

CITY OF ALBUQUERQUE



April 10, 2009

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: The Place @ Nob Hill, 3339 Central NE,
(K-16/D069)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 08-30-07
Engineer's Certification Date: 4-09-09**

Dear Mr. McGee,

PO Box 1293

Based upon the information provided on 4/09/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims

www.cabq.gov

Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Place in Nob Hill ZONE MAP / DRG. FILE #: K-16/D69
 DRB #: 1001789 EPC #: _____ WORK ORDER #: 776781

LEGAL DESCRIPTION: . Lots 1 & 16-28, Block 6, Monte Verde Addition
 CITY ADDRESS: 3339 Central NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee, PE
 ADDRESS: 128 Monroe St. NE PHONE: 268-8828
 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Daskalos Properties CONTACT: Jason Daskalos
 ADDRESS: 5321 Menaul Blvd NE PHONE: _____
 CITY, STATE: Alb, NM ZIP CODE: 87110

ARCHITECT: DPS CONTACT: Curtis Proctor
 ADDRESS: 6801 Jefferson NE, Suite 100 PHONE: 761-9700
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

Rec-4-9-09

DATE SUBMITTED: Thursday, April 09, 2009 BY: Scott M McGee
 Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 3, 2009

Christopher R. Gunning, Registered Architect
7601 Jefferson Blvd, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
The Place in Nob Hill, [K-16 / D069]
3339 Central Ave. NE
Architect's Stamp Dated 04/02/09

Dear Mr. Gunning:

The TCL / Letter of Certification submitted on April 3, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

The Place in Nob Hill
3339 Central Ave. NE
Albuquerque, NM

TRAFFIC CERTIFICATION

I, Christopher R. Gunning, NMRA 3203, of the firm Dekker/Perich/Sabatini, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated the 30 November 06 (rev. 12 January 2007). The record information edited onto the original design document has been obtained by Dekker/Perich/Sabatini. I further certify that Dekker/Perich/Sabatini visited the project site on 31 March 09 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. With the following exceptions:

- No striping was done on Central Ave. at the request of the City of Albuquerque.
- A red FIRE LANE NO PARKING stripe was painted on the curb adjacent to the main entry on Central Ave.
- (1) Parking Space was deleted on Tulane Drive
- (2) Parking Spaces were added in the alley north of the main building.

This certification is submitted in support of a request for Certificate of Occupancy.

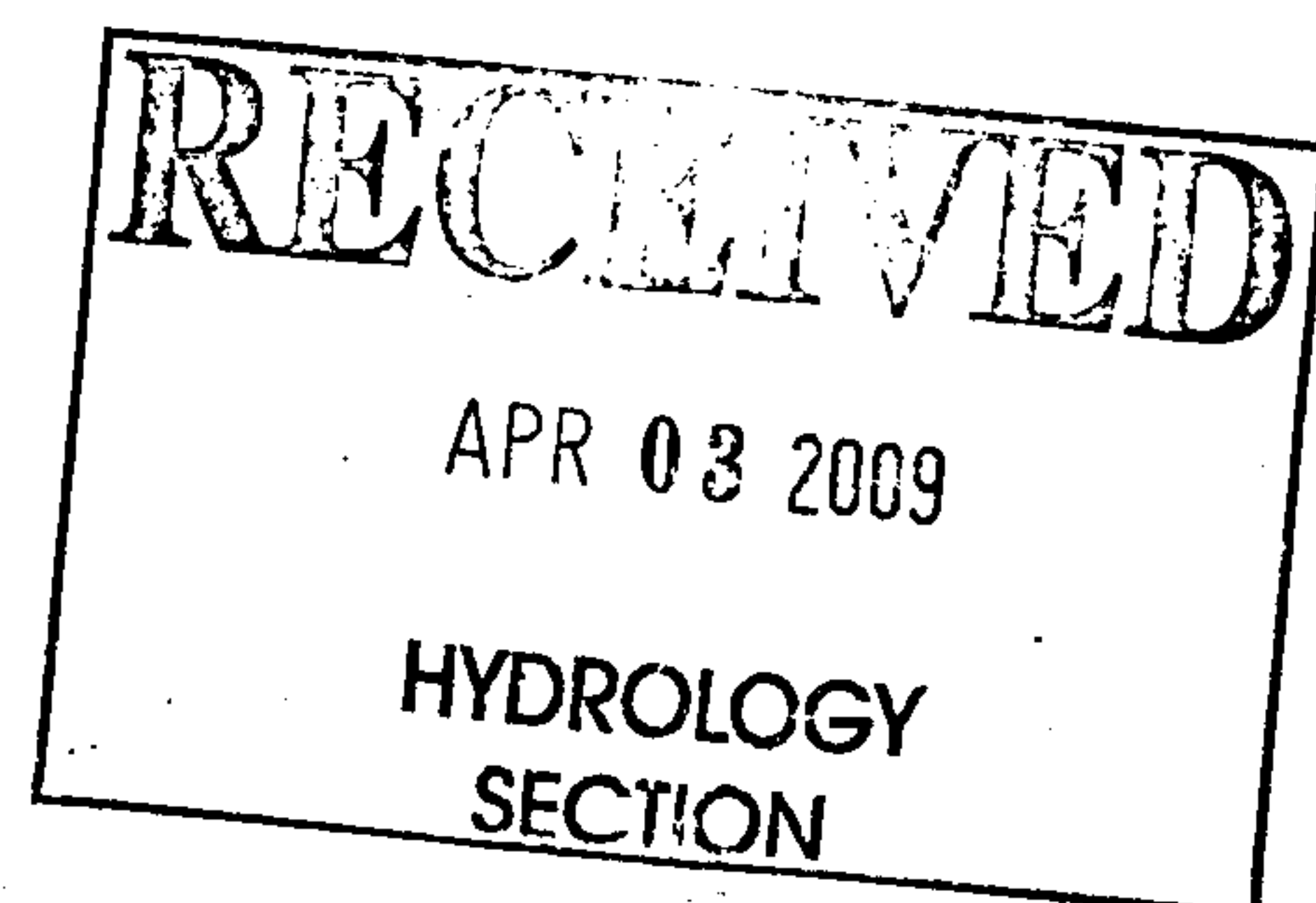
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Christopher R. Gunning
Signature of Engineer or Architect

Engineer's or Architect's Stamp

4/2/09
Date



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: THE PLACE IN NOB HILL
DRB #: N/A EPC#: N/A

ZONE MAP/DRG. FILE #: K-16/D69
WORK ORDER#: N/A

LEGAL DESCRIPTION: LOT 28-A-1, BLOCK 6 MONTE VISTA
CITY ADDRESS: 3339 CENTRAL AVE. NE

ENGINEERING FIRM: SACSON & ARFMAN
ADDRESS: 128 MONROE ST NE
CITY, STATE: ALBUQUERQUE, NM 87108

CONTACT: SCOTT MCGEE
PHONE: 505-268-8828
ZIP CODE: _____

OWNER: DASKALOS PROPERTIES
ADDRESS: 8321 MANUAL BLVD. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JASON DASKALOS
PHONE: 883-7333
ZIP CODE: 87110

ARCHITECT: DEKKER/PERKINS/SABATINI
ADDRESS: 7601 JEFFERSON BLVD. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CURTIS PROCTOR
PHONE: 505-761-9700
ZIP CODE: 87109

SURVEYOR: PRECISION SURVEY
ADDRESS: 8414-D JEFFERSON BLVD. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: LARRY MEDRANO
PHONE: 505-856-5100
ZIP CODE: 87113

CONTRACTOR: LA SIERRA CONSTRUCTION
ADDRESS: 5319 MANUAL BLVD NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE HONTAS
PHONE: 883-7333
ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/3/09

BY: _____

HYDROLOGY
SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 14, 2007

Scott M. McGee, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

**Re: The Place in Nob Hill, Central & Tulane
Grading and Drainage Plan
Engineer's Stamp dated 8-30-07 (K16/D69)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 8-31-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O.Box 1293

If you have any questions, you can contact me at 924-3977.

