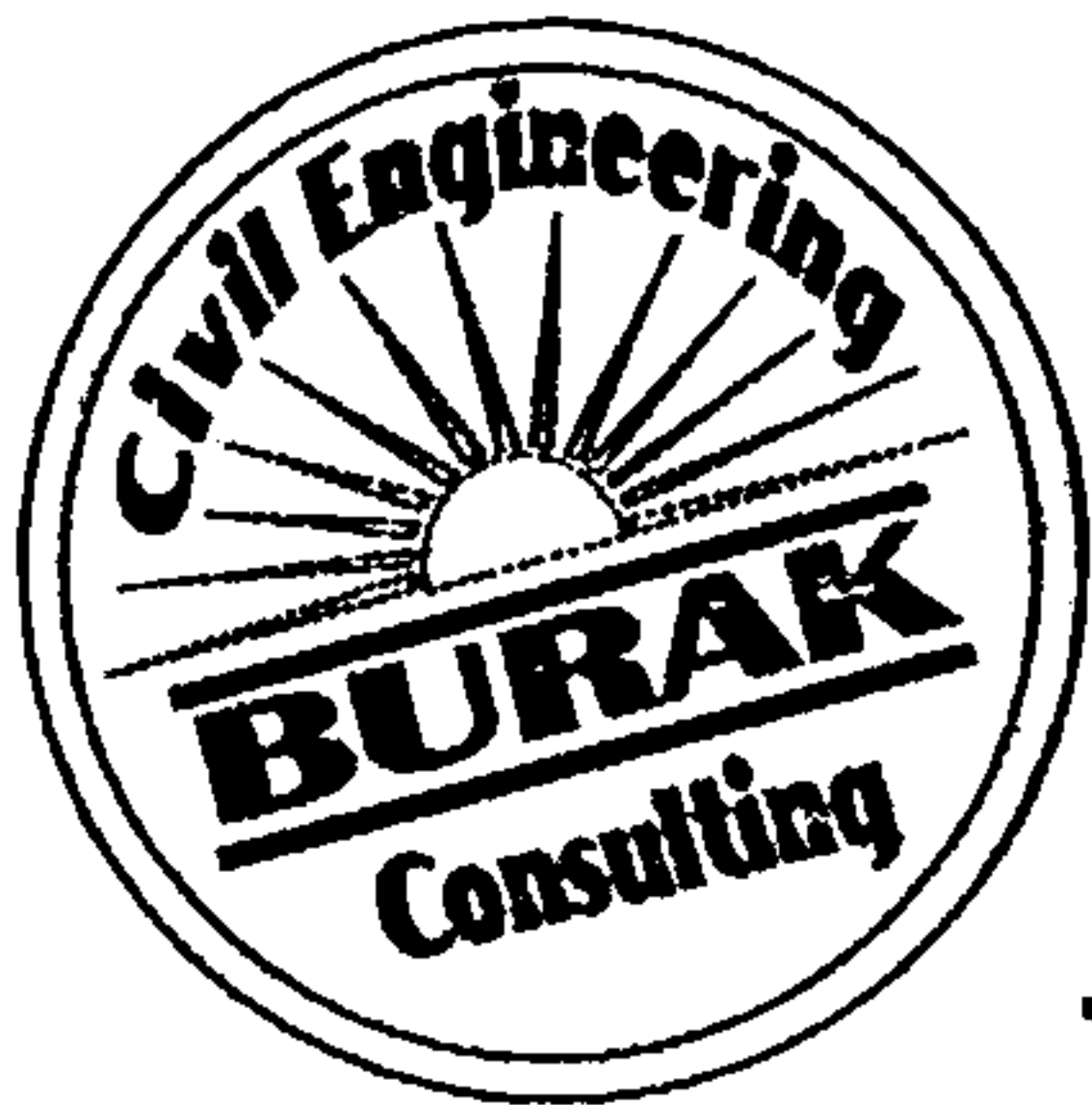
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/15/02 BY: Frank D. Lovelady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461

235-2256 cell

296-0467 fax

February 14, 2001

Loren Meinz, P.E.,
Head Hydrology Division
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

