



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 10, 2004

W. Anthony Evanko, R.A.  
317 Wellesley Pl. NE  
Albuquerque, NM 87106

**Re: Tulane Office Addition and Remodel, 201 Tulane Ave. SE, Certificate of Occupancy**

**Architect's Stamp dated 11-11-03 (K16/D64)**

**Certification dated 2-23-04**

Dear Mr. Evanko,

Based upon the information provided in your submittal received 3-10-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

March 2, 2004

W. Anthony Evanko, Registered Architect  
W. Anthony Evanko Architect  
317 Wellesley Place NE  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Tulane Office Addition & Remodel, [K-16 / D64]  
201 Tulane Ave. SE  
Architect's Stamp Dated 02/23/04

Dear Mr. Evanko:

The TCL / Letter of Certification submitted on March 1, 2004 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items will need to be addressed:

- A final TCL was not submitted for approval and will need to be submitted for final review (in accordance with Traffic Circulation Layout letter dated July 8, 2003).
- A work order will be needed for alley paving (in accordance with Grading and Drainage letter dated July 8, 2003).

The TCL (or DRB Site Plan) submitted for Final C.O. needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialled and dated by the designer-of-record.

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file ☐  
CO Clerk

**W . A n t h o n y E v a n k o A r c h i t e c t**  
317 Wellesley Pl. N.E. Albuquerque, New Mexico 87106 T: 505.255.3451 Fax 505.255.3868

February 23, 2004

Transportation Department  
COA Land Development Division  
600 2<sup>nd</sup> Street NW  
Albuquerque, New Mexico

Attn.: Mr. Bradley L. Bingham P. E., Sr. Engineer, Planning Department, Development and Building Services


Re.: Letter of Certification for the Remodel and Addition, 201 Tulane SE, Albuquerque, New Mexico 87106, COA Permit No. 0308217

Dear Mr. Bingham:

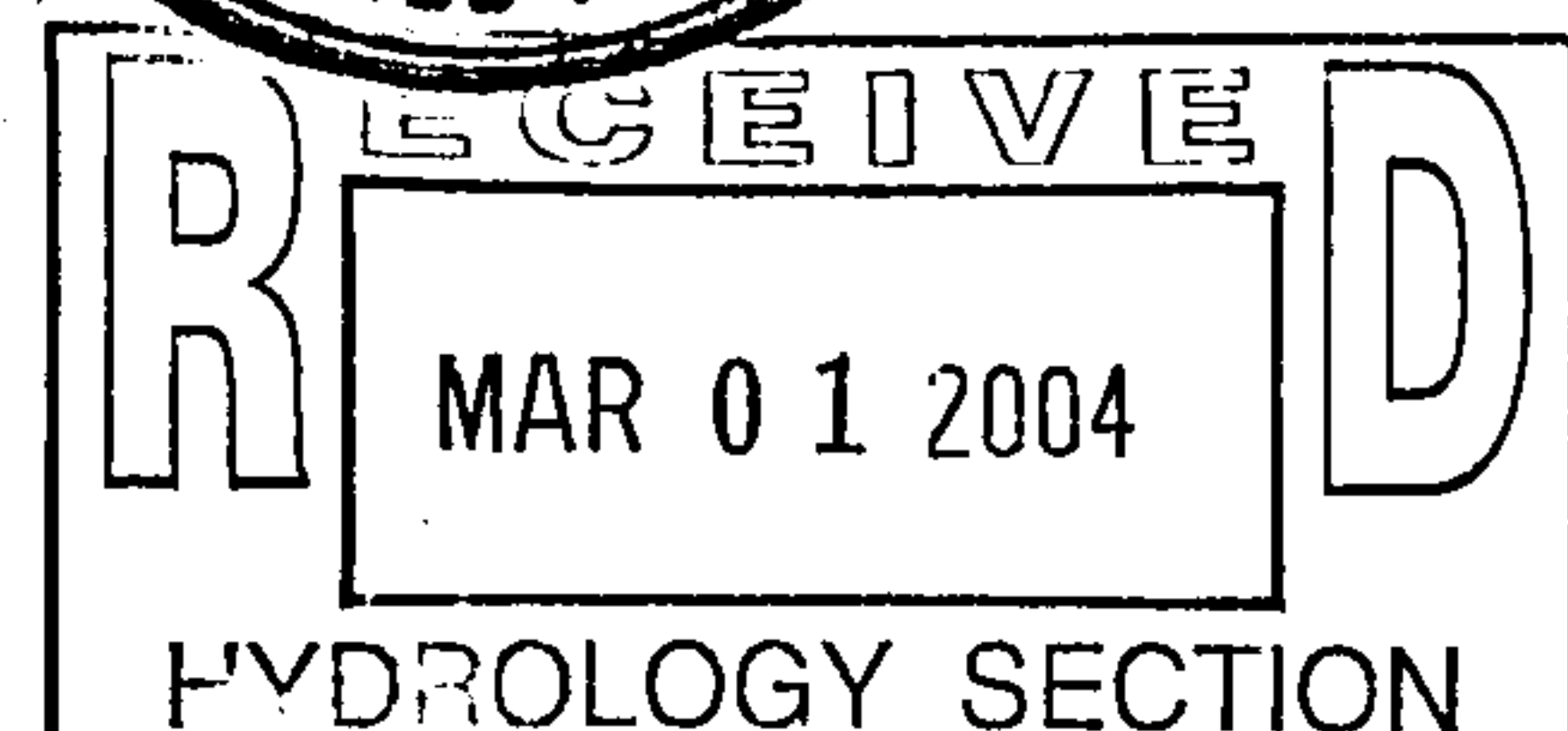
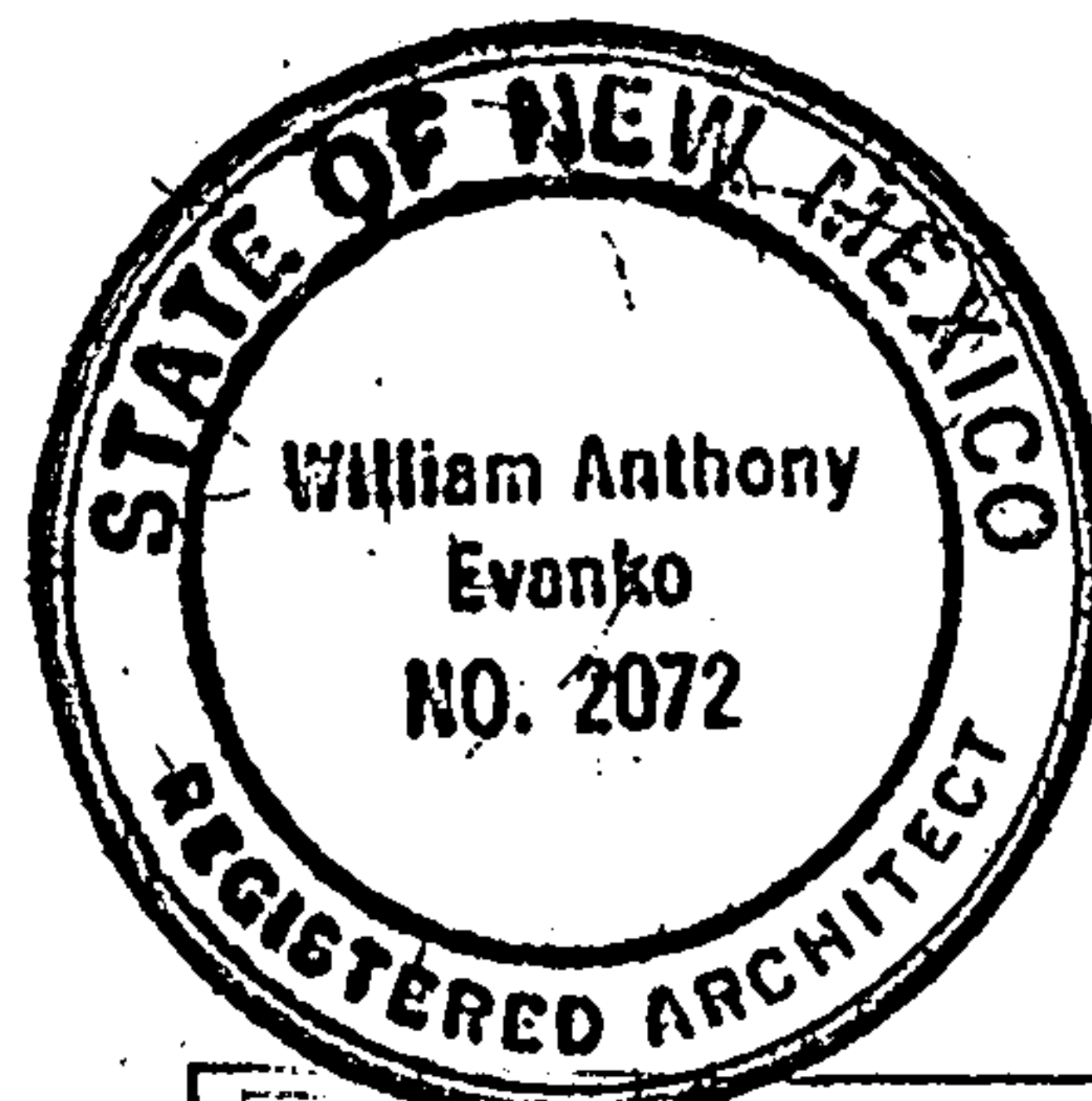
I am writing this letter to inform you that I have inspected the subject property on February 23, 2004 and found that the site was built in substantial compliance with the approved Traffic Circulation Layout (TCL). We are submitting an "As Built" Site Plan showing the changes that have occurred by change order during the course of construction for your review and approval. We are requesting final approval for C.O. at this time.

