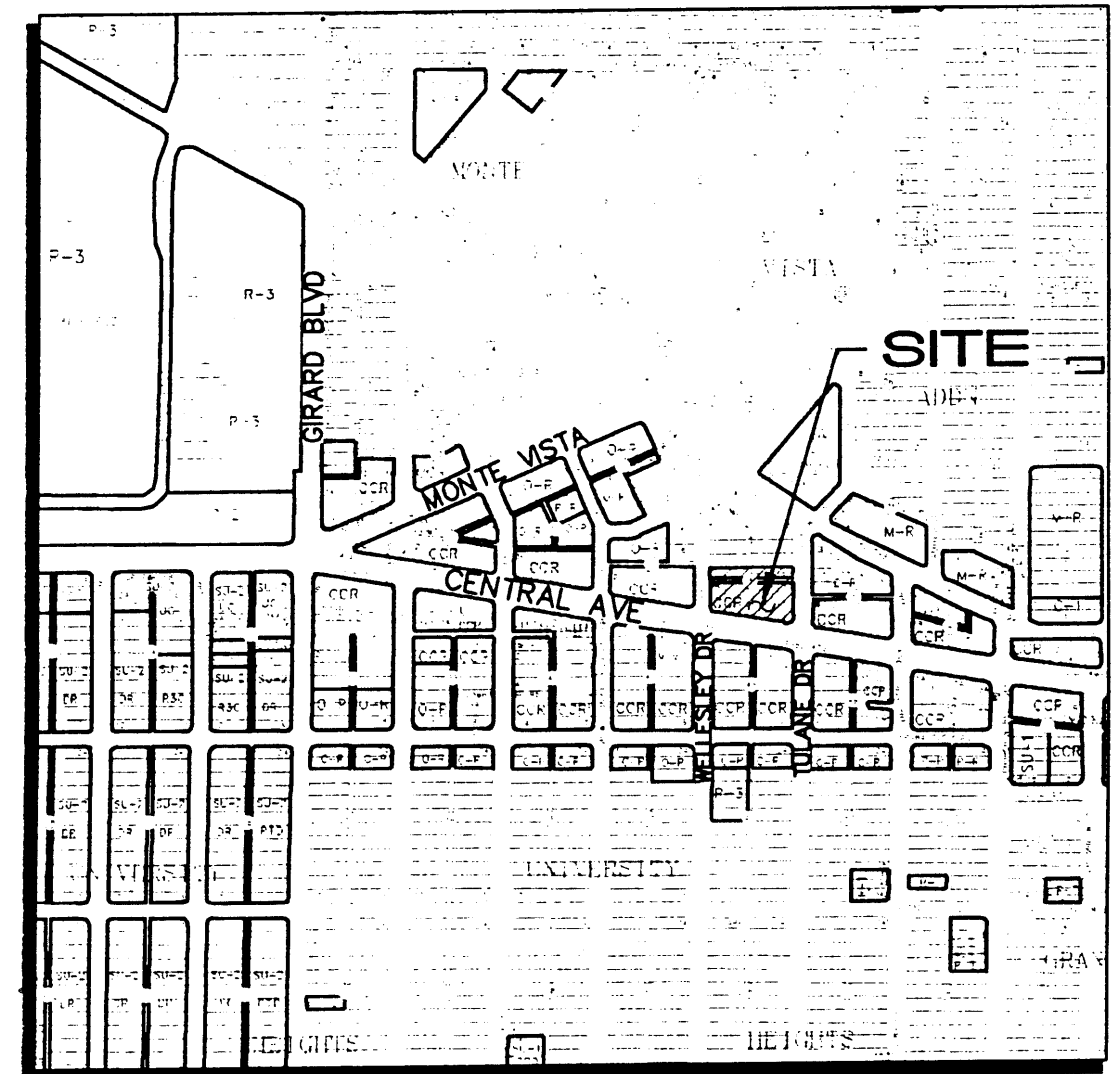
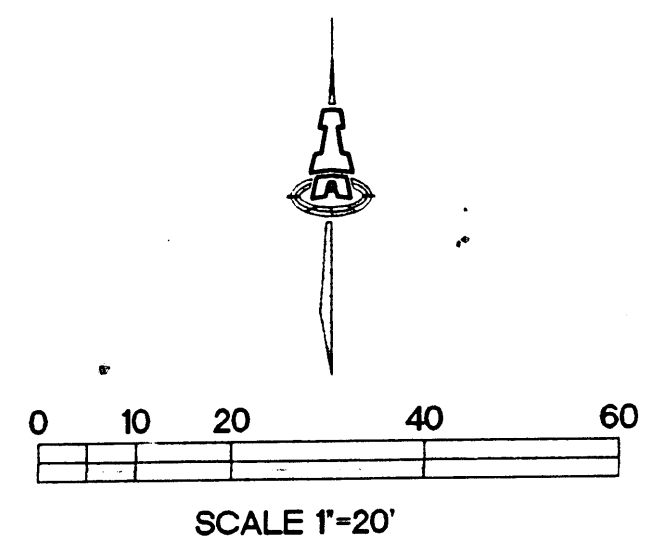




