

CITY OF ALBUQUERQUE



November 6, 2020

Benjamin H. Gardner, RA
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

**Re: Place at Nob Hill
3339 Central SE 87106
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 9-11-19 (K16D069)
Certification dated 11-3-20**

Dear Mr. Gardner.

Based upon the information provided in your submittal received 11-3-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Please add Motorcycle Parking & Motorcycle Parking Signs.
- Please update ALL ADA Parking Signs. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" If that language is present it is not visible in the detail.


NM 87103

www.cabq.gov

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and epgomez@cabq.gov for release of Final CO

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

November 3, 2020

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

DEKKER
PERICH
SABATINI

RE: Place at Nob Hill
3339 Central SE, Albuquerque, NM 87106
Total Acreage – .8483
Zone – CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO):
MIXED USE MEDIUM (MXM)
Submittal - TCL for Certificate of Occupancy

TRAFFIC CERTIFICATION

I, Benjamin Gardner, NMRA no. 4161 of the firm Dekker/Perich/Sabatini, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 4, 2019. The record information edited onto the original design document has been obtained by Dekker/Perich/Sabatini.

I further certify that Dekker/Perich/Sabatini visited the project site on November 3, 2020 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for Certificate of Occupancy.

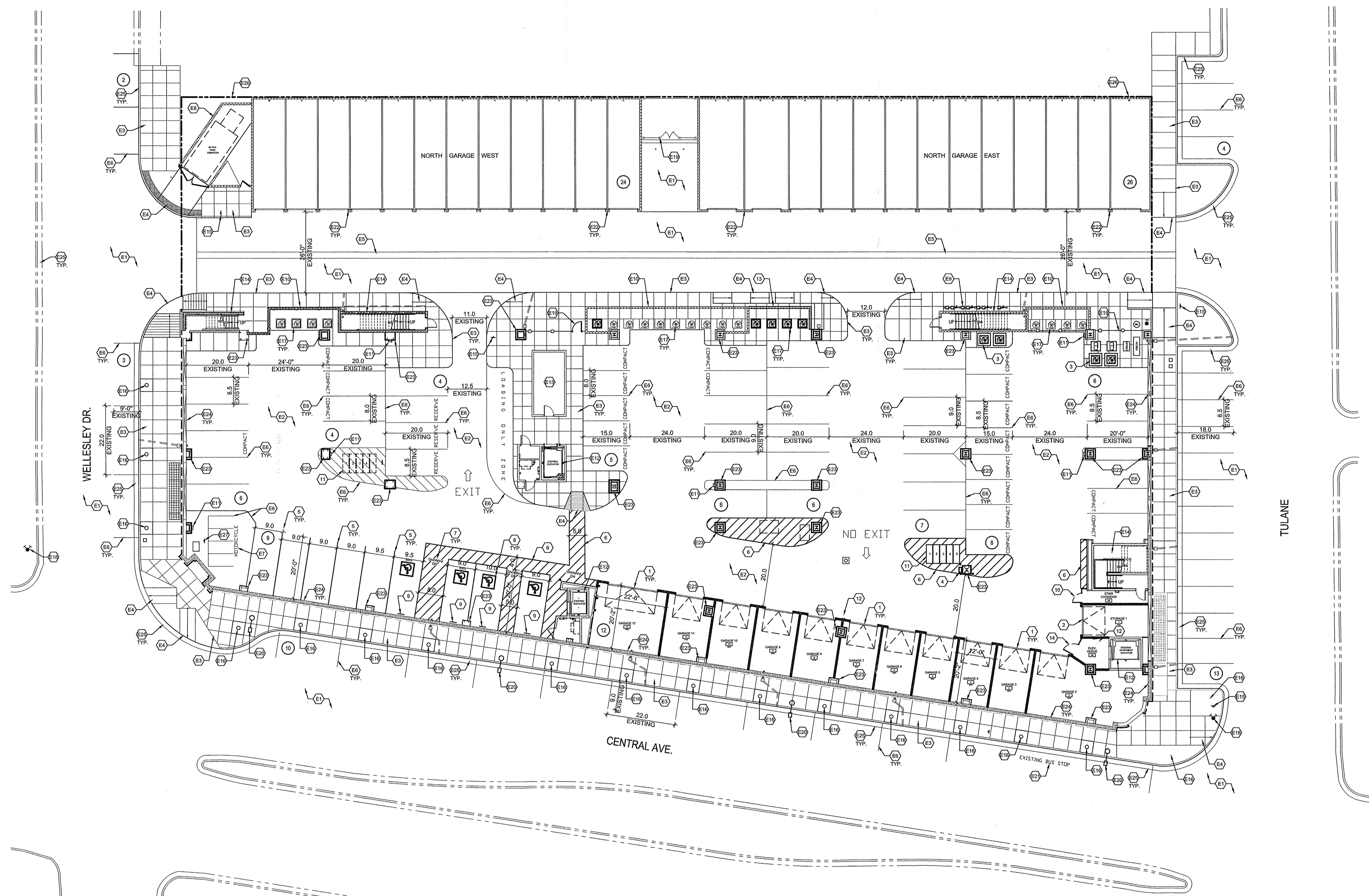
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Very truly yours,