Albuquerque

New Mexico 87103

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

www.cabq.gov

C: Antoinette Baldonado, Excavation Permits
CC: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Place in Nob Hill ZONE MAP / DRG. FILE #: K-16/D69
DRB #: 1001789 EPC #: _____ WORK ORDER #: 776781

LEGAL DESCRIPTION: . Lots 1 & 16-28, Block 6, Monte Verde Addition
CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee, PE
ADDRESS: 128 Monroe St. NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Daskalos Properties CONTACT: Jason Daskalos
ADDRESS: 5321 Menaul Blvd NE PHONE: _____
CITY, STATE: Alb, NM ZIP CODE: 87110

ARCHITECT: DPS CONTACT: Curtis Proctor
ADDRESS: 6801 Jefferson NE, Suite 100 PHONE: 761-9700
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

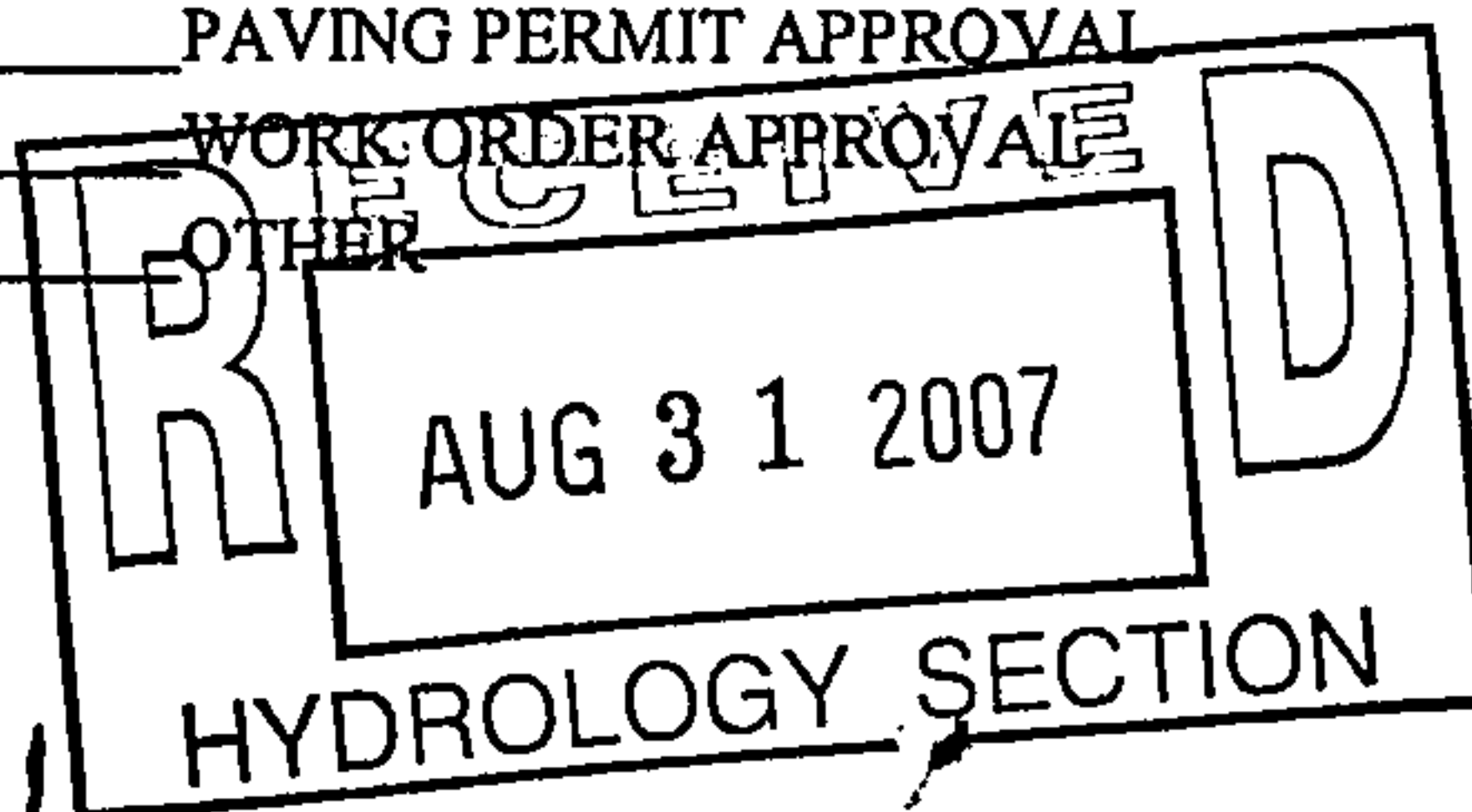
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

RESUBMITTAL



DATE SUBMITTED: Friday, August 31, 2007 BY: _____
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
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December 19, 2006

Wilfred Gallegos
Traffic Engineer
City of Albuquerque
Development and Building Services
600 2nd Street
Albuquerque, NM 87102

Re: **TCL for Building Permit Approval**

**The Place in Nob Hill
3339 Central Ave.
Albuquerque, NM**

Wilfred:

Acting as agent on behalf of our client Daskalos Properties, Dekker/Perich/Sabatini respectfully submits to your office for TCL Approval, a site plan for the above mentioned project. The site plan consists of (2) sheets, A001 and A111. A site plan dated 3/29/06 was previously approved by your office and stamped approved on 04/03/06. This letter is intended to outline the changes between the two submittals.

During the first submittal there was no official approval from Zoning or Traffic allowing for the On-Street Parking Credit, as allowed for in the Zoning Code, to be used for this project. Since then, the approval for the On-Street Parking Credit has been upheld by City Council in their decision dated 12/04/06 (appeal # AC-06-26). The curb ramps in the public R.O.W. have been approved and detailed in City of Albuquerque Construction Drawings Project # 776781. And all sidewalk easements have been filed along with the re-plat recorded on 06/01/06 by the County Clerk's Office.