K-16-Z
VICINITY MAP
1"=750'



GENERAL NOTE:
ALL ROOF DRAINS DISCHARGING TO WELLESLEY, CENTRAL, AND TULANE WILL BE CONVEYED TO PUBLIC STREET VIA SIDEWALK CULVERT OR DRAIN LINE. THIS WILL BE CONSTRUCTED BY WORK ORDER #776781 PER COA STANDARD DRAWING 2235.

KEYED NOTES

1. GARAGE FLOOR DRAIN WITH 6" OUTLET TO 3410-1P-1 SEWER--SEE PLUMBING PLAN FOR CONTINUATION.
2. IMPROVEMENTS SHOWN WITHIN ALLEY, WELLESLEY, CENTRAL, & TULANE TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
3. ACCESS RAMPS AT 1:12 (V:H) SLOPE 6' LONG.

LEGEND

EXISTING	PROPOSED
EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING SEWER MANHOLE	PROPOSED SPOT ELEVATION
EXISTING PARKING METER	FLOW ARROW
EXISTING CLEANOUT	FINISH FLOOR ELEVATION
EXISTING TELEPHONE MANHOLE	SIDEWALK CULVERT
EXISTING WATER METER	TOP OF CURB ELEVATION
EXISTING UNKNOWN MANHOLE	FLOWLINE
EXISTING FIRE HYDRANT	FLOOR DRAIN
EXISTING ANCHOR	TOP OF GRATE ELEVATION
OVERHEAD UTILITY LINES	DRAIN LINE WITH SIZE
CURB	ROOF DOWNSPOUT
WALKLINK FENCE	AS-BUILT ELEVATION

LEGAL DESCRIPTION: LOTS 1 AND 16-28, BLOCK 6, MONTE VISTA ADDITION.

PROJECT BENCHMARK: ACS "21-K16" LOCATED AT THE ENE CURB RETURN AT CENTRAL AND WELLESLEY NE AS SHOWN.
ELEVATION= 5203.45

FLOOD PLAIN: FEMA PANEL 0353 INDICATES THE SITE IS WITHIN ZONE 'X' AND OUTSIDE THE 500-YR FLOODPLAIN.

SITE AREA: 53,650 SF (1.23 ACRES)
ALLEY* R W = 0.14 ACRES

EXISTING CONDITIONS: THE SITE WAS PREVIOUSLY DEVELOPED WITH COMMERCIAL BUILDINGS, ASPHALT PAVED PARKING, AND DIRT PARKING AREAS. RUNOFF FLOWED NORTHEAST AS SHEET FLOW AND ENTERED TULANE DRIVE NE.