Benjamin H. Gardner, AIA, LEED AP
Principal / CEO



11-3-2020



NORTH
 1" = 20'-0"
 0 10' 20' 40'
GARAGE FLOOR PLAN and STREET SITE PLAN (OVERALL)

TRAFFIC CIRCULATION LAYOUT APPROVED

 Signed: J. Garcia Date: 10/6/19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

SHEET KEYED NOTES

- E1. EXISTING ASPHALT PAVING.
 - E2. EXISTING CONCRETE PAVING
 - E3. EXISTING CONCRETE SIDEWALK.
 - E4. EXISTING CONCRETE ACCESSIBLE RAMP.
 - E5. EXISTING CONCRETE VALLEY GUTTER.
 - E6. EXISTING PAINTED PARKING STRIPING.
 - E7. EXISTING MOTORCYCLE PARKING.
 - E8. EXISTING TRASH ENCLOSURE WITH CMU WALL.
 - E9. EXISTING GAS METERS.
 - E10. EXISTING CMU WALL.
 - E11. EXISTING FIRE EXTINGUISHER.
 - E12. EXISTING ELEVATOR.
 - E13. EXISTING MAIN ELECTRICAL DISTRIBUTION ROOM.
 - E14. EXISTING ENCLOSED EGRESS STAIR.
 - E15. EXISTING STOP SIGN.
 - E16. EXISTING LANDSCAPE/TREE WELL.
 - E17. EXISTING MECHANICAL UNIT.
 - E18. EXISTING FIRE HYDRANT.
 - E19. EXISTING FENCE AND GATE.
 - E20. EXISTING LIGHT POLE.
 - E21. EXISTING BUS STOP.
 - E22. EXISTING GARAGES.
 - E23. EXISTING STEEL COLUMN WITH 1-HOUR FIRE RESISTIVE SPRAY, FRAMED OUT WITH 1-HR RATED FULL HEIGHT PARTITION.
 - E24. EXISTING CONCRETE WALL.
 - E25. EXISTING CONCRETE CURB AND GUTTER.
 - E26. EXISTING PROPERTY LINE.
 - E27. EXISTING MOTORCYCLE PARKING FREE-STANDING SIGN.
- 1. GARAGE.
 - 2. STORAGE
 - 3. MECHANICAL UNIT ON 4" CONCRETE HOUSEKEEPING PAD, SEE MECHANICAL.
 - 4. BOLLARDS AND PARKING PAY STATION.
 - 5. PAINTED PARKING STRIPING (4" WIDE), COLOR: YELLOW.
 - 6. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: YELLOW.
 - 7. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: YELLOW 12" LETTER SIZE.
 - 8. PAINTED ACCESSIBLE PAVEMENT SYMBOL, SEE A2/TCL2.
 - 9. ACCESSIBLE SIGNAGE (WALL MOUNTED), SEE A3/TCL2 AND A4/TCL2.
 - 10. FENCE AND GATE, SEE SEE B1/TCL2.
 - 11. BICYCLE RACK (WITH 6'L x 2'W SPACE), SEE SEE A1/TCL2.
 - 12. FIRE EXTINGUISHER, SEE SEE D5/TCL2.
 - 13. CMU WALL, SEE A5/TCL2.
 - 14. FENCE AND GATE, SEE SEE B3/TCL2.