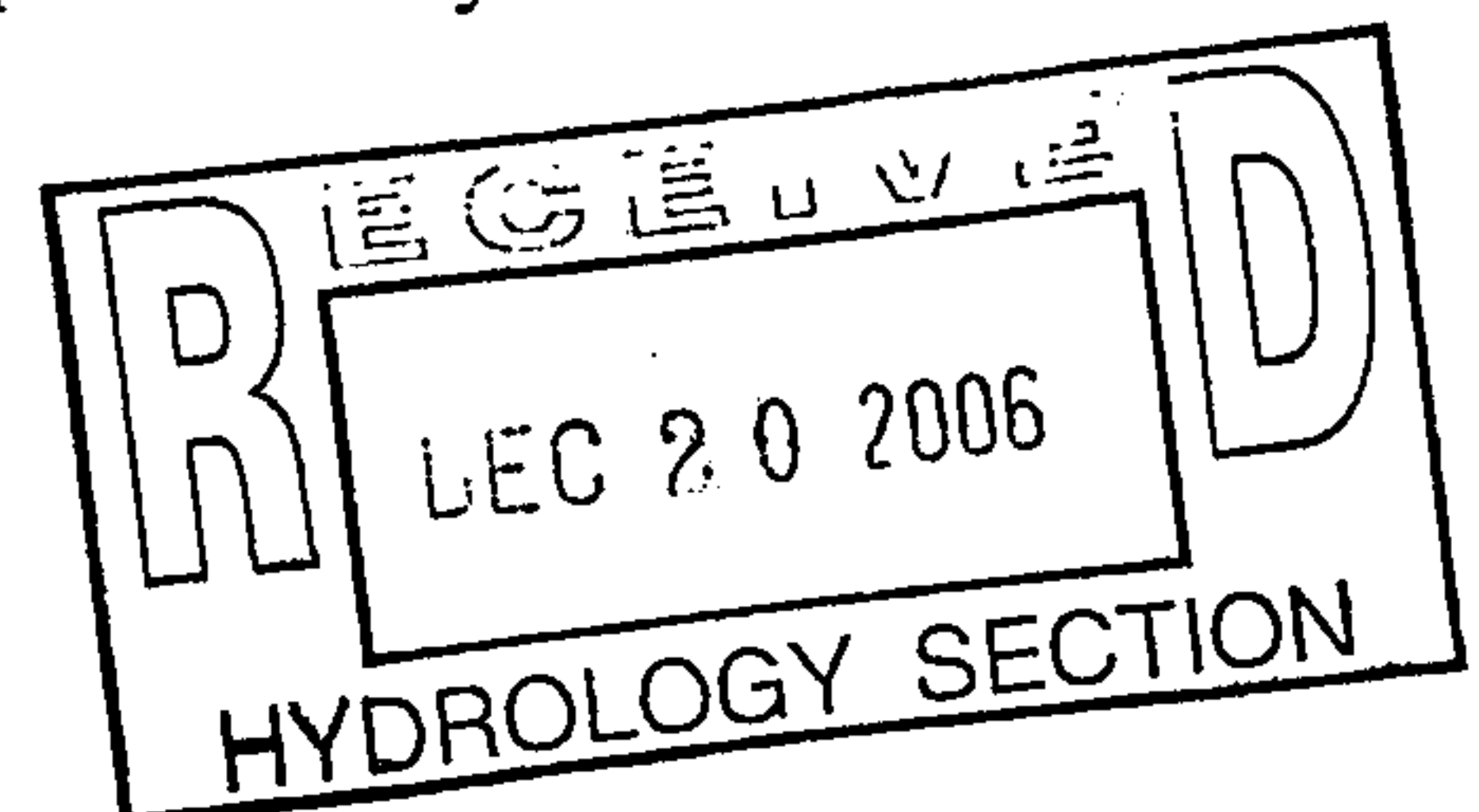
In addition, the plan has undergone several changes as outlined below:

1. Sheet A001:
 - a. The Parking Requirement Analysis table has been modified to clearly indicate amount of parking required along with the amounts of compact, motorcycle, and bicycle parking provided.
2. Sheet A111:
 - a. In the southwest corner of the plan (3) additional motorcycle parking spaces are provided.
 - b. Immediately to the east of the additional motorcycle parking, the parking spaces have been modified to 20'-0" deep, 10'-0" wide, with the adjacent drive aisle is now at 20'-0" wide, as per DPM requirements.
 - c. In the southeast corner of the plan, parking stalls have been modified to be 20'-0" deep, 10'-0" wide, with the adjacent drive aisle now at 20'-0" wide, as per DPM requirements.
 - d. Bicycle parking is now located in the southeast corner of the plan. See keynote 15.

Very truly yours,
Dekker/Perich/Sabatini Ltd.



Curtis R. Proctor, AIA LEED AP
Project Manager



Encl.: (2) sets Site Plan for TCL Building Permit Approval, sheets A001 and A111, dated 11/30/06
Approved TCL Site Plan sheets A001 and A111 stamped 04/03/06.

CITY OF ALBUQUERQUE



January 12, 2007

Christopher Gunning, R.A.
Decker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

Re: The Place in Nob Hill, 3339 Central Ave, Traffic Circulation Layout
Architect's Stamp dated 1-12-07 (K16-D69)

Dear Mr. Gunning,

The TCL submittal received 12-20-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

K-16/D69

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: THE PLACE IN NOB HILL ZONE MAP/DRG. FILE #: K-16-Z
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-A, 16-A AND 28-A, BLOCK 6
CITY ADDRESS: 3339 CENTRAL AVE.

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: DASKALOS PROPERTIES
ADDRESS: 5321 MENAUL BLVD.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JASON DASKALOS
PHONE: 883-0414
ZIP CODE: 87110