- **Case No:** K16-D061
- **Submittal dated:** January 17, 2001 by Lovelady
- **Project Title:** Don Kieth Four Plex
- **Location:** 202 Stanford Dr.
- **Approval Type:** Building Permit

- **Note:** *This submittal concerns the construction of a new fourplex at Stanford and Silver.*

Dear Mr. Meinz:

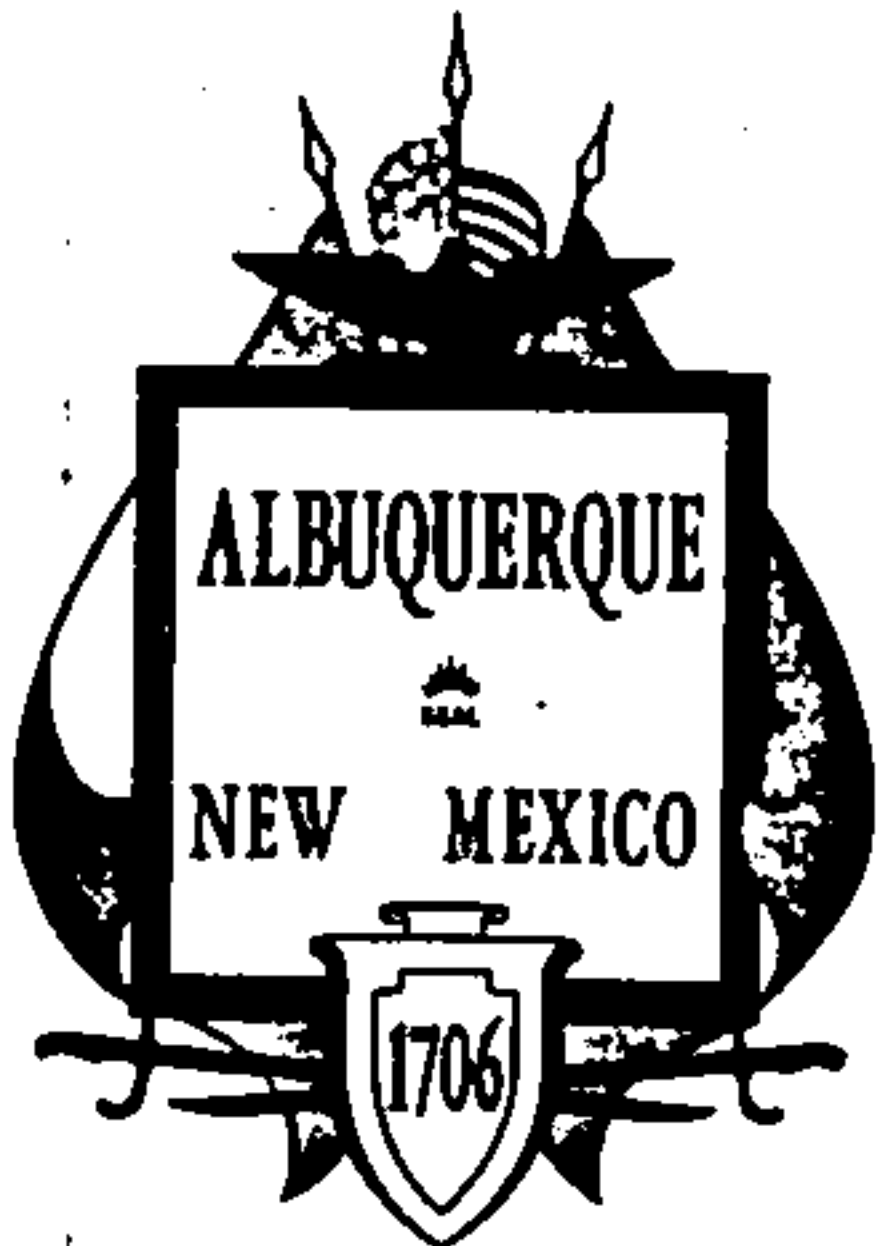
Based on the submittal stamped January 16, 2001, the proposed grading and drainage plan concept does appear to be sufficient and can be approved for building permit at this time. However, it would be helpful in the future if the applicant would address the following:

- No offsite topography is shown on the plan. It would be helpful in assessing the offsite impact to the subject property.
- Is runoff from the site intended to flow over the existing sidewalk? No new sidewalk culverts were found on the Plan.
- No street flow capacity calculations were included on the Plan.
- No storm drainage capacity calculations were found on the Plan.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

Mark H. Burak, P.E.
Hydrology Consultant



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

April 8, 2002

G. Patrick Gates, Registered Architect
2839 Graceland N.E.
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Keith 4-Plex, [K16 / D061]
202 Stanford S.E.
Architect's Stamp Dated 04/08/02

Dear Mr. Gates:

The TCL / Letter of Certification submitted on April 8, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: KEITH 4-PLEX ZONE MAP/DRG. FILE #: K-16 E/D 61
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, BLOCK 15 UNIVERSITY Hgts. Addition
 CITY ADDRESS: 202 STANFORD SE

ENGINEERING FIRM: FRANK LOVELADY
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALBUQ., NM 87107

CONTACT: FRANK LOVELADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: KENH PROPERTIES
 ADDRESS: 209 COLUMBIA DR. SE
 CITY, STATE: ABQ. NM

CONTACT: DON KEITH
 PHONE: 255-2685
 ZIP CODE: 87106

ARCHITECT: G.P. GATES, ARCHITECT
 ADDRESS: 2839 GRACELAND NE
 CITY, STATE: ABQ. NM

CONTACT: G.P. GATES
 PHONE: 837-9434
 ZIP CODE: 87110

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

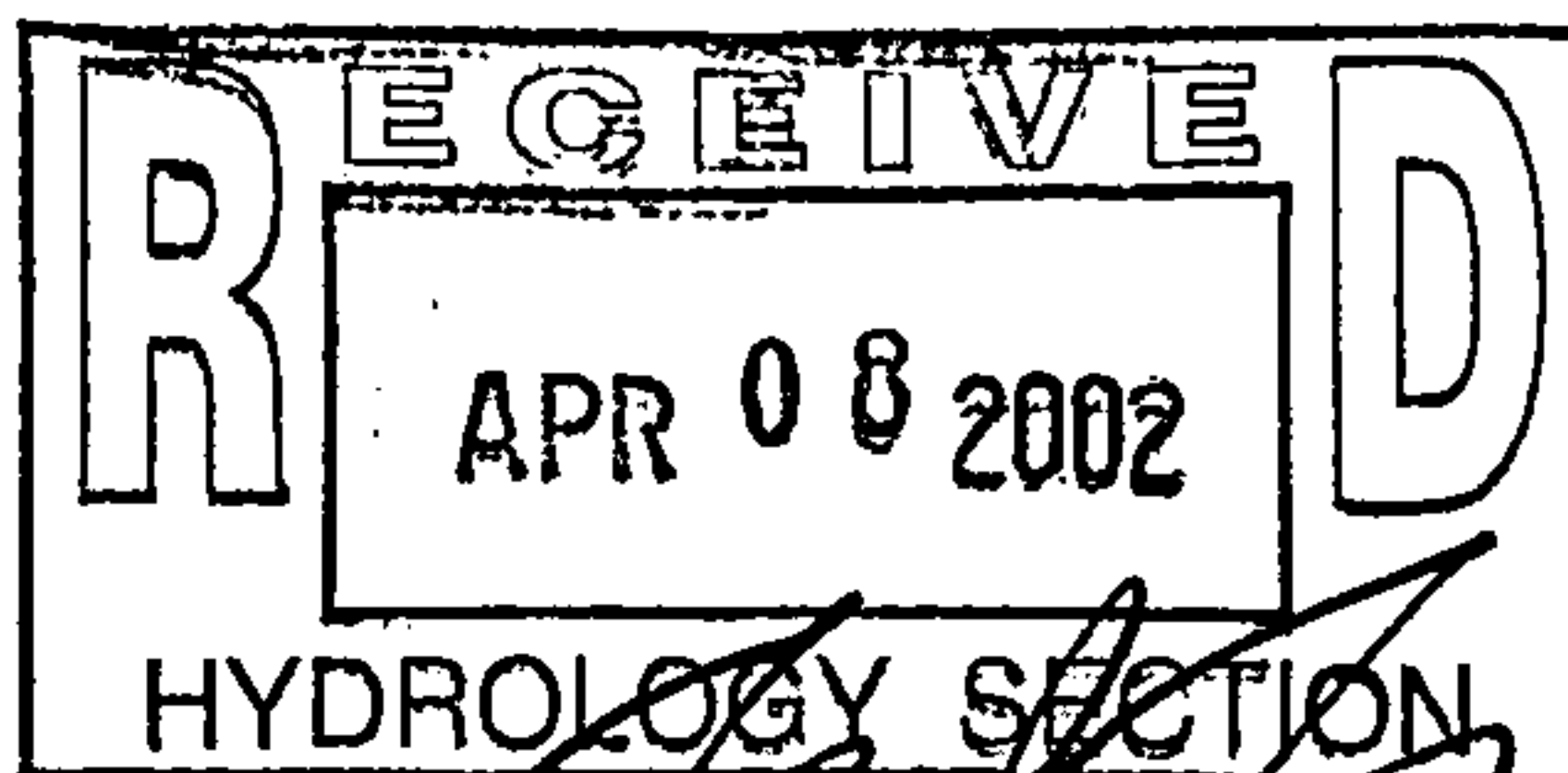
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