ZONE: 2 **LAND TREATMENT:** 8% B, 7% C, & 85% D

$$Q_{100} = (1.10)(2.28) + (0.09)(3.14) + (1.04)(4.70) = 5.4 \text{ CFS}$$

THIS EXISTING ALLEY SLOPES DOWN TO THE EAST AND ALSO DISCHARGES RUNOFF TO TULANE DRIVE NE.

$$ALLEY Q_{100} = 1.14(4.70) = 0.66 \text{ CFS}$$

PROPOSED CONDITIONS: TWO GARAGE BUILDINGS ARE PROPOSED ON THE NORTH SIDE OF THE PUBLIC ALLEY. ONE 3-STORY MIXED USE BUILDING WITH UNDERGROUND PARKING IS PROPOSED ADJACENT TO CENTRAL. THE PARKING WILL BE ACCESSED FROM THE ALLEY & INCLUDES A FLOOR DRAIN THAT DISCHARGES TO THE SANITARY SEWER. ALL ROOF AREA DISCHARGES TO THE ADJUTING PUBLIC STREETS/ALLEY AS SHOWN.
 $Q_{100} = (1.23)(4.70) = 5.8 \text{ CFS}$
RUNOFF INCREASE IS MINOR AND WILL NOT ADVERSELY IMPACT DOWNSTREAM FACILITIES.

SEE SHEET C002 FOR ROOF AREA DRAINAGE AND DOWNSPOUT LOCATIONS. THE ROOF AREA DRAINING TO THE ALLEY INCLUDES THE TWO SEPARATE GARAGE BUILDINGS AND A 13,850 SF PORTION OF THE MAIN BUILDING.