ARCHITECT: DEKKER/PERICH/SABATINI
ADDRESS: 7601 JEFFERSON BLVD #100
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CURTIS PROCTOR
PHONE: 761-9700 x216
ZIP CODE: 87104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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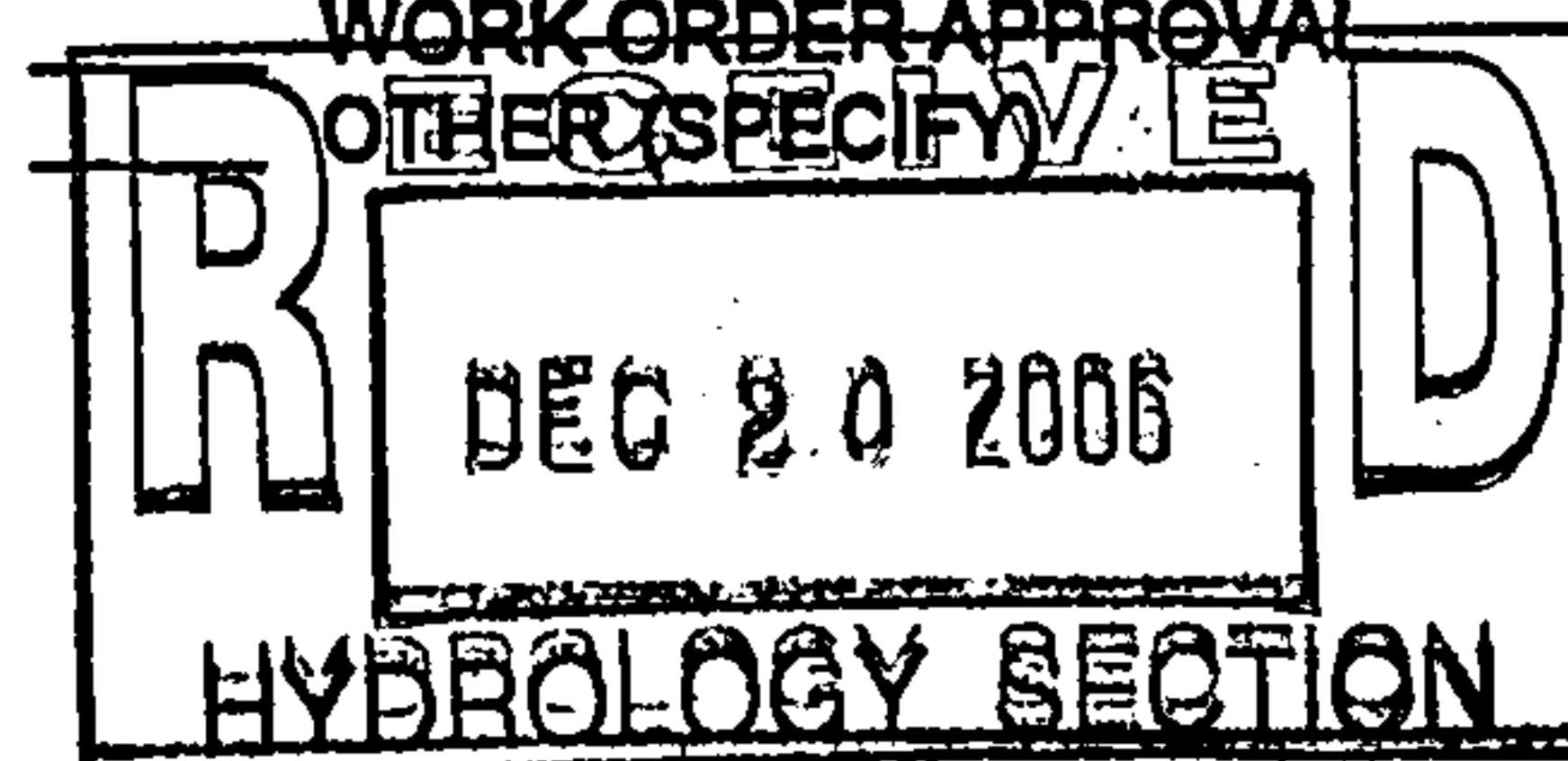
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ PAVING PERMIT APPROVAL
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- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

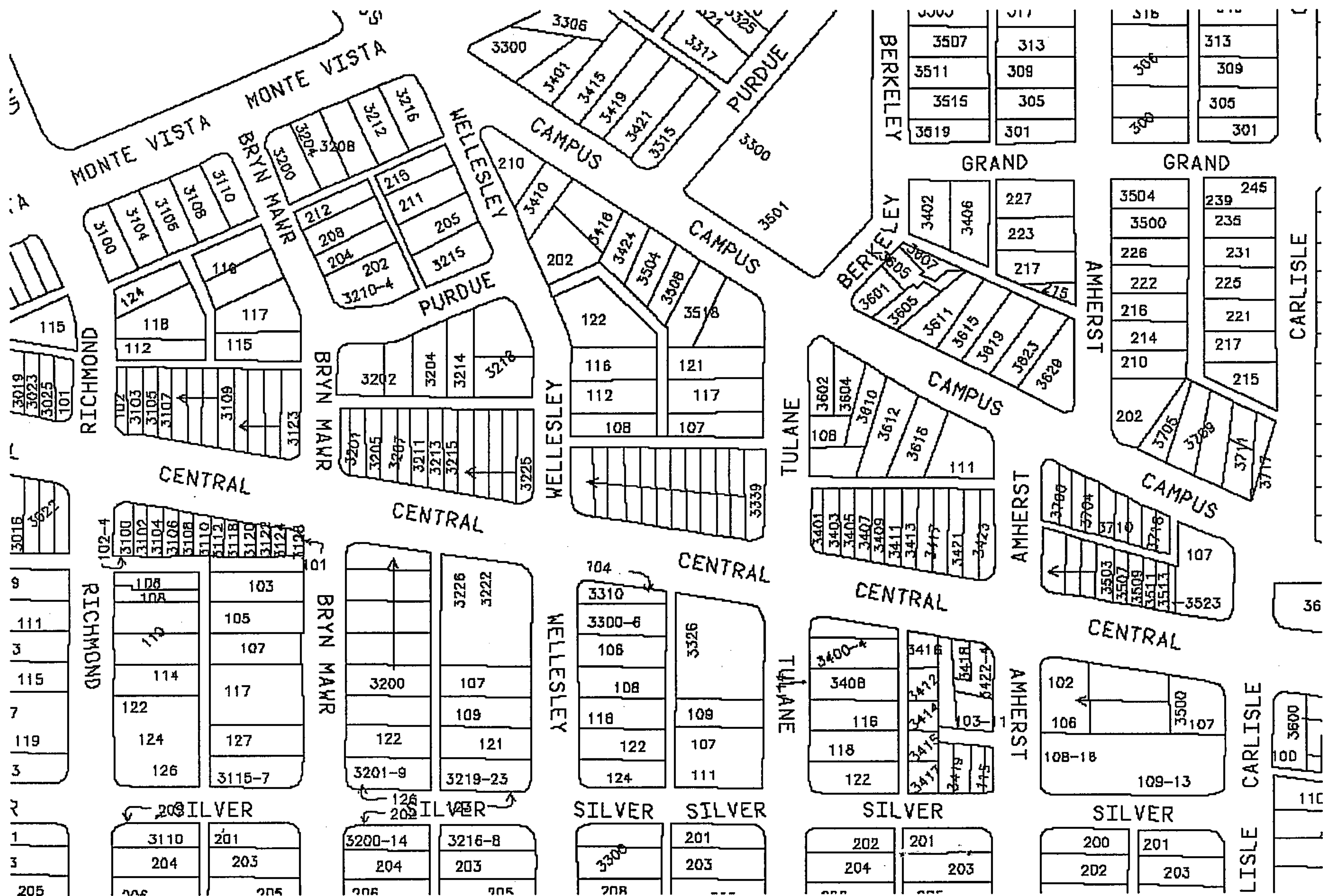
DATE SUBMITTED: 12/19/06 BY: CURTIS PROCTOR