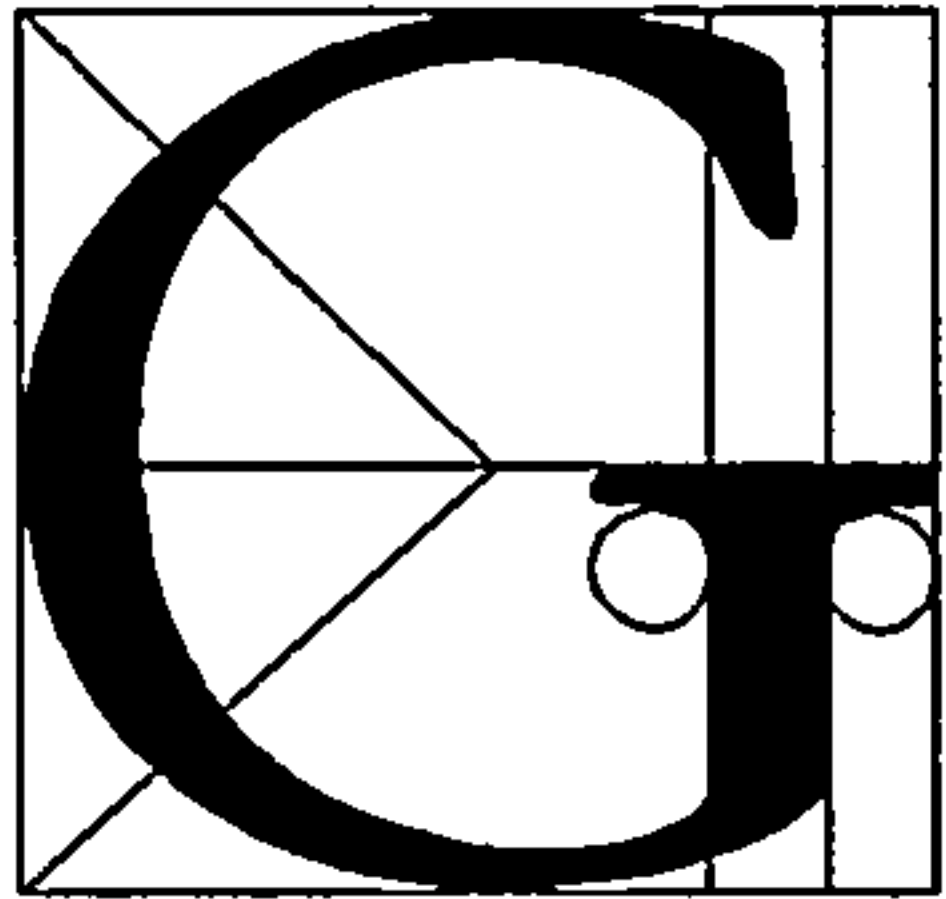
DATE SUBMITTED: 4/8/02

BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

4/8/02 - old in C.O. folder (one issued) - Sent letter (dated 4/8); logged in ✓



**G.P. Gates
Design Builders**

**Architecture &
Construction**

**Property Inspection
& Analysis**

**G. Patrick Gates,
Architect**

Page 1 of 1

2839 Graceland NE
Albuquerque, NM