DRAINING TO ALLEY: AREA= 0.59 ACRE
ALLEY AREA= 0.14 ACRE
TOTAL AREA= 0.73 ACRE

$$ALLEY Q = (0.73)(4.70) = 3.4 \text{ CFS}$$

$$ALLEY CAPACITY = (1.486/0.015)(1.6)(0.2154)(0.0109)^{1/2}$$

$$CAPACITY = 3.56 \text{ CFS [OK]}$$

ROOF DOWNSPOUTS ALONG CENTRAL, WELLESLEY, AND TULANE WILL DISCHARGE VIA A SIDEWALK CULVERT OR PVC DRAIN LINE THROUGH THE SIDEWALK AND CURB FACE.

DRAINAGE CERTIFICATION

I, Scott M McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 08/30/07. The record information edited onto the original design document has been obtained by David R Vigil, NMPS 8911, of the firm Geo-Survco, Inc. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M McGee 4/9/08
Scott M. McGee, PE NMPE 10519

**Dekker
Perich
Sabatini**

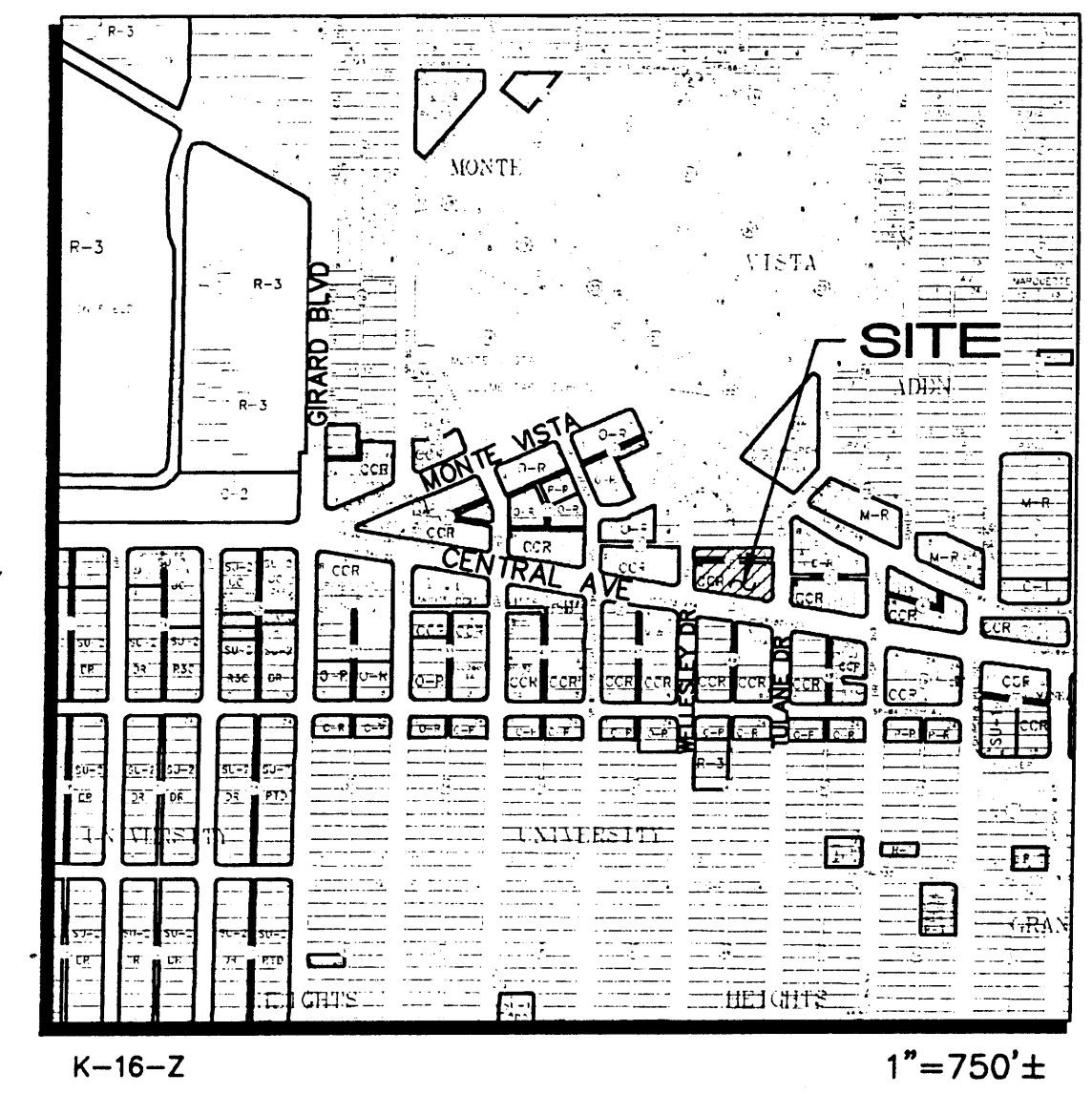
8801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-8788
Fax 761-4222
dps@dpsnyc.com