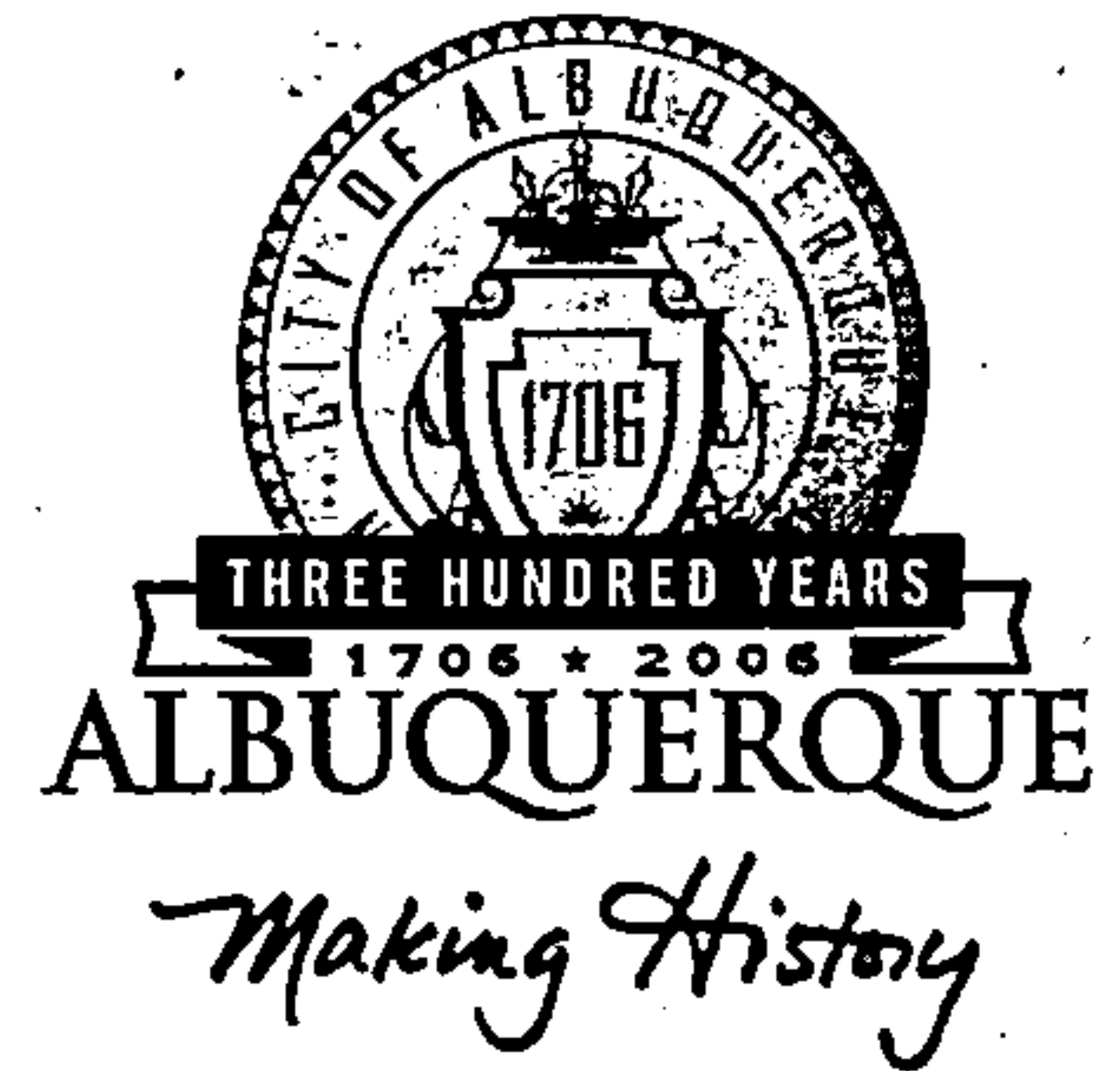
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Chris Gunning Stamp Date 1-12-07



CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

April 3, 2006

Curtis Proctor
Dekker/ Perich/ Sabatini
6801 Jefferson Blvd. Suite 100
Albuquerque NM 87109

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for The Lofts @ Nob Hill [K-16/D-69]
(Project Address), Albuquerque, NM
Engineer's/Architect's Stamp Dated 03/29/06

Dear Proctor,

The TCL submittal dated March 29, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE
Development and Building Services

cc: Hydrology file
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

LOFTS

(REV. 1/28/2003rd)

PROJECT TITLE: THE FLAG @ NOB HILL

DRB #:

EPC#:

ZONE MAP/DRG. FILE #:

WORK ORDER#:

K-16-ZD69

LEGAL DESCRIPTION:

CITY ADDRESS:

LOTS 1-A, 16-A, & 28-A MONTE VISTA
3339 CENTRAL AVE, ALBU, NM

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

SAACON & APPMAN

128 MONROE NW

ALBUQUERQUE, NM

CONTACT:

PHONE:

ZIP CODE:

SCOTT MCGEE

268-2632

87108

OWNER:

ADDRESS:

CITY, STATE:

JASON DASKALOS

5321 MENUAL BLVD NE

ALBUQUERQUE, NM

CONTACT:

PHONE:

ZIP CODE:

JASON DASKALOS

883-0414

87110

ARCHITECT:

ADDRESS:

CITY, STATE:

DEKKER / PERLA / SABATINI

6801 JEFFERSON BLVD #100

ALBUQUERQUE, NM

CONTACT:

PHONE:

ZIP CODE:

CURTIS PROCTOR

761-9700

87109

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

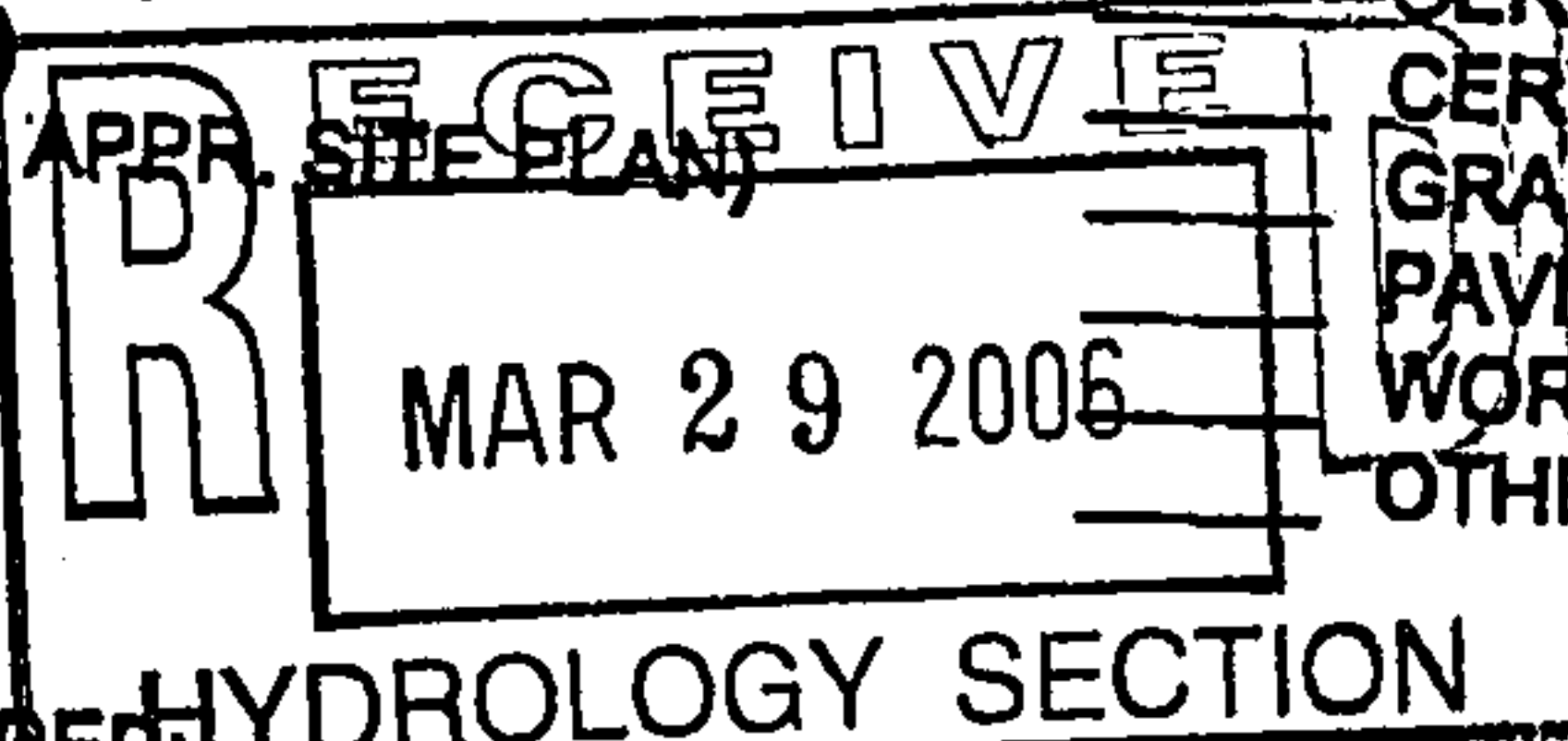
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRAINAGE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED

DATE SUBMITTED:

3/29/06

BY:

CURTIS PROCTOR

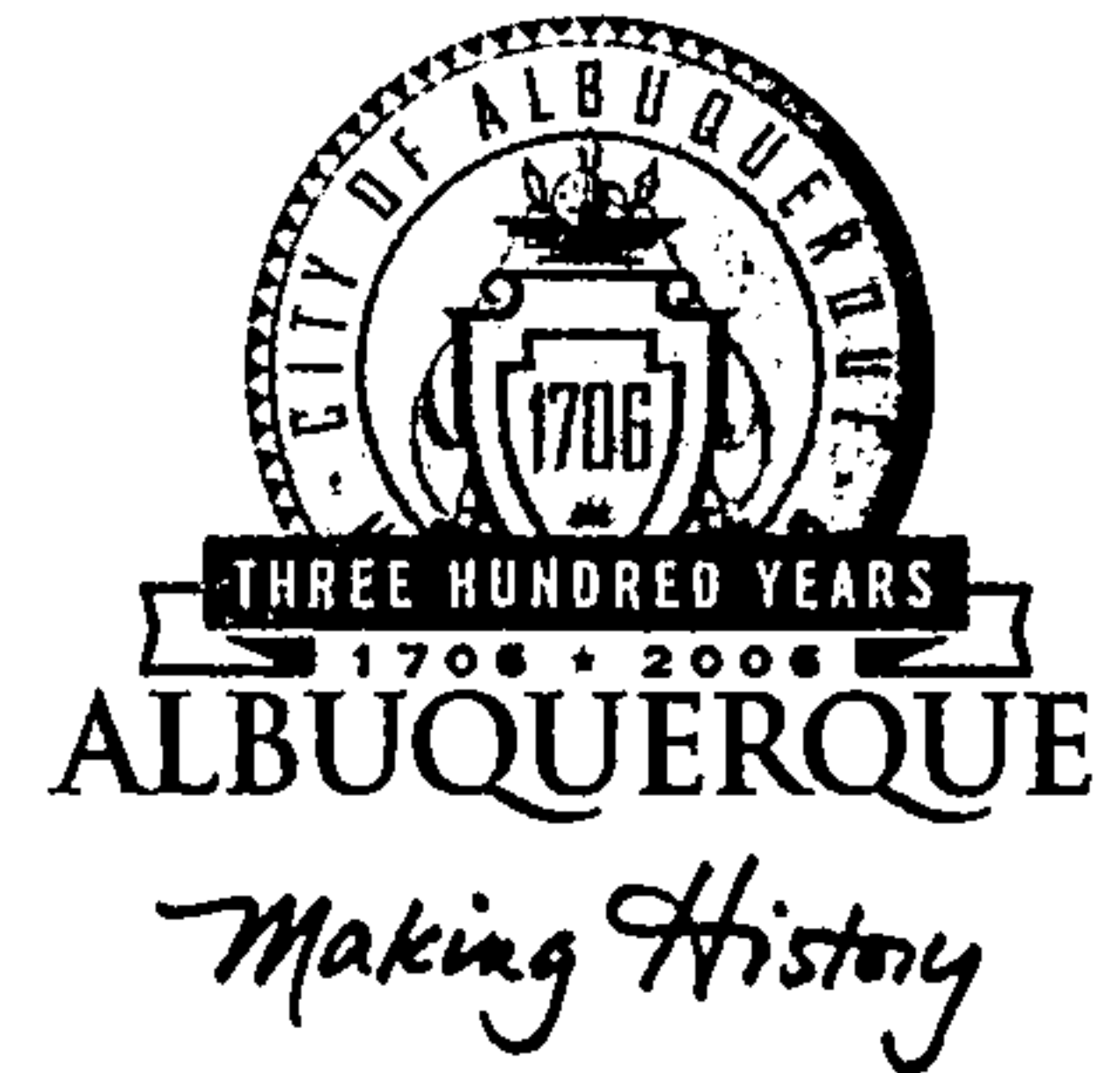
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

(5) 2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five acres.

3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 6, 2006

Scott M. McGee
Isaacson & Arfman, P.A.
128 Monroe St. NE.
Albuquerque, NM 87110

Re: The Place @ Nob Hill, Monte Vista Addition on Central Ave NE
Grading and Drainage Plan
Engineer's Stamp dated 12-22-05 (K16-D69)

Dear Mr. McGee,

Based upon the information provided in your submittal received 12-27-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

1. On the garages, show that the roof drains to the alleyway.
2. Sidewalk culverts are needed at all down spout locations and built according to COA Specs. This should be included in your Work Order drawings.

If you have any questions, you can contact me at 924-3986.