SITE ANALYSIS and DATA

ADDRESS:
 3339 CENTRAL AVENUE, NE
 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:
 LOTS 1-A, 16-A, AND 28-A, BLOCK 6 MONTE VISTA

TOTAL ACREAGE:
 .8483 AC.

ZONING:
 CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): MIXED USE MEDIUM (MXM)

BUILDING USE:
 NORTH GARAGE WEST: PARKING GARAGE 5,514 SF
 NORTH GARAGE EAST: PARKING GARAGE 6,424 SF
 TOTAL BUILDING AREA: 11,938 SF

GARAGE: PARKING GARAGE, UTILITY 31,633 SF
 FIRST FLOOR: MERCANTILE, APARTMENTS 31,633 SF
 RESIDENTIAL LEVEL 1: RESIDENTIAL 26,125 SF
 RESIDENTIAL LEVEL 2: RESIDENTIAL 23,427 SF
 TOTAL BUILDING AREA: 112,818 SF

PARKING REQUIREMENTS

CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): BUILDING IS LOCATED IN A PREMIUM TRANSIT (PT) AREA

A. DWELLING/MULTI-FAMILY PARKING REQUIREMENTS, IDO TABLE 5-5-1:
 EXISTING DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (2ND AND 3RD FLOORS):
 26 EXISTING UNITS x 1 (PT) SPACE: 26 x 1 = 26 = 26 SPACES
 NEW DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (1ST FLOOR):
 9 NEW UNITS x 1 (PT) SPACE: 9 x 1 = 9 = 9 SPACES
REQUIRED PARKING TOTAL: 26 + 9 = 35 SPACES

PARKING PROVIDED:
 NORTH GARAGES = 50 EXISTING SPACES
 EXISTING GARAGE = 12 NEW SPACES
PROVIDED PARKING TOTAL: 50 + 12 = 62 SPACE
DWELLING/MULTI-FAMILY PROVIDED PARKING TOTAL: 62 SPACES > REQUIRED PARKING TOTAL: 35 SPACES

B. RETAIL PARKING REQUIREMENTS, IDO TABLE 5-5-1, (PT) 2.5 SPACES per 1000sf
 EXISTING WEST LEASED SPACE (1ST FLOOR): 7,550sf
 EXISTING MIDDLE LEASED SPACE (1ST FLOOR): 4,502sf
 NEW EAST VACANT SPACE (1ST FLOOR): 6,109sf
 7,550sf + 4,502sf + 6,109sf = 18,161sf
 (PT) 2.5 SPACES per 1000sf: 2.5 SPACES x 19 = 48 = 48 SPACES
REQUIRED PARKING TOTAL: 48 SPACES

PARKING PROVIDED:
 EXISTING GARAGE = 61 SPACES
 EXISTING ON-STREET PARKING = 32 SPACES
PROVIDED PARKING TOTAL: 61 + 32 = 93 SPACES
RETAIL PROVIDED PARKING TOTAL: 93 SPACES > REQUIRED PARKING TOTAL: 48 SPACES