ARCHITECT

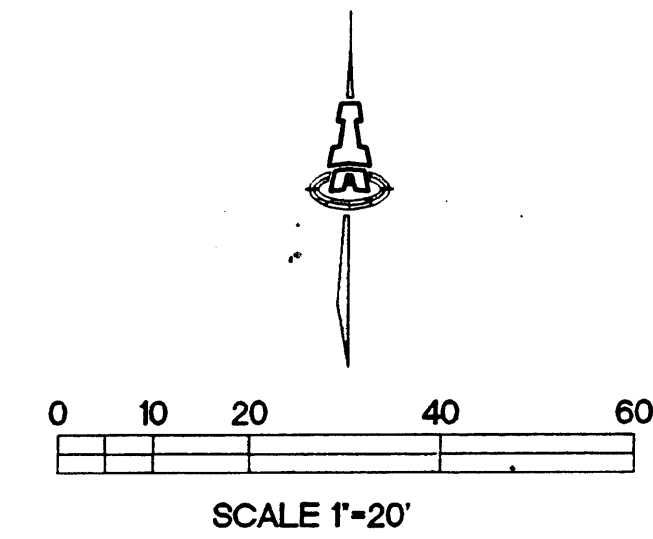
ENGINEER

SCOTT M. MCGEE
NEW MEXICO
10519
8/30/07

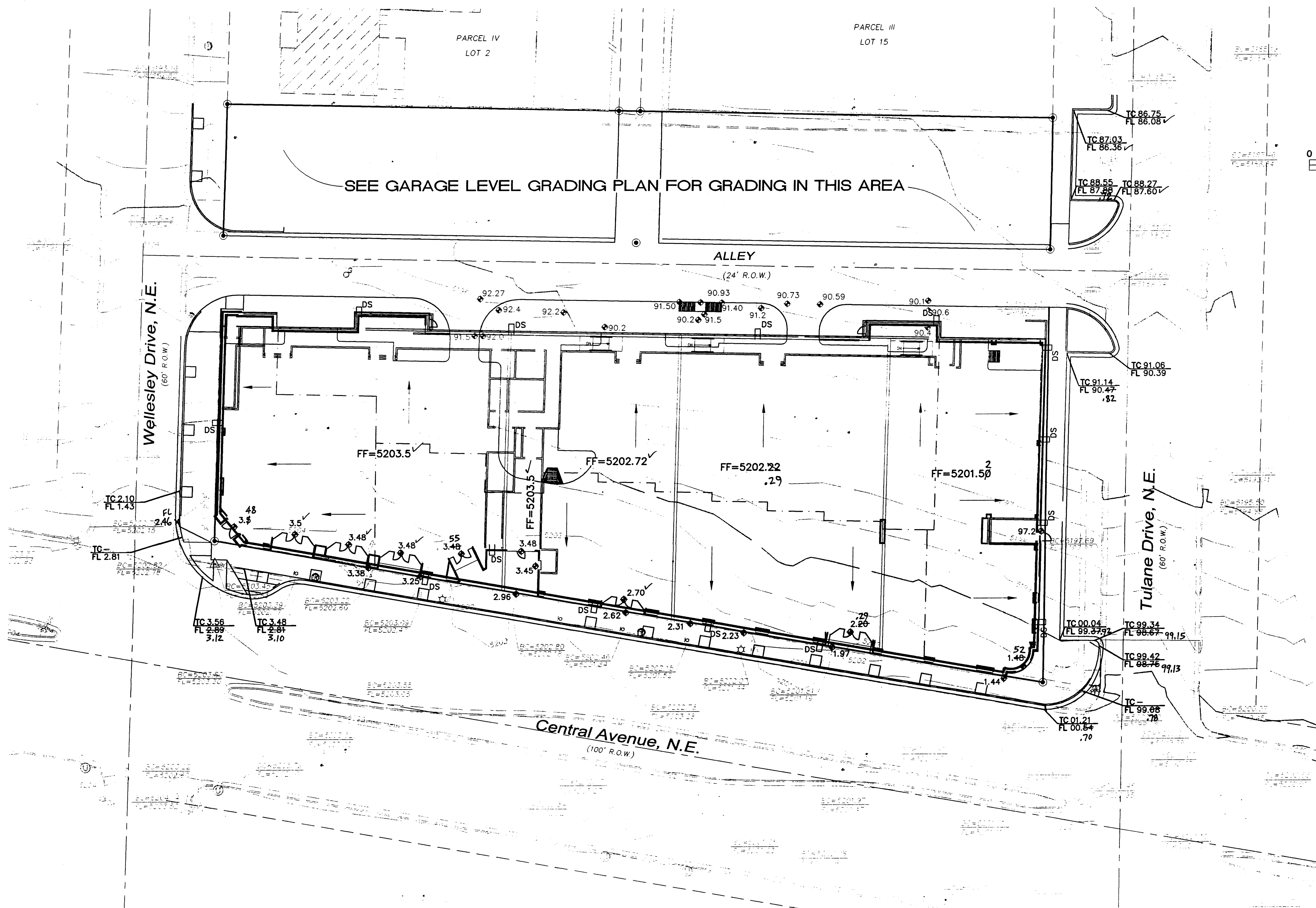
PROJECT



VICINITY MAP



SCALE 1"=20'



LEGEND

EXISTING	PROPOSED
EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING FLOWLINE	PROPOSED SPOT ELEVATION
EXISTING SEWER MANHOLE	FINISH FLOOR ELEVATION
EXISTING PARKING METER	SIDEWALK CULVERT
EXISTING CLEANOUT	TOP OF CURB ELEVATION
EXISTING TELEPHONE MANHOLE	INVERT ELEVATION
EXISTING WATER METER	ROOF DOWNSPOUT
EXISTING UNKNOWN MANHOLE	ROOF DRAIN BOUNDARY
EXISTING FIRE HYDRANT	AS-BUILT ELEVATION
EXISTING ANCHOR	
OVERHEAD UTILITY LINES	
CURB	
CHAINLINK FENCE	

DRAINAGE CERTIFICATION

I, Scott M McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 08/30/07. The record information edited onto the original design document has been obtained by David R Vigil, NMPS 8911, of the firm Geo-Survco, Inc. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M McGee 4/9/07
Scott M. McGee, PE NMPE 10519

