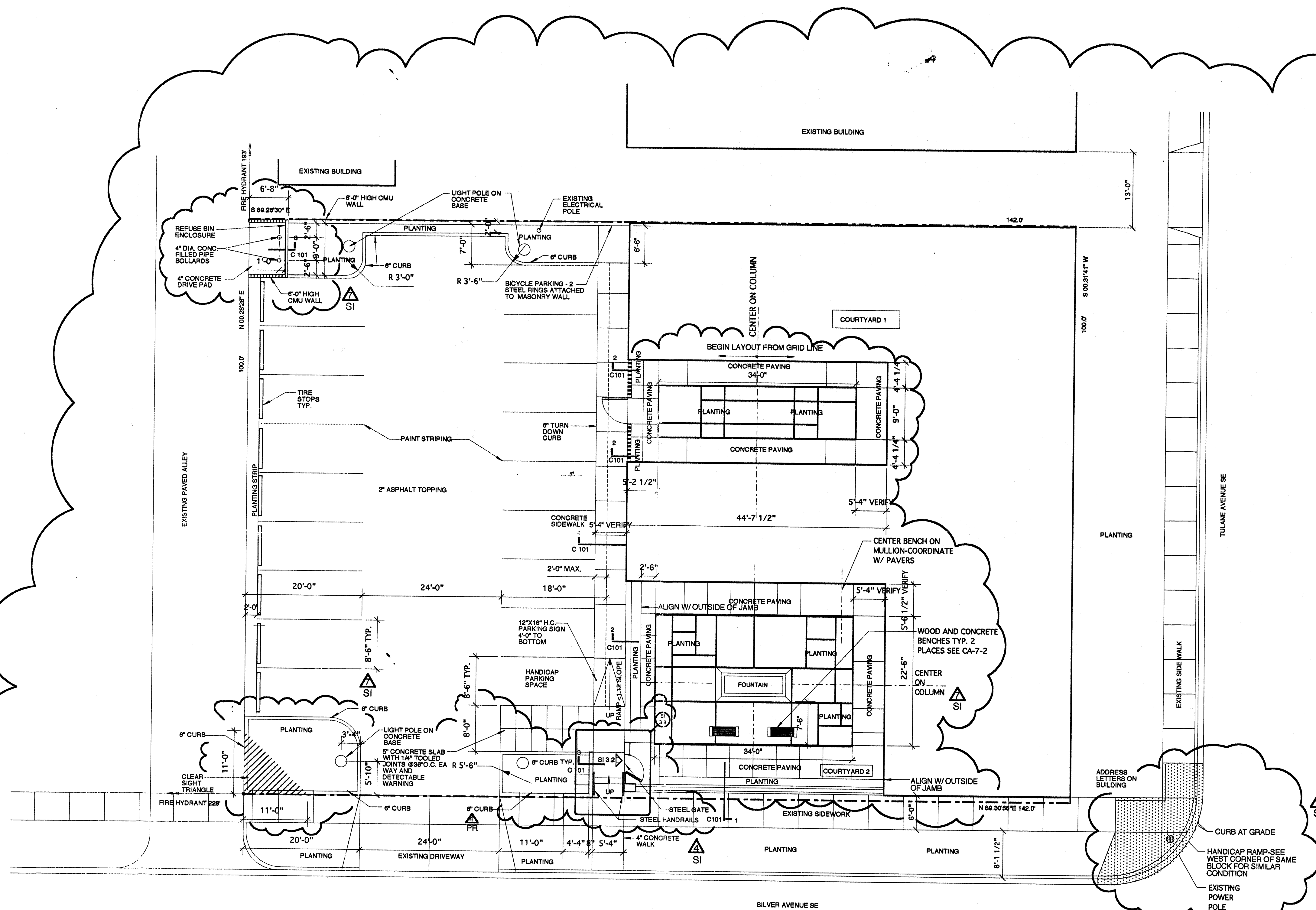




SITE PLAN
SCALE: 1"=10'-0"

Legal Description: Lots 9A, Block 48, University Heights Addition, as filed in the office of the Bernalillo County Clerk, in Volume D, Folio 27, February 7, 1916
Address: 111 Tulane Dr. SE