If you have any questions regarding this matter, please call me at 255-3451.

Sincerely,



W. Anthony Evanko, R.A.





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2004

Eufracio Sabay, P.E.  
BJM Development Consultant  
8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: Tulane Office Addition and Remodel, 201 Tulane Ave SE, Certificate of Occupancy**

**Engineer's Stamp dated 6-16-03 (K16/D64)**

**Certification dated 2-26-04**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 3-01-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 7-30-02)

K-16/D64

PROJECT TITLE: Tulane OFFICE ADDITION & REMODEL ZONE MAP/DRG. FILE #: K16-D64  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 24 BLOCK 47 University Heights Addition  
 CITY ADDRESS: 201 TULANE AVENUE S.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
 ADDRESS: 8624 Casa Verde Avenue NW  
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Bernie J. Montoya  
 PHONE: 250-7719  
 ZIP CODE: 87120

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: Tony Evanko  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

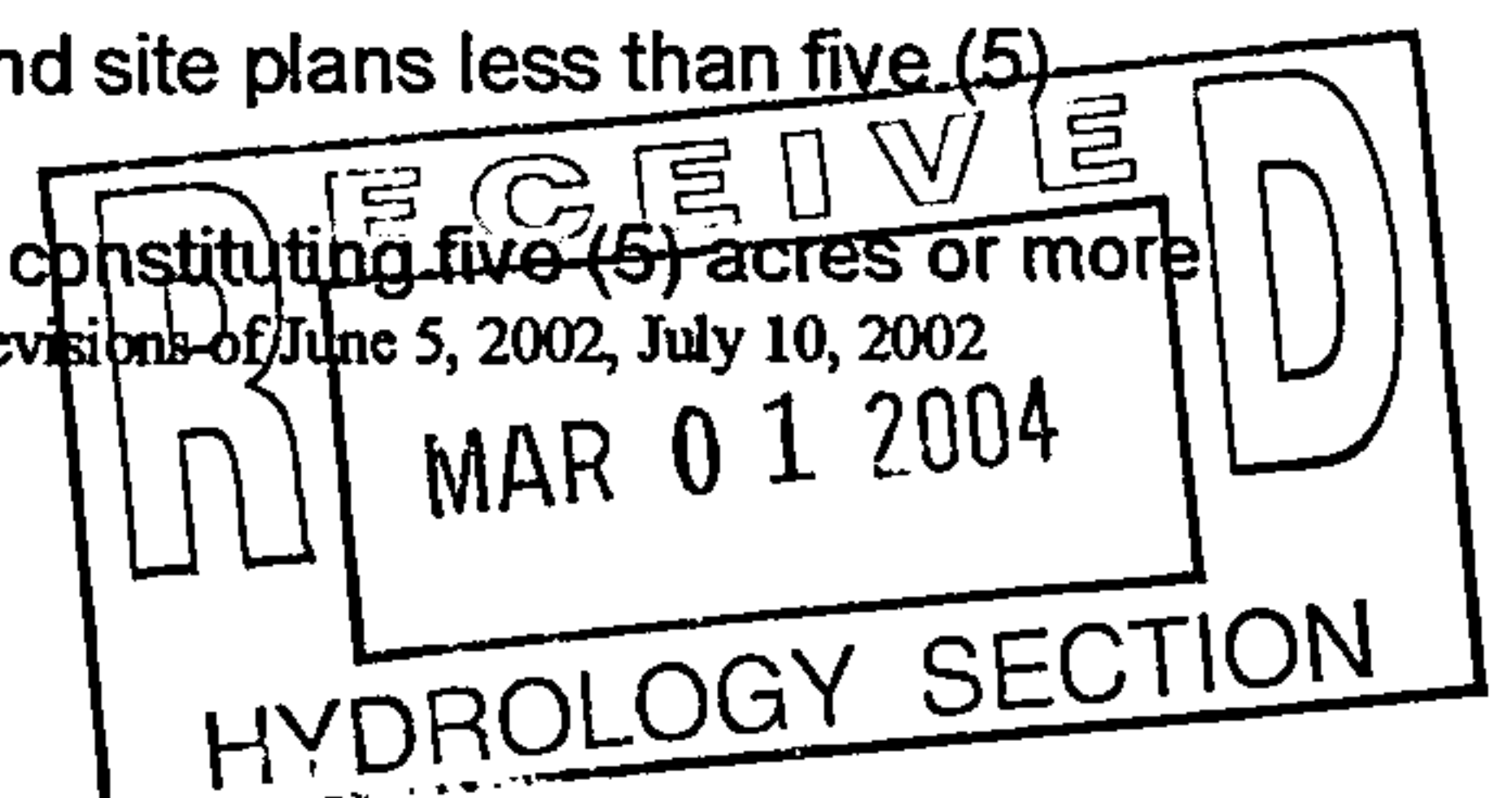
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 02/27/2004 BY: Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 8, 2003