87110

Tel: (505) 265-6463
Fax: (505) 837-9434

April 8, 2002

Mr. Mike Zamora
Transportation Development
City of Albq. Building Safety Division
2nd Street NW
Albuquerque, NM 87102

RE: Project - 4-Plex Permit #0101655
202 Stanford SE, Albuquerque, NM

Dear Mr. Zamora,

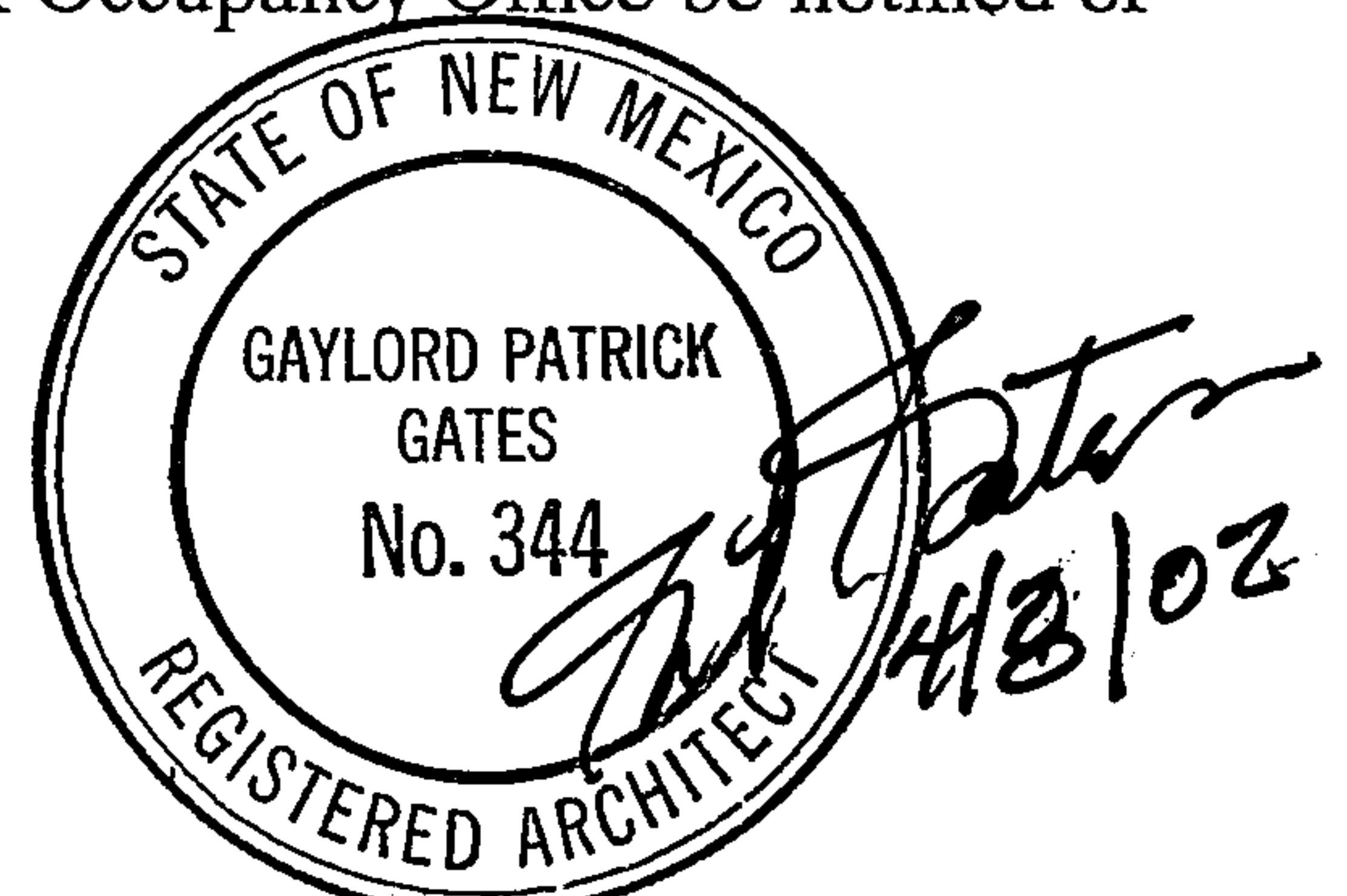
This will advise you that the subject project has been completed.