RECEIVED
DEC 19 2002
HYDROLOGY SECTION

W. Anthony Evankow
No. 2072
REGISTERED ARCHITECT

W. Anthony Evankow
No. 2072
REGISTERED ARCHITECT

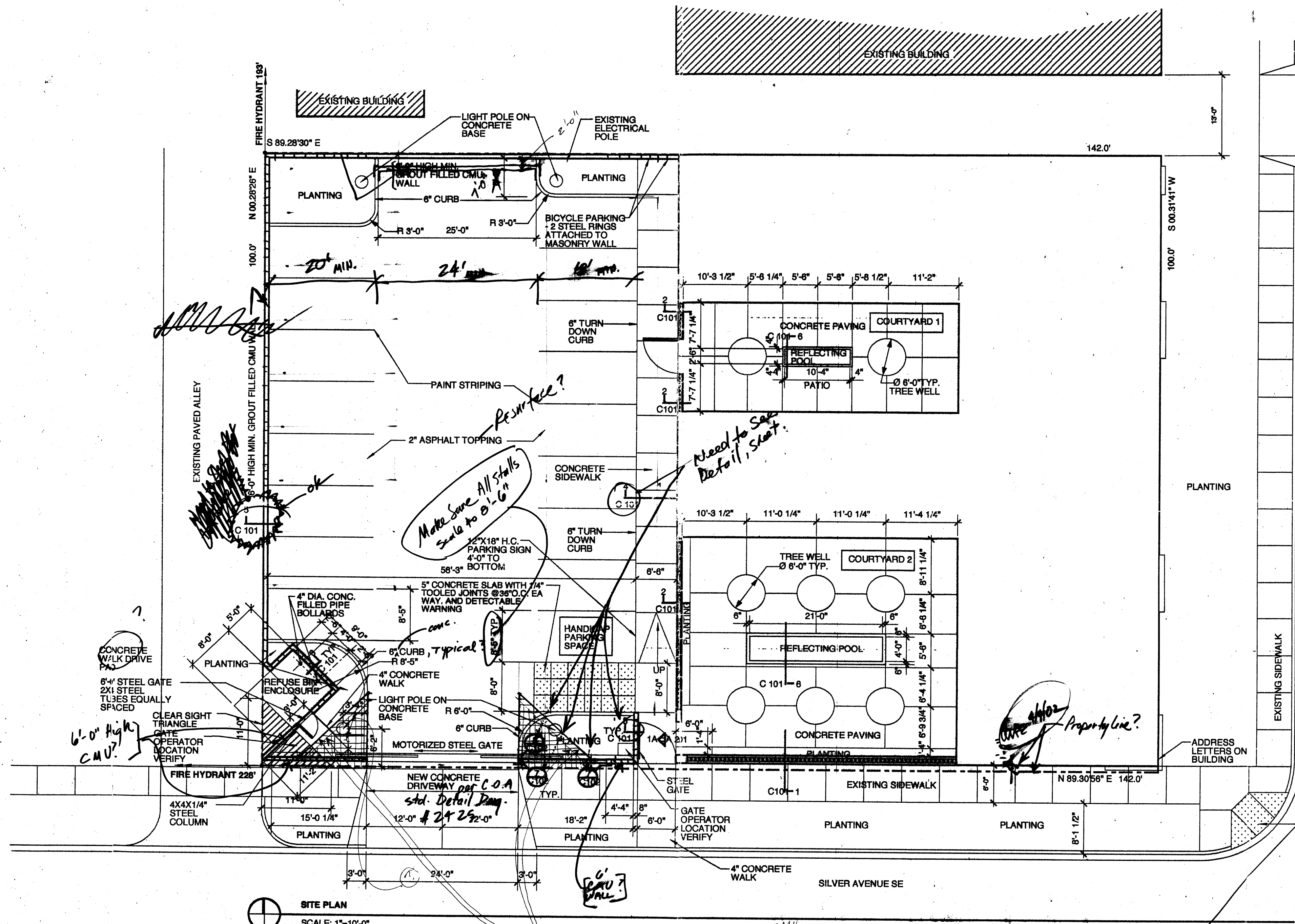
REVISED
MAY 21, 2002
AUGUST 12, 2002
DECEMBER 2, 2002

MARCH 11, 2002
C 100

W. ANTHONY EVANKOW ARCHITECT
317 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
TEL. 505-255-3451 FAX 505-255-3868

LAW OFFICES
111 TULANE AVE SE
ALBUQUERQUE, NEW MEXICO

SITE PLAN



SITE PLAN
SCALE: 1"=10'-0"

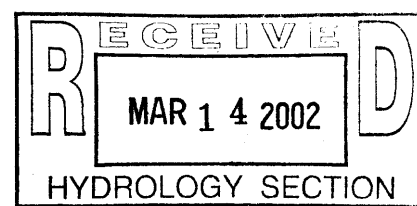
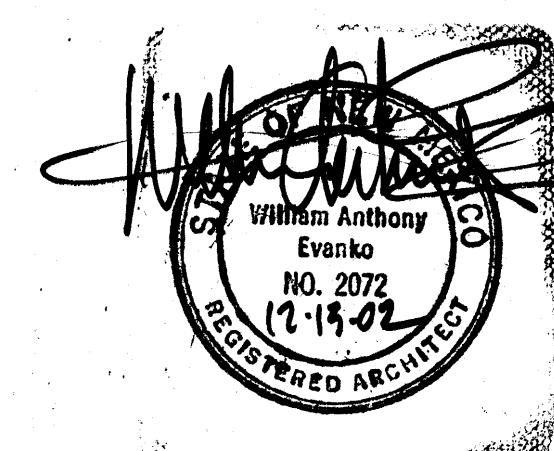
Legal Description: Lots 9A, Block 48, University Heights Addition, as filed in the office of the Bernalillo County Clerk, in Volume D, Folio 27, February 7, 1916
Address: 111 Tulane Dr. SE

Sight visibility Triangles: Blue - from N.Walk, in toward lot
Red - from Property Line (?), in toward lot.

Label & show ex. sidewalk, Driveway, Curb & Gutter (or Carlsbad)

Not this time, on future plans

3/26/02





VICINITY MAP K-16 FIRM PANEL 0353D

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (111 TULANE AVENUE S.E.) LOT 9-A BLOCK 48 UNIVERSITY HEIGHTS ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.3263 ACRES AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF TULANE AVENUE S.E. AND SILVER AVENUE S.E.. THE SITE IS COMPLETELY DEVELOPED WITH A 6350 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0353D, DATED SEPTEMBER 20, 1996, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A DECREASE OF 1196 SQ. FT. OF BUILDING AREA. THIS AREA WILL BE CONVERTED TO PATIO AREAS, THEREFORE, CREATING A SMALL DECREASE IN IMPERVIOUS AREA. ALSO, NEW LANDSCAPED AREAS WILL BE CONSTRUCTED WHICH ALSO WILL CREAT A DECREASE IN IMPERVIOUS AREA. THE EXISTING PARKING AREA TO THE WEST WILL BE OVERLAYED WITH NEW ASPHALT. THE EXISTING FLOW PATTERN OF RUN-OFF TO THE EXISTING 16' PAVED PUBLIC ALLEY WILL REMAIN THE SAME. NO INCREASE IN RUN-OFF WILL OCCUR. THE CALCULATION, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.3263 ac.
LAW OFFICES 111 TULANE S.E.

ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	AREA
TREATMENT B	0 ac.
TREATMENT C	0 ac.
TREATMENT D	0.0097 ac.
	0.0241 ac.
	0.3022 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)x(0.00)+(0.78)x(0.00)+(1.13)x(0.01)+(2.12)x(0.32)/ 0.33 ac.
= 2.09 in.

V100-360 = (2.09)x(0.33)/ 12 = 0.056846 ac-ft = 2476 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.56)x(0.00)+(2.28)x(0.00)+(3.14)x(0.01)+(4.70)x(0.32)= 1.52 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)x(0.00)+(0.78)x(0.00)+(1.13)x(0.02)+(2.12)x(0.30)/ 0.33 ac.
= 2.05 in.

V100-360 = (2.05)x(0.33)/ 12.0 = 0.055658 ac-ft = 2424 cf

V100-1440 = (0.06)+(0.30)x(2.75 - 2.35)/ 12 = 0.065731 ac-ft = 2863 cf

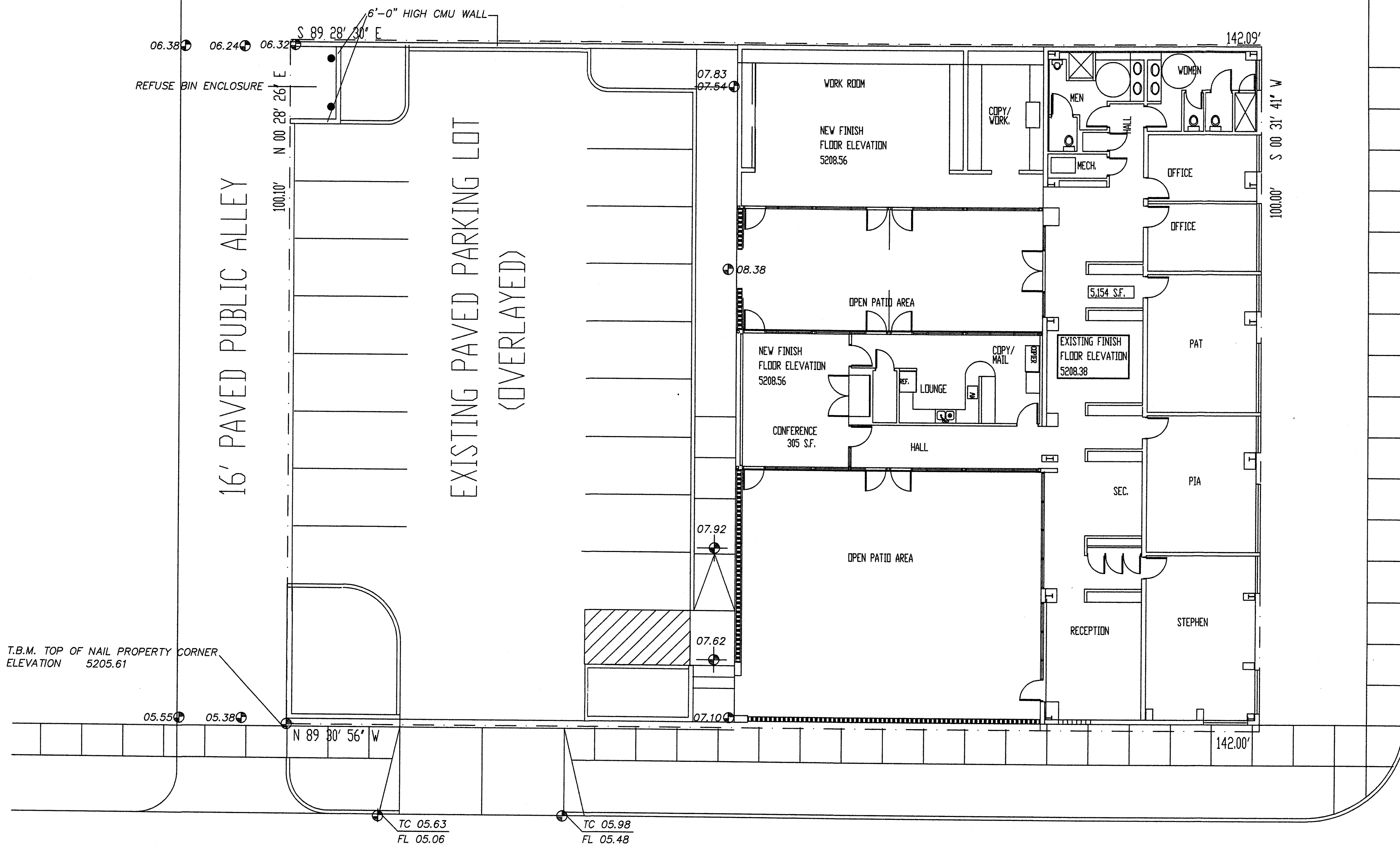
V100-10day = (0.06)+(0.30)x(3.95 - 2.35)/ 12 = 0.095951 ac-ft = 4180 cf

PROPOSED PEAK DISCHARGE:

Q100 = (1.56)x(0.00)+(2.28)x(0.00)+(3.14)x(0.02)+(4.70)x(0.30)= 1.50 CFS

DECREASE 1.52 CFS-1.50 CFS = 0.02 CFS

T.B.M. TOP OF NAIL PROPERTY CORNER
ELEVATION 5205.61



SCALE : 1" = 10'

SYMBOL LEGEND

PROPOSED CONTOUR 07.00

AS-BUILT SPOT ELEVATION 07.50

EXISTING SPOT ELEVATION 07.50

PROPERTY LINE DESIGNATION

ABBREVIATION LEGEND

TOP OF CURB - TC = 57.25
FLOWLINE - FL = 56.57
TOP OF WALL - TW = 59.00

EXISTING OR PROPOSED CONCRETE SURFACE

SILVER AVENUE S.E.