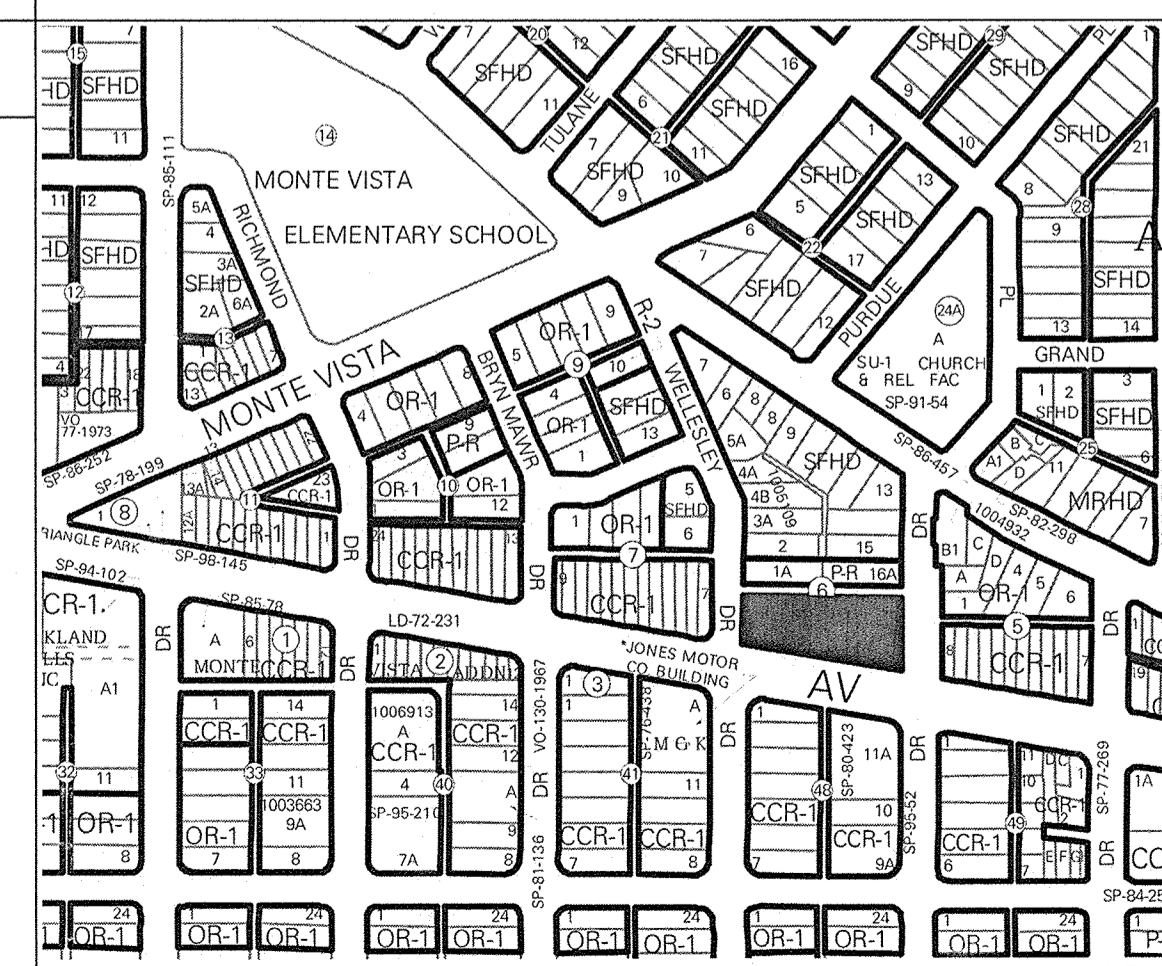
C. REQUIRED PARKING TOTAL
 DWELLING/MULTI-FAMILY REQUIRED PARKING TOTAL: 35 SPACES
 GENERAL RETAIL REQUIRED PARKING TOTAL: 48 SPACES
REQUIRED PARKING TOTAL: 35 + 48 = 83 SPACES

D. DESIGNATED DISABLED PARKING SPACES
 REQUIRED: 51 to 100 = 4 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)
 PROVIDED: 4 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

E. MOTORCYCLE PARKING SPACES
 REQUIRED: 51 to 100 = 3 SPACES
 PROVIDED: 4 EXISTING SPACES

F. BICYCLE PARKING
 DWELLING/MULTI-FAMILY REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 35 / 10 = 4 SPACES
 GENERAL RETAIL REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 48 / 10 = 5 SPACES
 REQUIRED 4 + 5 = 9 SPACES
 PROVIDED: 10 SPACES