Eufracio Sabay, PE  
BJM Development  
4409 Karrol Rd. SW  
Albuquerque, NM 87121

**RE: Tulane Office Addition & Remodel  
Grading and Drainage Plan (K-16/D64)  
Engineer's Stamp Dated 6-16-03**

Dear Mr. Sabay:

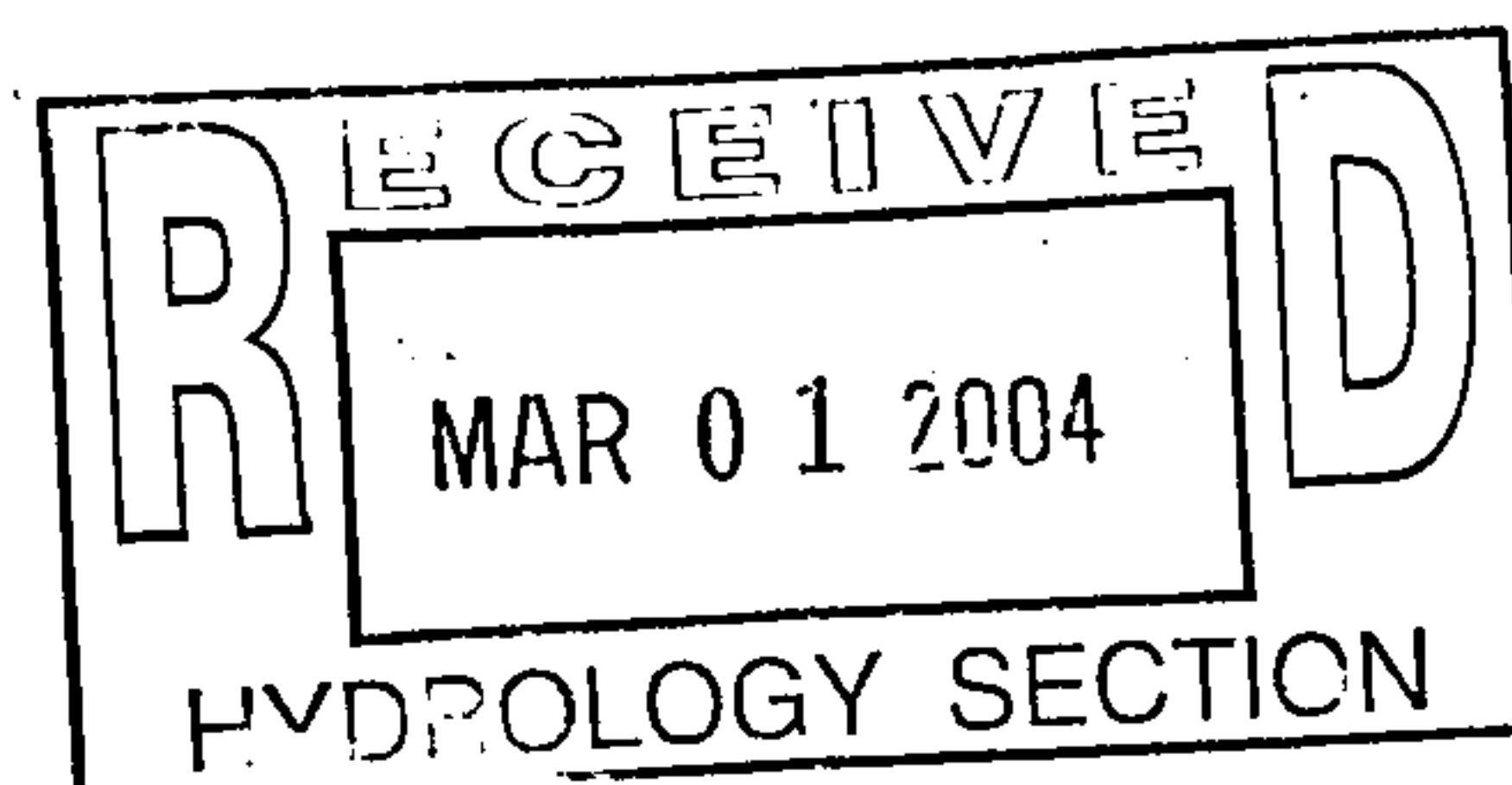
The above referenced grading and drainage plan received 6-17-03 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, an approved Work Order for alley paving is required and an Engineer's Certification per the DPM is required on the above referenced plan.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File