DRAINAGE CERTIFICATION

I David Gatterman NMPE 14920, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/28/2001. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST ON MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY. THE CHANGE OF RECORD ENGINEER HAS TAKEN PLACE BECAUSE MR. R.G. LEE JR. IS NOW DECEASED. ONLY CHANGE WAS RELOCATION OF THE REFUSE BIN

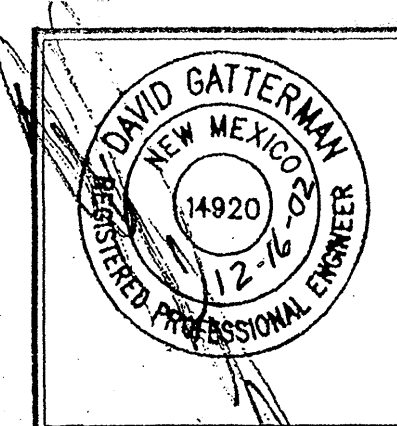
AS-BUILT SPOT ELEVATION

07.50
07.83
07.50

LEGAL DESCRIPTION

LOT 9-A BLOCK 48
UNIVERSITY HEIGHTS ADDITION
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.
BENCHMARK:

A SQUARE CUT CHISELED ON TOP OF
CONCRETE CURB AT THE ESE RETURN AT THE
INTERSECTION OF WELLESLEY DR. AND SILVER
AVENUE S.E. 9-K16 ELEVATION: 5203.156



JOB NO:	
DATE:	NOVEMBER 2001
REVISIONS	
CERTIFICATION	12/16/02

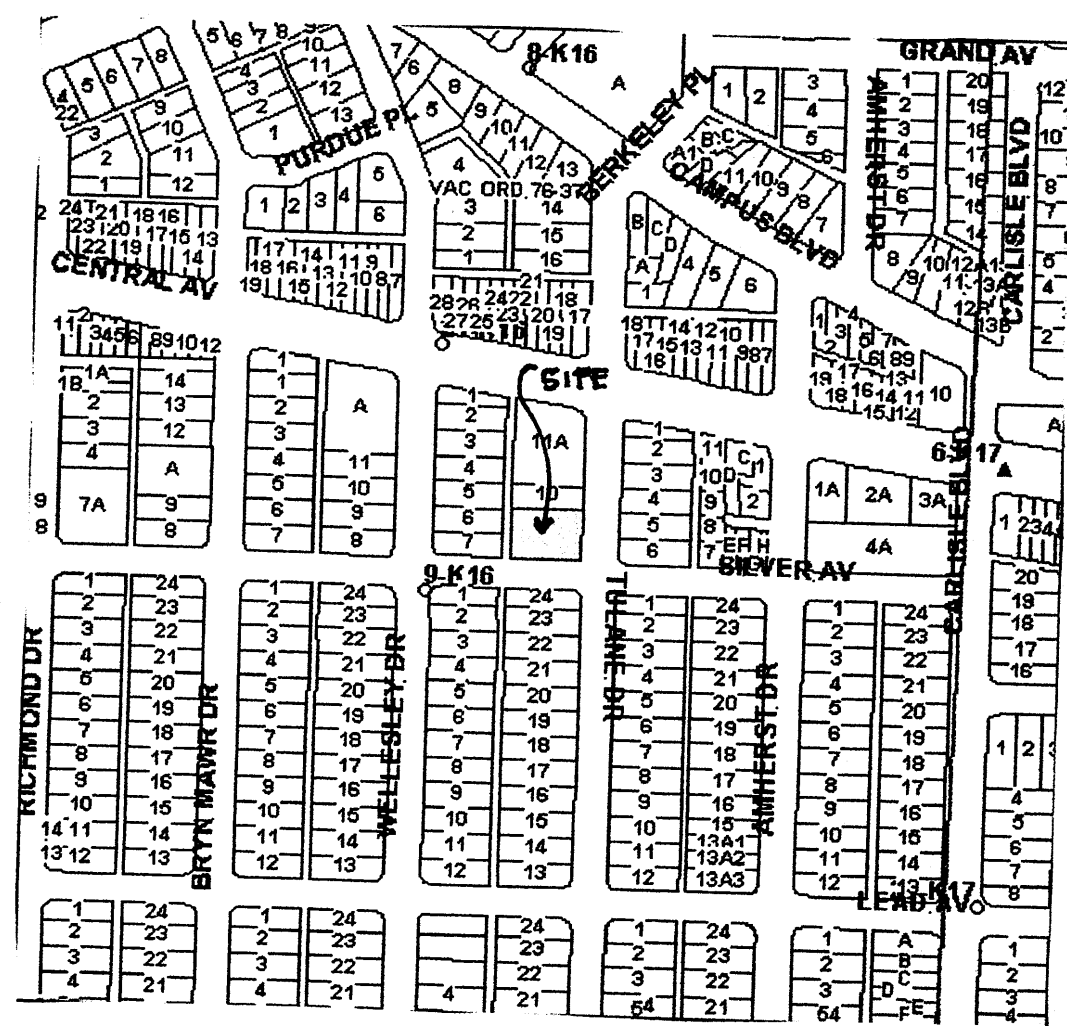
Sheet Title	GRADING/DRAINAGE PLAN
Drawn By: BM	Checked By:

BIM DEVELOPMENT CONSULTANT DESIGN - PLANNER 4409 Karrol Rd. S.W. Albuquerque, New Mexico

Project Name LAW OFFICES 111 TULANE AVENUE S.E. ALBUQUERQUE, NEW MEXICO
--

SHEET NO. GD





VICINITY MAP K-16

FIRM PANEL 0353D



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (111 TULANE AVENUE S.E.) LOT 9--A BLOCK 48 UNIVERSITY HEIGHTS ADDITION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.3263 ACRES AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF TULANE AVENUE S.E. AND SILVER AVENUE S.E.. THE SITE IS COMPLETELY DEVELOPED WITH A 6350 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0353D, DATED SEPTEMBER 20, 1996, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A DECREASE OF 1196 SQ. FT. OF BUILDING AREA. THIS AREA WILL BE CONVERTED TO PATIO AREAS. THEREFORE, CREATING A SMALL DECREASE IN IMPERVIOUS AREA. ALSO, NEW LANDSCAPED AREAS WILL BE CONSTRUCTED WHICH ALSO WILL CREAT A DECREASE IN IMPERVIOUS AREA. THE EXISTING PARKING AREA TO THE WEST WILL BE OVERLAYED WITH NEW ASPHALT. THE EXISTING FLOW PATTERN OF RUN-OFF TO THE EXISTING 16' PAVED PUBLIC ALLEY WILL REMAIN THE SAME. NO INCREASE IN RUN-OFF WILL OCCUR. THE CALCULATION, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.3263 ac.
LAW OFFICES 111 TULANE S.E.

ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

	EXISTING CONDITIONS: AREA	PROPOSED CONDITIONS: AREA
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0 ac.	0 ac.
TREATMENT C	0.0097 ac.	0.0241 ac.
TREATMENT D	0.3166 ac.	0.3022 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)x(0.00)+(0.78)x(0.00)+(1.13)x(0.01)+(2.12)x(0.32)/ 0.33 ac.
= 2.09 in.
V100-360 = (2.09)x(0.33)/ 12 = 0.056846 ac-ft = 2476 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.56)x(0.00)+(2.28)x(0.00)+(3.14)x(0.01)+(4.70)x(0.32)= 1.52 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)x(0.00)+(0.78)x(0.00)+(1.13)x(0.02)+(2.12)x(0.30)/ 0.33 ac.
= 2.05 in.
V100-360 = (2.05)x(0.33)/ 12.0 = 0.055658 ac-ft = 2424 cf

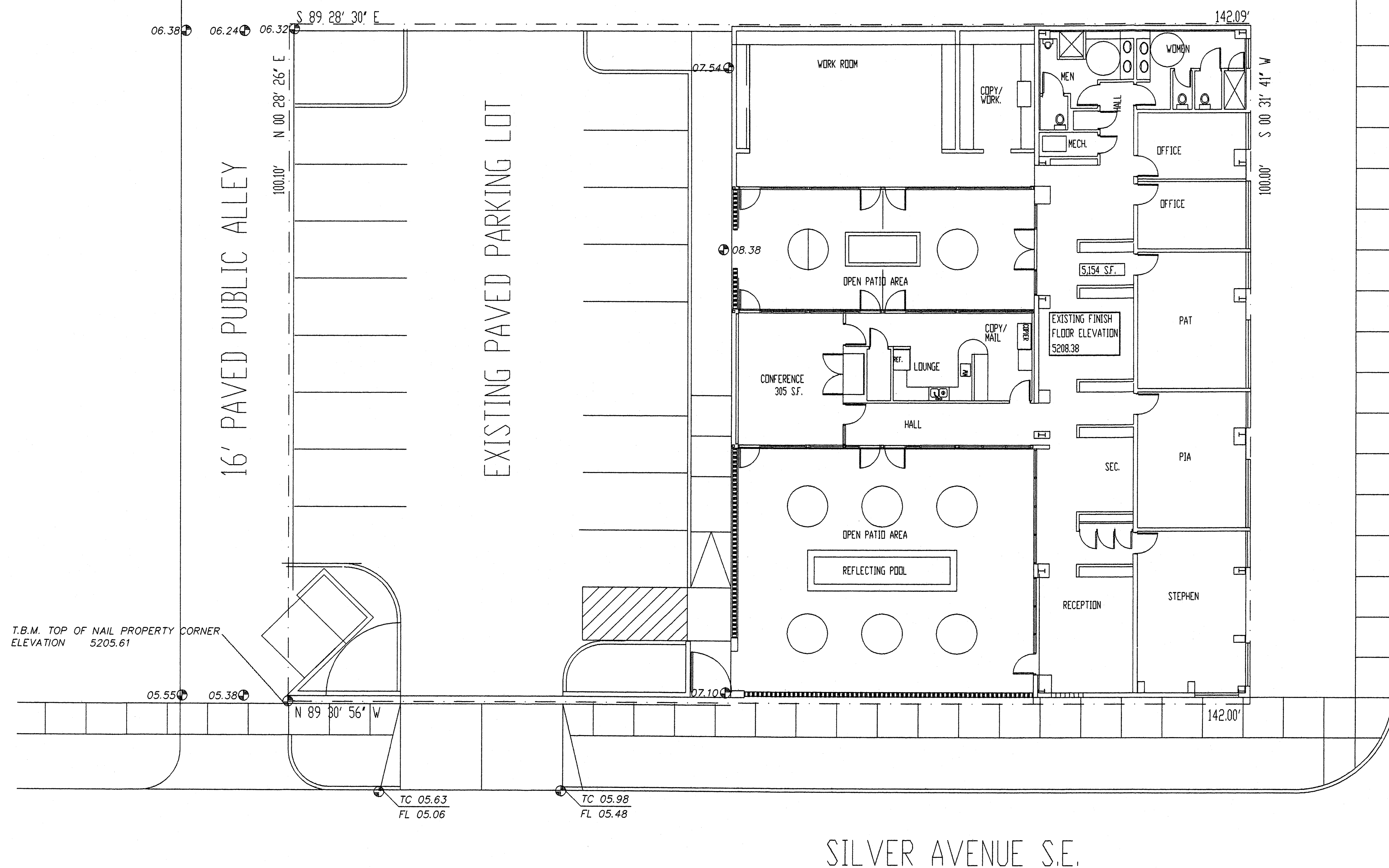
V100-1440 = (0.06)+(0.30)x(2.75 - 2.35)/ 12 = 0.065731 ac-ft = 2863 cf

V100-10day = (0.06)+(0.30)x(3.95 - 2.35)/ 12 = 0.095951 ac-ft = 4180 cf

PROPOSED PEAK DISCHARGE:

Q100 = (1.56)x(0.00)+(2.28)x(0.00)+(3.14)x(0.02)+(4.70)x(0.30)= 1.50 CFS

DECREASE 1.52 CFS-1.50 CFS = 0.02 CFS



SYMBOL LEGEND

PROPOSED CONTOUR	58.00
PROPOSED SPOT ELEVATION	57.50
EXISTING SPOT ELEVATION	57.50
PROPERTY LINE DESIGNATION	

ABBREVIATION LEGEND

TOP OF CURB	- TC = 57.25
FLOWLINE	- FL = 56.57
TOP OF WALL	- TW = 59.00
EXISTING OR PROPOSED CONCRETE SURFACE	

LEGAL DESCRIPTION

LOT 9--A BLOCK 48
UNIVERSITY HEIGHTS ADDITION
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

BENCHMARK:

A SQUARE CUT CHISELED ON TOP OF
CONCRETE CURB AT THE ESE RETURN AT THE
INTERSECTION OF WELLESLEY DR. AND SILVER
AVENUE S.E. 9-K16 ELEVATION: 5203.156



SCALE : 1" = 10'



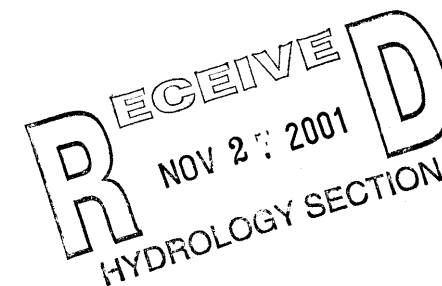
JOB NO:	
DATE:	NOVEMBER 2001
REVISIONS	

Sheet Title	GRADING/DRAINAGE PLAN
Drawn By:	BJM
Checked By:	

BJM DEVELOPMENT CONSULTANT DESIGN - PLANNER 4409 Karrol Rd. S.W. Albuquerque, New Mexico