RECEIVED
 OCT 04 2019
 LAND DEVELOPMENT SECTION

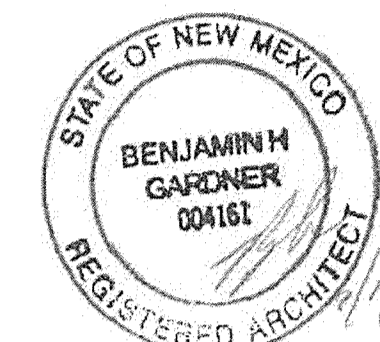


VICINITY MAP 3339 Central Avenue SE
 CITY OF ALBUQUERQUE ZONE ATLAS PAGE K-16-Z

**DEKKER
 PERICH
 SABATINI**

ARCHITECTURE
 DESIGN
 INSPIRATION

ARCHITECT



ENGINEER

PROJECT

The Place in Nob Hill
 3339 Central Avenue SE
 Albuquerque, New Mexico 87106

REVISIONS

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- △
- △
- △

DRAWN BY

REVIEWED BY

DATE SEPTEMBER 11, 2019

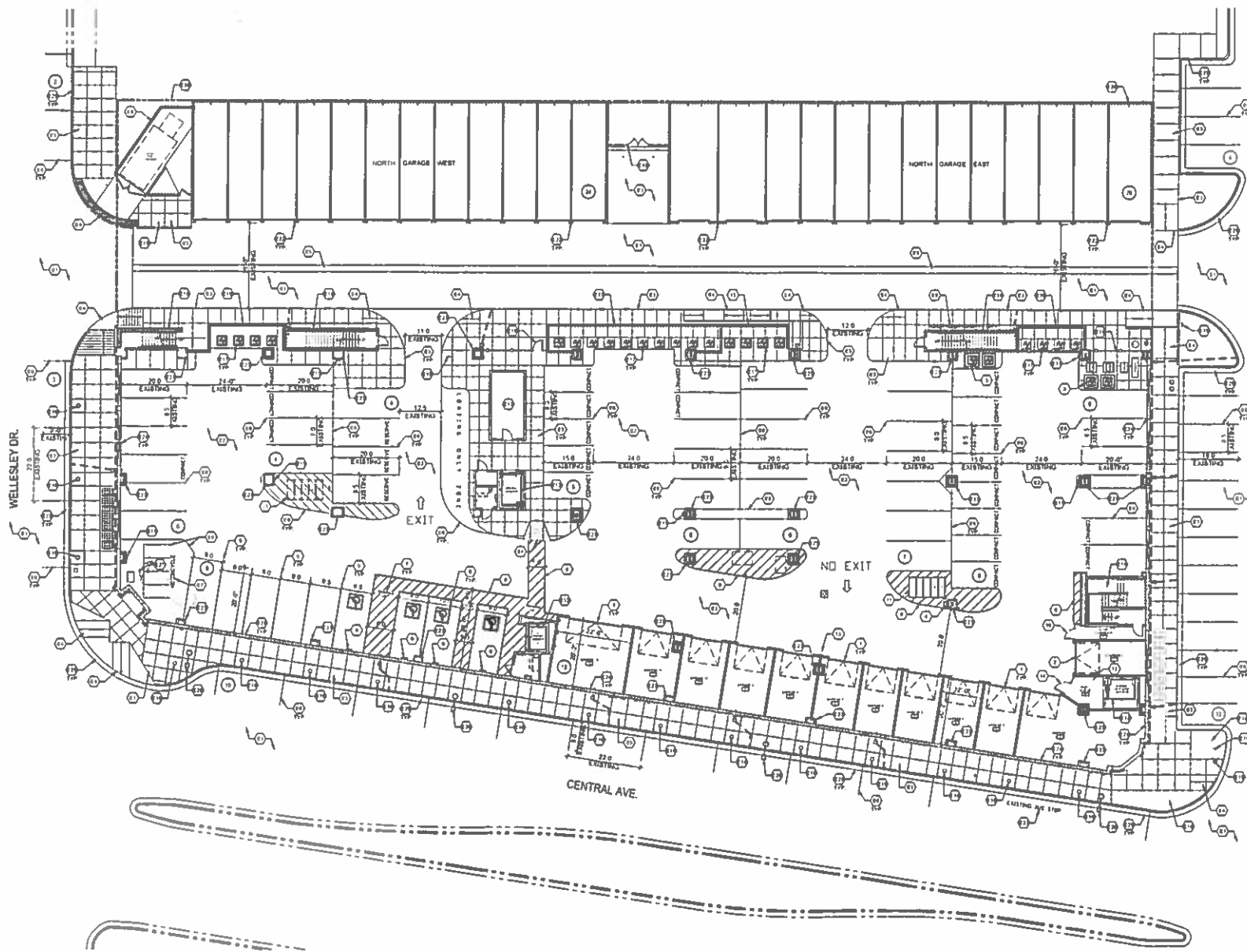
PROJECT NO. 18-0052

DRAWING NAME

TRAFFIC
 CIRCULATION
 LAYOUT

SHEET NO.