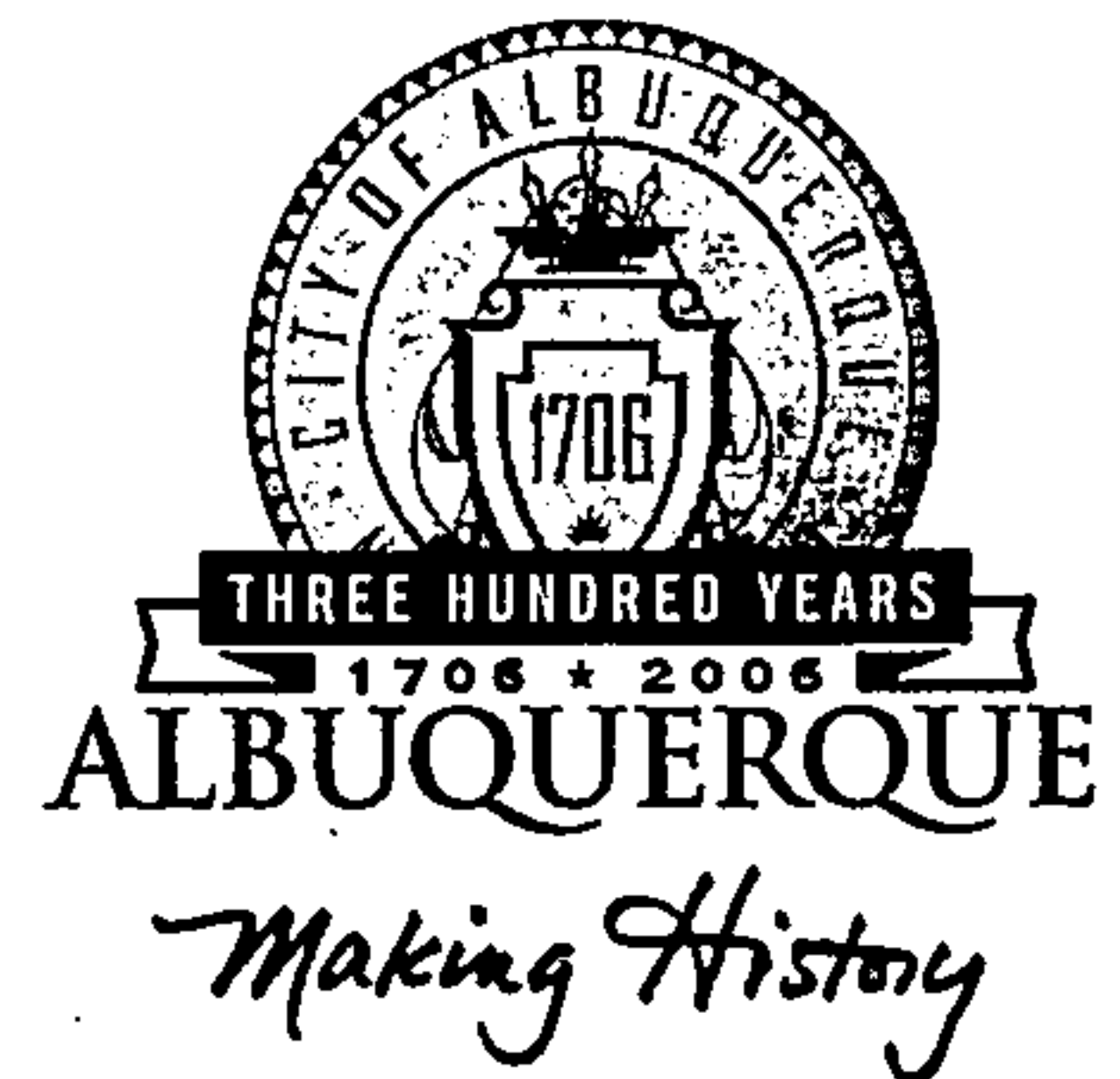
www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 6, 2006

Christopher Gunning, R.A.
Dekker/ Perich/ Sabatini
6801 Jefferson Blvd. Suite 100
Albuquerque, NM 87109

**Re: Lots 1-A, 16-A & 28-A, 3339 Central Ave, Traffic Circulation Layout
Architect's Stamp dated 02-27-06 (K16-D69)**

Dear Mr. Gunning,

Based upon the information provided in your submittal received 02-28-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide parking calculations.
2. Include a vicinity map.
3. Please, refer to all appropriate City Standards; the drawing number should be included in this reference.
4. Dimension all parking stalls.
5. Why is the corner of Central and Wellesley belled out as indicated on the plan?
6. Traffic operation approval is required for note #18, speed bumps, and note #19, the cross walks.
7. Ensure that 18' parking stall is permissible with zoning.
8. The sidewalk along Tulane needs to meet ADA requirements.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: file
WAG:tes

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



May 19, 2006

Scott McGee, P.E.
Isaacson & Arfman P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: The Lofts @ Nob Hill, Lots 1 & 16-28, Block 6, Monte Verde Addition
Grading & Drainage Plan-Engineer's Stamp dated 4-5-06 (K16-D69)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 4-7-06, the above referenced plan is approved as amended for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: Charles Caruso, DMD
file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: The Lofts @ Nob Hill
~~Place in Nob Hill~~

ZONE MAP / DRG. FILE #: K-16/D69

DRB #: 1001789

EPC #: _____

WORK ORDER #: 776781

LEGAL DESCRIPTION: . Lots 1 & 16-28, Block 6, Monte Verde Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee, PE