Project Name LAW OFFICES 111 TULANE AVENUE S.E. ALBUQUERQUE, NEW MEXICO
--

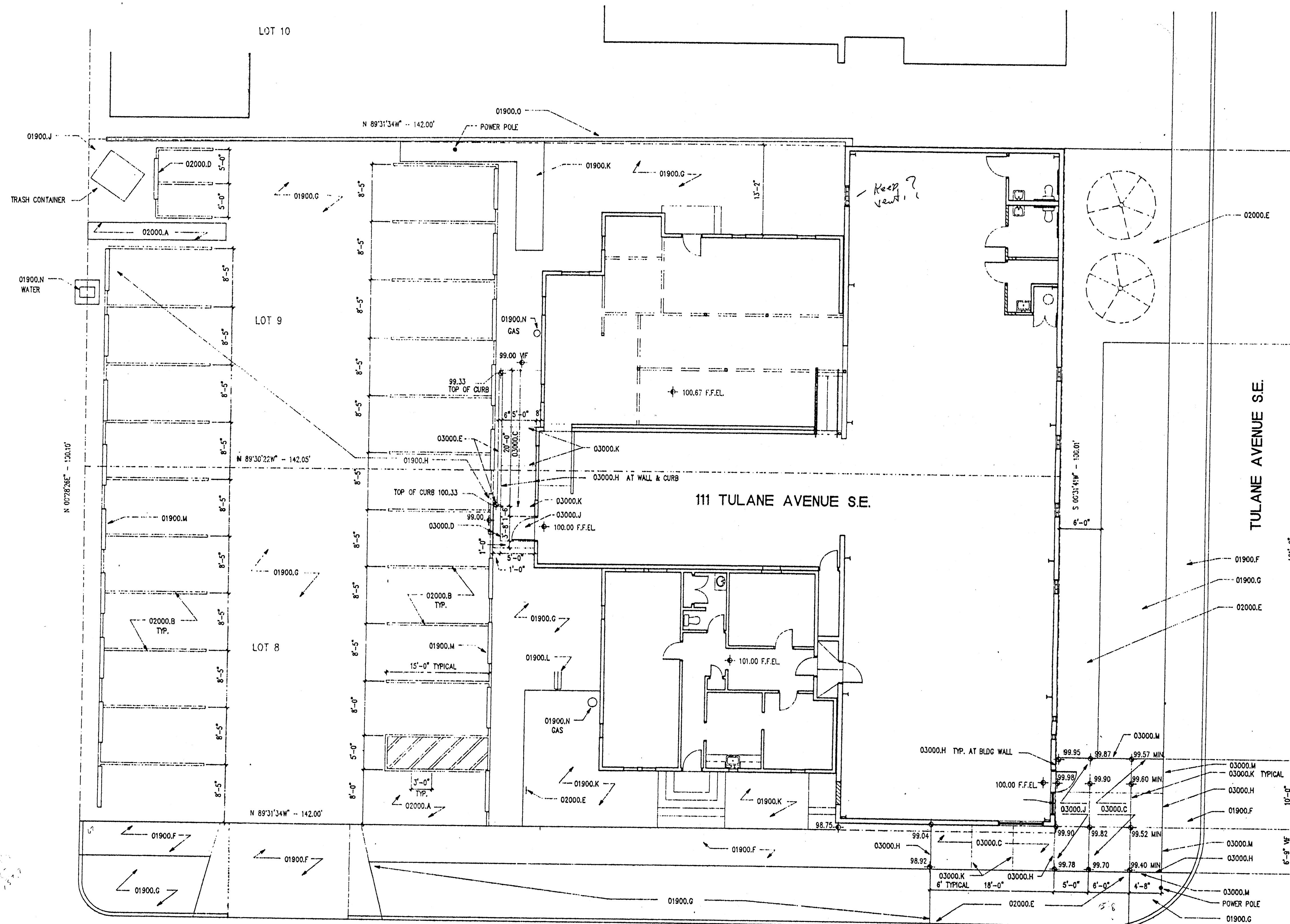
SHEET NO. GD



MATERIALS KEYING LEGEND

- 01900-DEMOLITION & REMODELING
 F. EXISTING CONCRETE PAVING TO REMAIN
 G. EXISTING ASPHALTIC CONCRETE PAVING TO REMAIN
 H. REMOVE AND RELOCATE CONCRETE WHEELSTOP
 J. REMOVE DEBRIS AT BROKEN END OF CMU WALL
 K. EXISTING LANDSCAPE AREA TO REMAIN
 L. EXISTING BICYCLE RACK TO REMAIN (CAPACITY 2)
 M. EXISTING CONCRETE WHEELSTOP TO REMAIN, TYPICAL
 N. UTILITY METER TO REMAIN
 O. EXISTING WALL TO REMAIN
 02000-STEWART
 A. 3" ASPHALTIC CONCRETE PAVING PATCH. REMOVE BROKEN PAVING, WEEDS AND SOIL TO 6" DEPTH, COMPACT 4" CLEAN CRUSHER FINES AS BASE COURSE.
 B. 4" WIDE YELLOW PAVEMENT STRIPING
 C. PAINT EXISTING WHEELSTOP YELLOW WITH BLACK LETTERING "MOTORCYCLES ONLY"
 D. REMOVE CONCRETE, ASPHALT, GRAVEL AND BASE COURSE. FILL AS REQUIRED TO 3" BELOW SURROUNDING GRADE WITH CLEAN LOAM SOIL. SLOPE AWAY FROM BUILDING. INSTALL CRUSHER MEDIUM MULCH 3" DEEP OVER HEAVY DUTY FILTER FABRIC. XERISCAPE PLANTS AND IRRIGATION BY OTHERS.
 03000-CONCRETE
 C. SLOPED CONCRETE WALK WITH BROOM FINISH. MAXIMUM 1:20 SLOPE. MAXIMUM CROSS SLOPE 1:50
 D. CONCRETE STEP. 12" TREAD. 7" RISE MAXIMUM.
 E. CONCRETE STANDUP CURB
 H. EXPANSION JOINT WITH ASPHALT IMPREGNATED FILLER STRIP AND SEALANT
 J. LEVEL CONCRETE LANDING WITH BROOM FINISH. MAXIMUM 1:50 SLOPE IN ANY DIRECTION. DRAIN AWAY FROM BUILDING.
 K. CONTROL JOINT
 M. TOP OF NEW PAVING FLUSH WITH EXISTING

PUBLIC ALLEY



SILVER AVENUE S.E.



LEGAL DESCRIPTION

LOTS 9 AND 9, BLOCK 48, UNIVERSITY HEIGHTS ADDITION, AS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK, IN VOLUME D, FOLIO 27, FEBRUARY 7, 1916.

ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
 115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106
 TELE. (505) 255-8688 • FAX (505) 268-6665