Kevin P. Broderick

04/19/04 01:38 PM

To: Brad L. Bingham/PWD/CABQ@COA  
cc:  
Subject: 201 Tulane NE

Brad, we worked out the alley issue for 201 Tulane - see attached email from excavation. As discussed we wound up not doing a work order for the project due to errors by the contractor and the size of the project. The contractor has resolved the issues through the permit process. If all other issue are resolved, we no longer have an issue with releasing the CO for the building.

Kevin

----- Forwarded by Kevin P. Broderick/PWD/CABQ on 04/19/04 01:34 PM -----



Ruben J. Ortega

04/19/04 01:13 PM

To: Kevin P. Broderick/PWD/CABQ@COA  
cc:  
Subject: 201 Tulane NE

Kevin, on April 6, Donald Morales inspected the Valley gutter, and Cut off wall work in the alley @ 201 Tulane NE, it was approved. Donald is going to give Hart Construction an Approved Green Tag.

Thanks,

Ruben.J. Ortega  
Permit Inspection Supervisor  
Public Works  
Construction Coordination Division  
(505) 924-3415 (office)  
(505) 924-3408 (fax)  
(505) 250-2704 (cell)  
email: rjortega@cabq.gov

Approved  
per  
BLB



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 8, 2003

Tony Evanko, RA  
Tony Evanko Architect  
317 Wellesley Place NE  
Albuquerque, NM 87106

**Re: Tulane Office Addition & Remodel  
Traffic Circulation Layout (K-16/D64)  
Architect's Stamp Dated 5-30-03**

Dear Mr. Evanko:

Based on the information provided in your submittal received 6-17-03, the above referenced plan cannot be approved for Building Permit until the following comment is addressed:

- Please show handicap accessibility for drive-pad.

If you have any questions please call me at 924-3986.

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 8, 2003

Eufracio Sabay, PE  
BJM Development  
4409 Karrol Rd. SW  
Albuquerque, NM 87121

**RE: Tulane Office Addition & Remodel  
Grading and Drainage Plan (K-16/D64)  
Engineer's Stamp Dated 6-16-03**

Dear Mr. Sabay:

The above referenced grading and drainage plan received 6-17-03 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, an approved Work Order for alley paving is required and an Engineer's Certification per the DPM is required on the above referenced plan.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

TULANE

K-16/D64

PROJECT TITLE: OFFICE ADDITION & REMODEL

ZONE MAP/DRG. FILE #: K16

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 24 BLOCK 47 University Heights Addition

CITY ADDRESS: 201 TULANE S.E.

ENGINEERING FIRM: BJM Development Consultant

ADDRESS: 4409 Karrol Rd S.W.

CITY, STATE: Albuquerque, New Mexico

CONTACT: Bernie J. Montoya

PHONE: 250-7719

ZIP CODE: 87121

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: Tony Evanko

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: Tony Evanko

PHONE: 255-13451

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMP
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES VERBAL WITH CARLOS Montoya
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 6/17/2003

BY: \_\_\_\_\_

Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or