TCL
 OF



GARAGE FLOOR PLAN and STREET SITE PLAN (OVERALL)
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BUILDING USE

NORTH GARAGE WEST	PARKING GARAGE	5,514 SF
NORTH GARAGE EAST	PARKING GARAGE	8,424 SF
TOTAL BUILDING AREA		11,938 SF

GARAGE

FIRST FLOOR	MERCANTILE, APARTMENTS	31,633 SF
RESIDENTIAL LEVEL 1	RESIDENTIAL	26,125 SF
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TOTAL BUILDING AREA		112,818 SF

PARKING GARAGE UTILITY 31,633 SF

PARKING REQUIREMENTS

CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO) BUILDING IS LOCATED IN A PREMIUM TRANSIT (PT) AREA

A. DWELLING/MULTI-FAMILY PARKING REQUIREMENTS, IDO TABLE S-6.1

EXISTING DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (2ND and 3RD FLOORS)
 28 EXISTING UNITS = 1 (PT) SPACE, 28 x 1 = 28 = 28 SPACES

NEW DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (1ST FLOOR)
 9 NEW UNITS = 1 (PT) SPACE, 9 x 1 = 9 = 9 SPACES

REQUIRED PARKING TOTAL: 28 + 9 = 37 SPACES

PARKING PROVIDED:
 NORTH GARAGES = 50 EXISTING SPACES
 EXISTING GARAGE = 12 NEW SPACES

PROVIDED PARKING TOTAL: 50 + 12 = 62 SPACE
 62 SPACES > REQUIRED PARKING TOTAL: 37 SPACES

B. RETAIL PARKING REQUIREMENTS, IDO TABLE S-6.1, (PT) 2.5 SPACES per 1000sf

EXISTING WEST LEASED SPACE (1ST FLOOR) 7,550sf
 EXISTING MIDDLE LEASED SPACE (1ST FLOOR) 4,500sf
 NEW EAST VACANT SPACE (1ST FLOOR) 8,100sf
 7,550sf + 4,500sf + 8,100sf = 20,150sf

(PT) 2.5 SPACES per 1000sf 2.5 SPACES = 19 = 19

REQUIRED PARKING TOTAL: 48 SPACES

PARKING PROVIDED:
 EXISTING GARAGE = 61 SPACES
 EXISTING ON-STREET PARKING = 32 SPACES

PROVIDED PARKING TOTAL: 61 + 32 = 93 SPACES
 RETAIL PROVIDED PARKING TOTAL: 93 SPACES > REQUIRED PARKING TOTAL: 48 SPACES

C. REQUIRED PARKING TOTAL

DWELLING/MULTI-FAMILY REQUIRED PARKING TOTAL: 37 SPACES
 GENERAL RETAIL REQUIRED PARKING TOTAL: 48 SPACES
REQUIRED PARKING TOTAL: 37 + 48 = 85 SPACES

D. DESIGNATED DISABLED PARKING SPACES

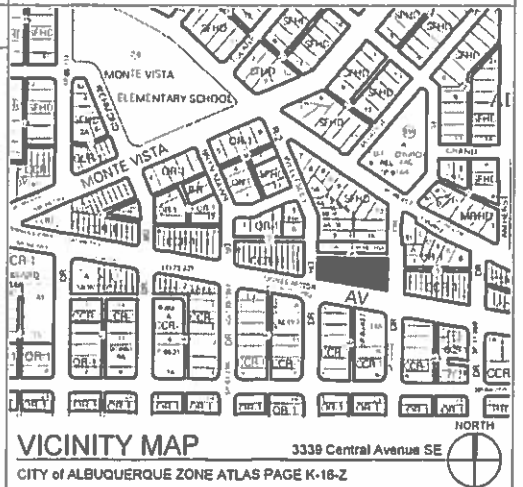
REQUIRED 51 to 100 = 4 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)
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E. MOTORCYCLE PARKING SPACES

REQUIRED 51 to 100 = 3 SPACES
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F. BICYCLE PARKING

DWELLING/MULTI-FAMILY REQUIRED 10% OF OFF-STREET PARKING SPACES TOTAL: 37 / 10 = 4 SPACES
 GENERAL RETAIL REQUIRED 10% OF OFF-STREET PARKING SPACES TOTAL: 48 / 10 = 5 SPACES
 REQUIRED 4 + 5 = 9 SPACES
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