PHONE: 268-8828

ZIP CODE: 87108

OWNER: Daskalos Properties

ADDRESS: 5321 Menaul Blvd NE

CITY, STATE: Alb, NM

CONTACT: Jason Daskalos

PHONE: _____

ZIP CODE: 87110

ARCHITECT: DPS

ADDRESS: 6801 Jefferson NE, Suite 100

CITY, STATE: Albuquerque, New Mexico

CONTACT: Curtis Proctor

PHONE: 761-9700

ZIP CODE: 87109

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

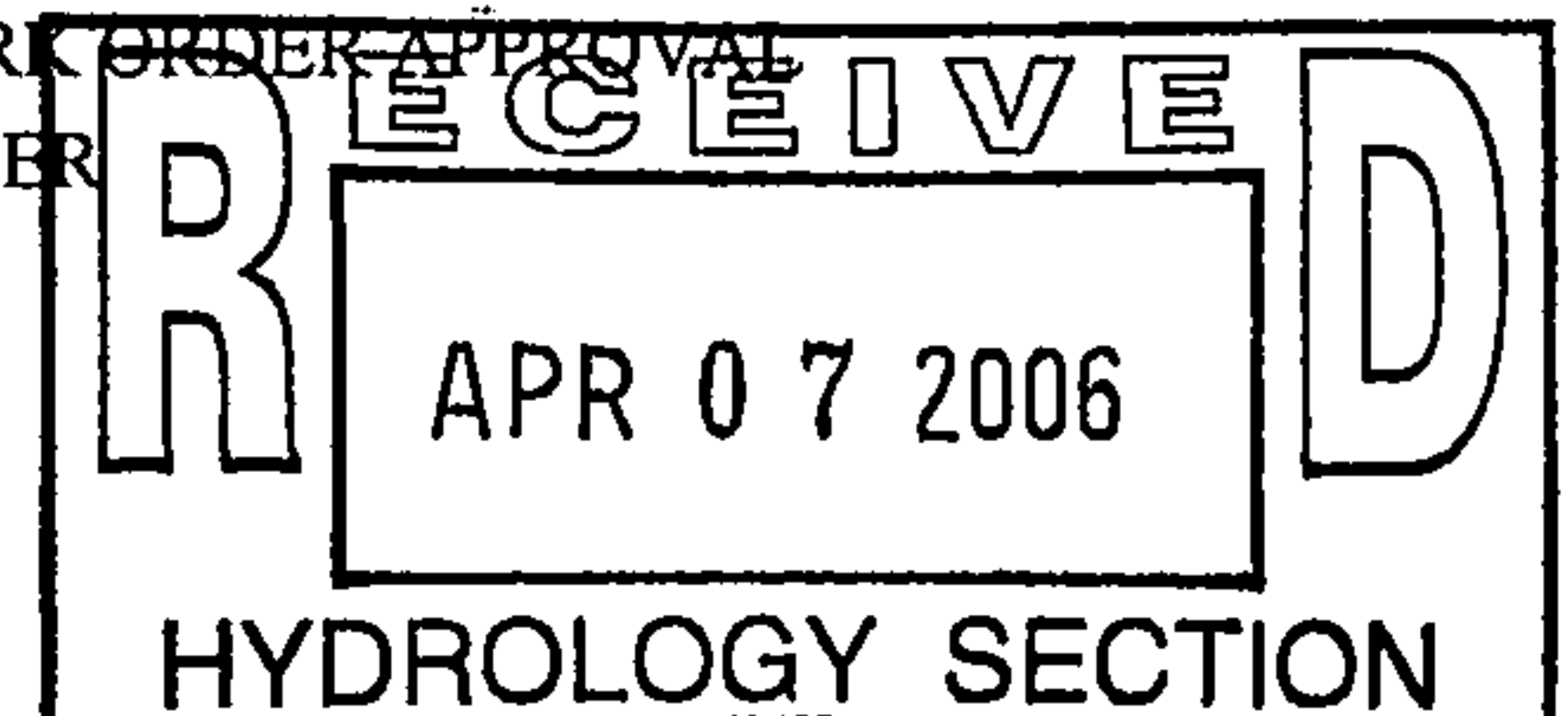
Resub

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER



DATE SUBMITTED: Friday, April 07, 2006

BY: Scott M McGee

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

A Letter of Transmittal

From: Amy L. D. Niese, PE

Date: April 7, 2006

To: Rudy Rael
City of Albuquerque
Hydrology

ISAACSON & ARFMAN, P.A.

CONSULTING ENGINEERING ASSOCIATES



128 MONROE STREET NE
ALBUQUERQUE, NM 87108
PH: 505.268.8828
FAX: 505.268.2632

Job Number:

RE: Place in Nob Hill
K16/D69

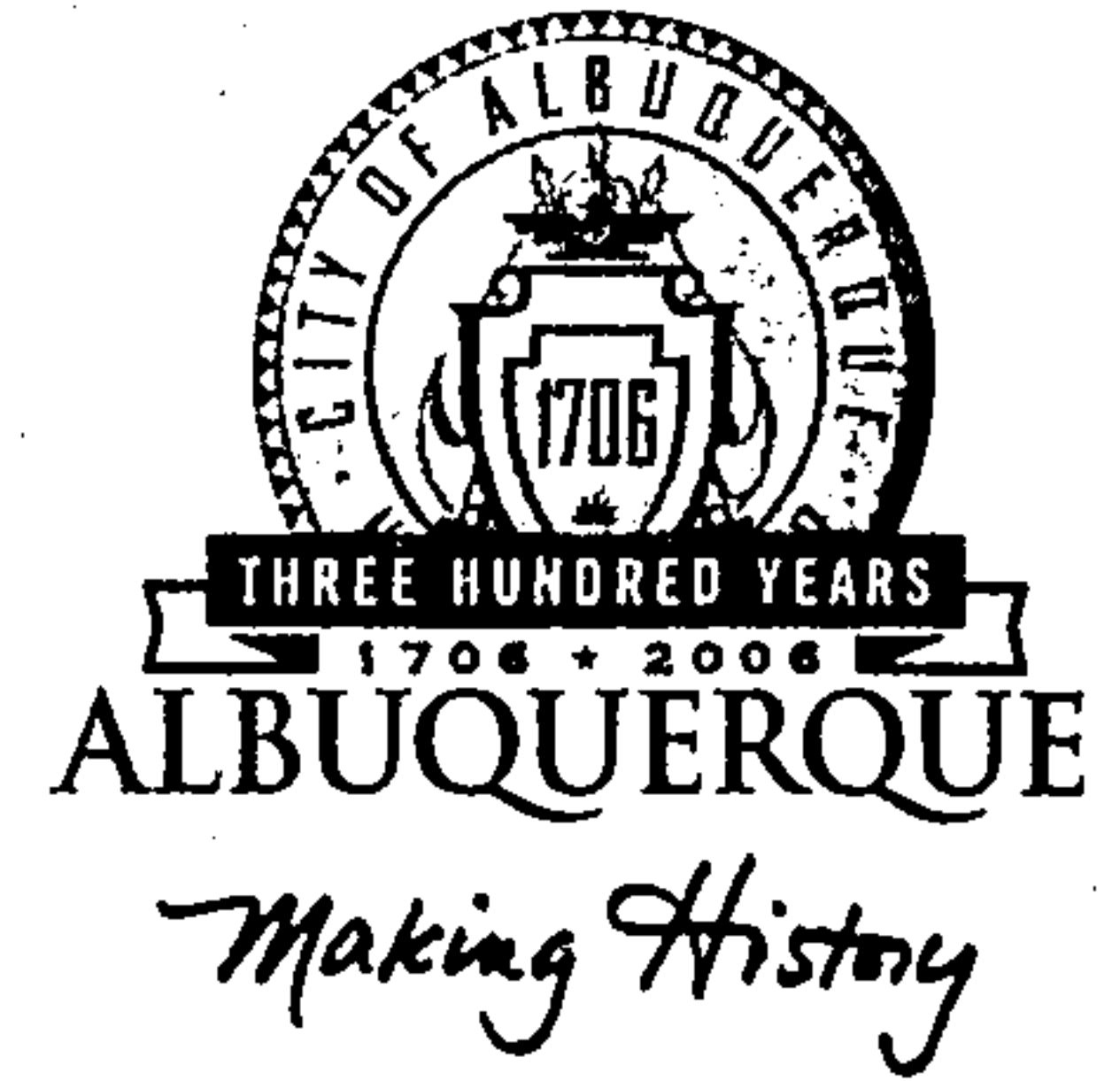
<RESUBMITTAL>

The grading and drainage plans were already approved for this project. Enclosed are revised grading and drainage plans. Please call me if you have any questions.

*S*****

*S SOL WEST UNIT 2
*S EXISTING CONDITIONS
*S 14022E.DAT
*S JANUARY, 2006
*S BY ASA NILSSON-WEBER

CITY OF ALBUQUERQUE



January 25, 2006

Scott M. McGee
Isaacson & Arfman, P.A.
128 Monroe St. NE.
Albuquerque, NM 87110

**Re: The Place @ Nob Hill, Monte Vista Addition on Central Ave NE
Grading and Drainage Plan
Engineer's Stamp dated 1-18-06 (K16-D69)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 1-19-06, the above referenced plan is approved for Building Permit. . Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
File