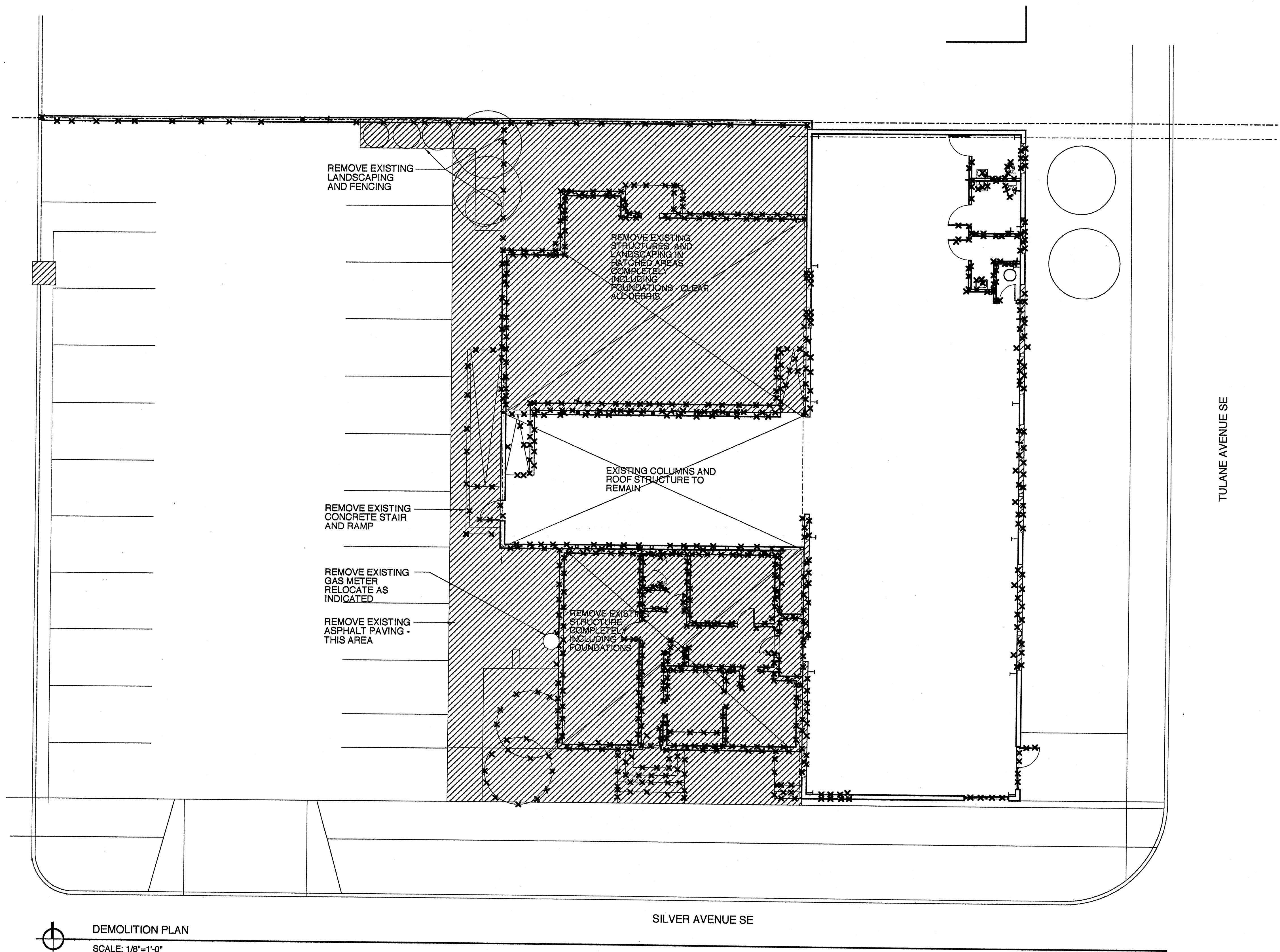
111 TULANE AVENUE SE

SITE PLAN

REV. #	DATE	PROJECT # 94134
		DWN BY: JF
		CHK BY: MLD
		DATE: 4/4/95
		C100
		OF

A1 SITE PLAN

1"=8'-0" A101



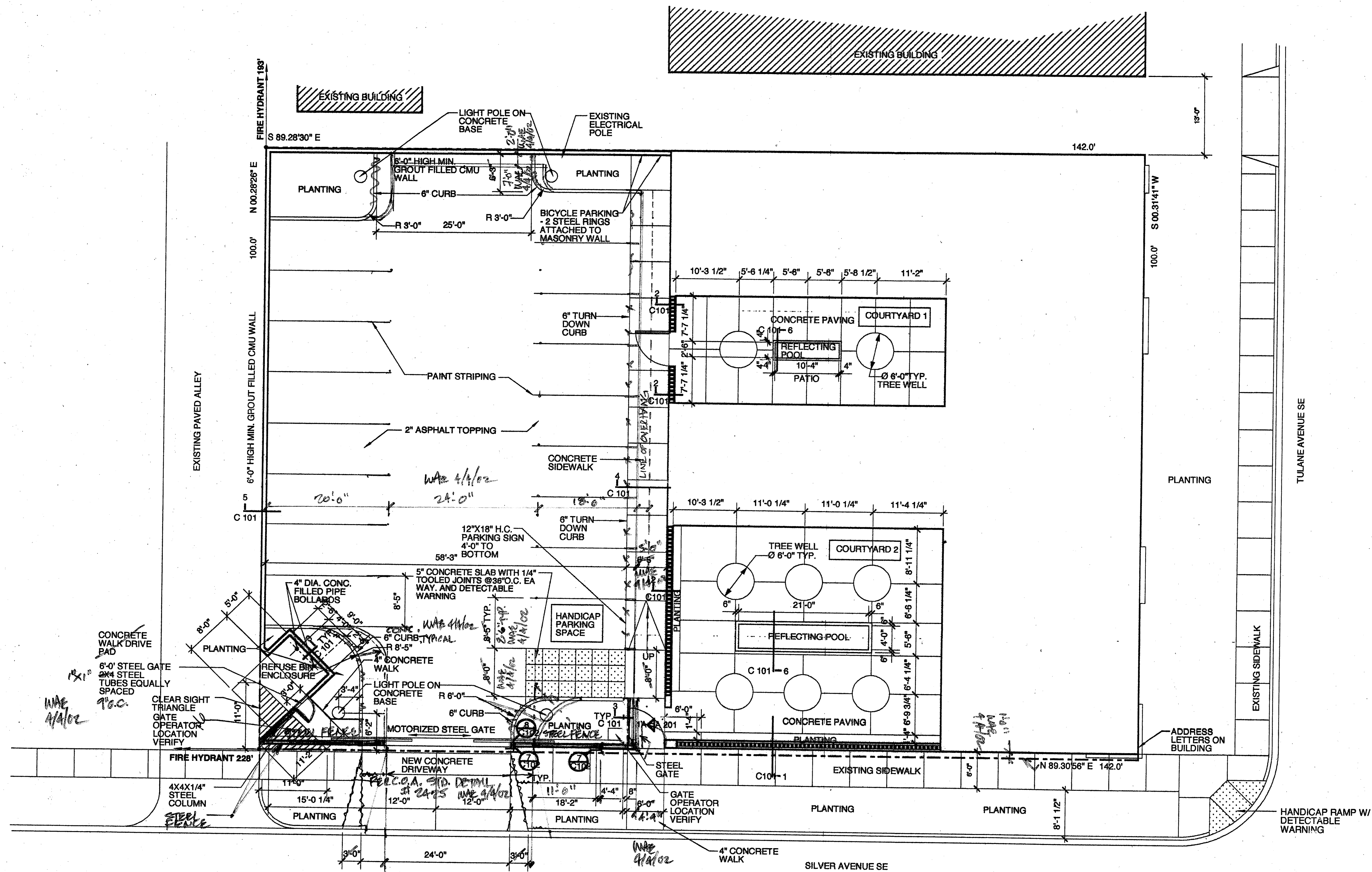
DEMOLITION PLAN
SCALE: 1/8"=1'-0"

SILVER AVENUE SE

TULANE AVENUE SE

SCHEMATIC
DESIGN
NOT FOR
CONSTRUCTION

NOVEMBER 29, 2001



SITE PLAN
SCALE: 1"=10'-0"

Legal Description: Lots 9A, Block 48, University Heights Addition, as filed in the office of the Bernalillo County Clerk, in Volume D, Folio 27, February 7, 1918

Address: 111 Tulane Dr. SE

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: *[Signature]* Date: 4/4/02

ALBUQUERQUE
BLDG & SAFETY
MAR 22 2002
W.E.C.
PLAN CHECK
SECTION