With my review of the conditions required, I herein certify the work has been completed in substantial compliance with the Review, Comments and Site Plan Drawing A1.1 as approved for Building Permit by your office.

It is herein requested that the Certificate of Occupancy Office be notified of our submittal and your approval.

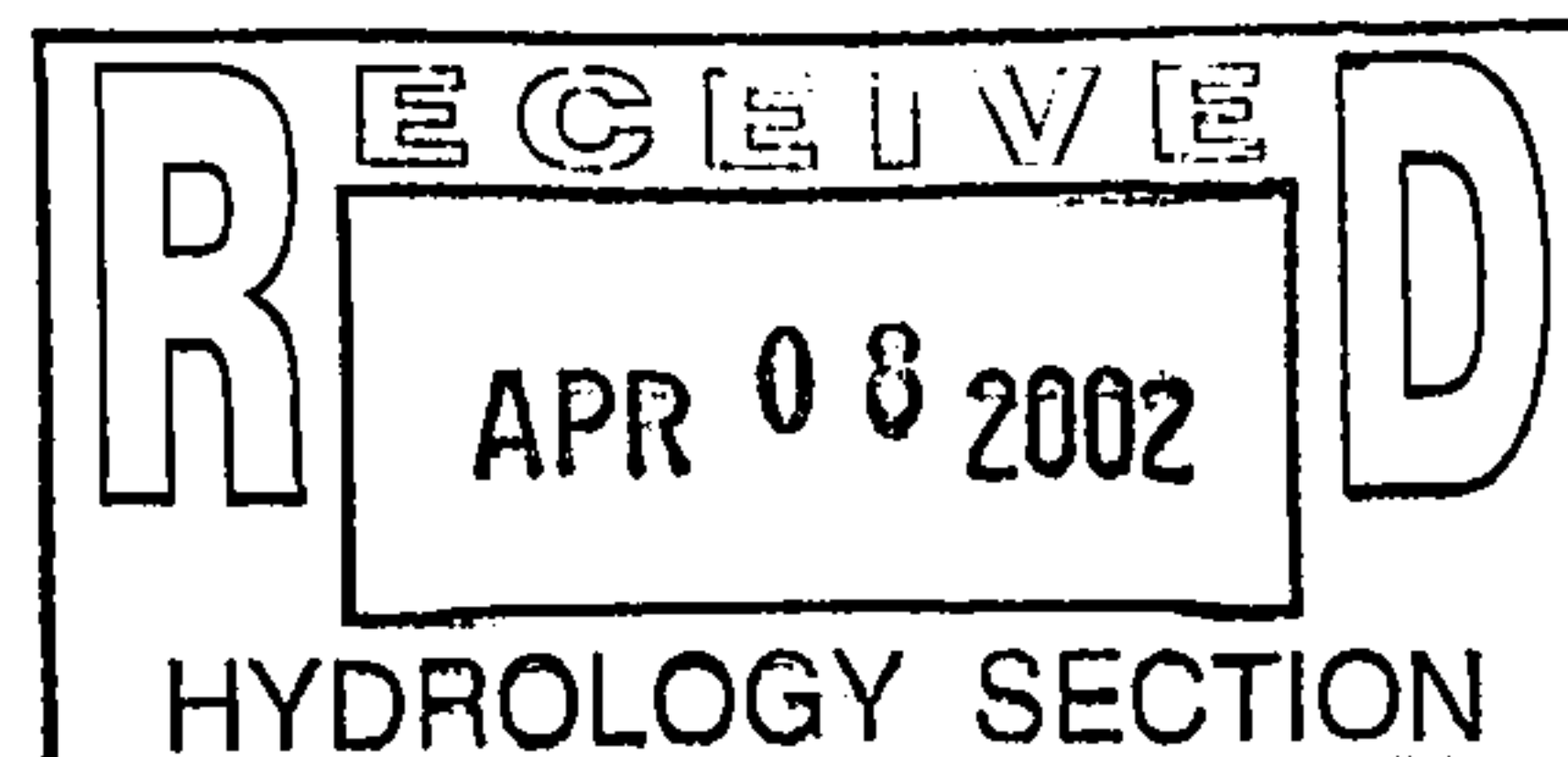
Thank you,


G. Patrick Gates
Architect



Attachment: Copy of Drawing A1.1 as approved for Permit #0101655

GPG/rjg



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: KEITH PROPERTIES FOUR-PLEX ZONE MAP/DRG. FILE #: K16/D61
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, BLOCK 15 UNIVERSITY HEIGHTS ADDITION.
 CITY ADDRESS: 202 STANFORD DR SE

ENGINEERING FIRM: FRANK D. LOVELADY
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALBUQUERQUE NM 87107

CONTACT: FRANK LOVELADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: KEITH PROPERTIES
 ADDRESS: 209 COLUMBIA DRIVE SE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: DON KEITH
 PHONE: 255-2685
 ZIP CODE: 87108

ARCHITECT: G.P. GATES ARCHITECT
 ADDRESS: 2839 GRACELAND
 CITY, STATE: ALBUQUERQUE NM

CONTACT: G.P. GATES
 PHONE: 837-9434
 ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CO.
 ADDRESS: 2412 MONROE NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: TONY HARRIS
 PHONE: 889-8056
 ZIP CODE: 87110

CONTRACTOR: Don Keith Construction
 ADDRESS: 209 COLUMBIA SE APT NO6
 CITY, STATE: ALBUQUERQUE NM

CONTACT: DON KEITH
 PHONE: 255-2685
 ZIP CODE: 87106

CHECK TYPE OF SUBMITTAL:

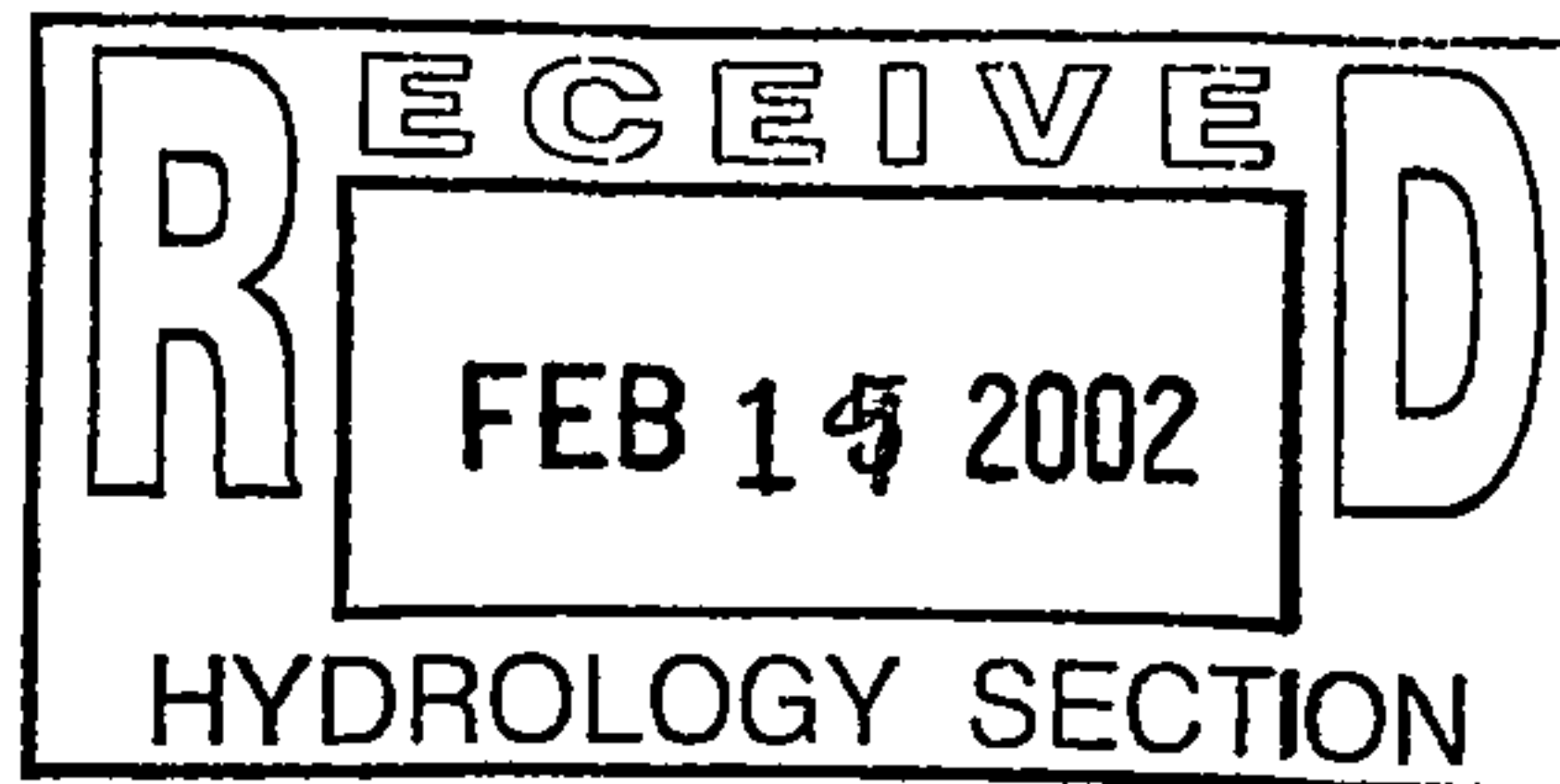
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/15/02 BY: Frank D. Lovelady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

2/26/02 - Tel Diss'd, c/d Arch., L.M.M. - Logged in
GT*



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 16, 2001

Frank J. Lovelady, P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**RE: *DON KEITH PROPERTIES FOUR-PLEX, Stanford Drive SE (K16-D61).
DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP
DATED JANUARY 16, 2001.***

Dear Mr. Lovelady:

Based on the information provided on your January 17, 2001 submittal, the above referenced project is approved for Building Permit. This is an infill site in the UNM area. Runoff exits the site via an alley to Silver Avenue or through a drivepad to Stanford Avenue.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ✓File

Terri Martin

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: DON KEITH PROPERTIES
FOUR-PLEX ZONE ATLAS/DRNG. FILE #: K-16 / D-61
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT 1, BLOCK 15, UNIVERSITY HEIGHTS ADDITION
 CITY ADDRESS: 202 STANFORD DRIVE SE
 ENGINEERING FIRM: FRANK D. LOVELADY DE CONTACT: FRANK LOVELADY
 ADDRESS: 300 ALAMOSA ROAD NW PHONE: 345-2267
 OWNER: DON KEITH PROPERTIES CONTACT: DON KEITH
 ADDRESS: 8322 ZUNI SE PHONE: 884-4070
 ARCHITECT: G. PATRICK GATES, ARCHITECT CONTACT: PAT GATES
 ADDRESS: 8322 ZUNI SE PHONE: 265-64-63
 SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: 2412 MONROE NE PHONE: 889-8056
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: January 17, 2001
 BY: Frank D. Lovelady

Revised 02/98