REVISIONS
▲
▲
▲
▲
▲
▲

DRAWN BY
REVIEWED BY
DATE 08/29/07
PROJECT NO. 05049
DRAWING NAME

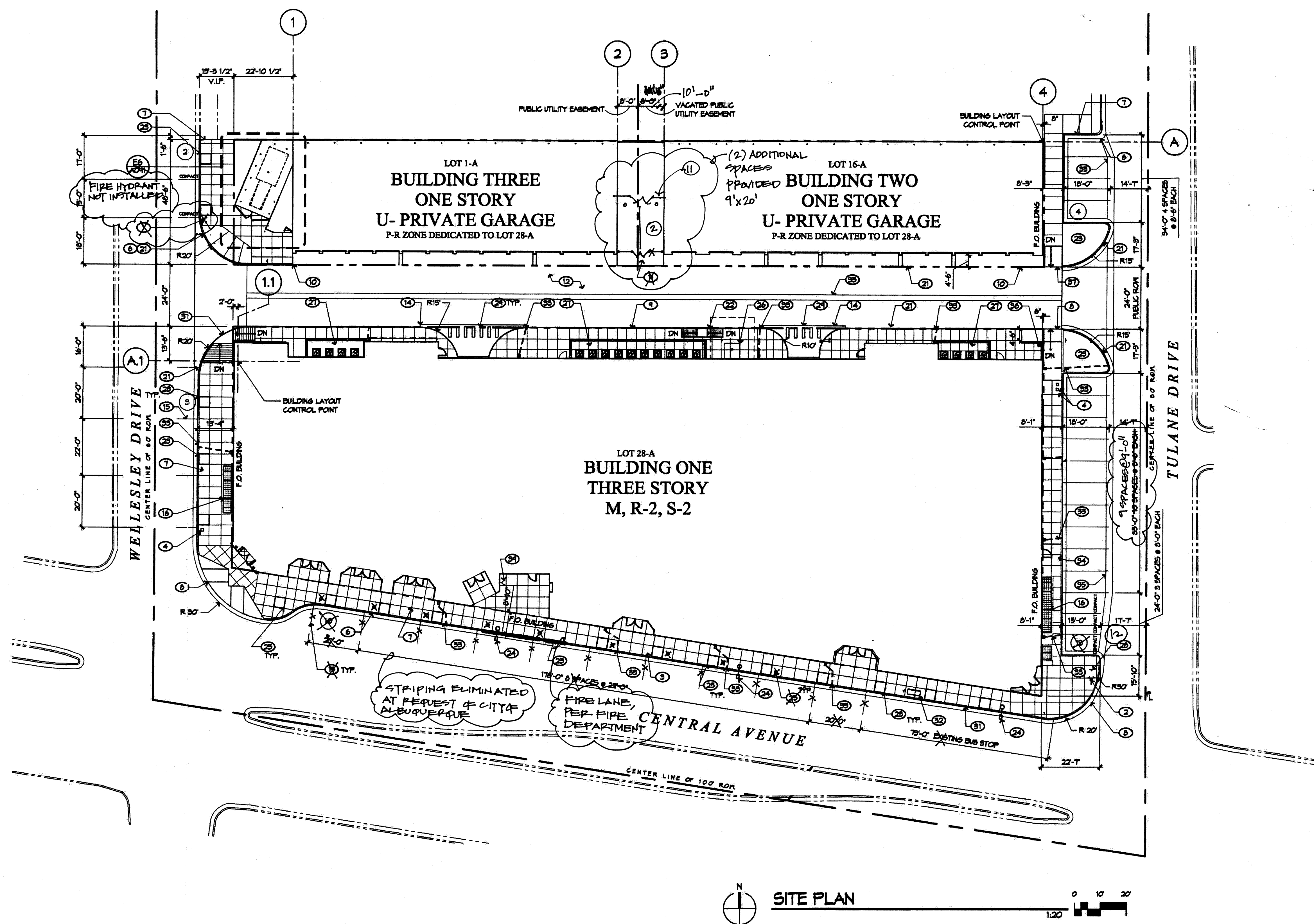
**GRADING AND
DRAINAGE PLAN
RETAIL LEVEL**

SHEET NO.

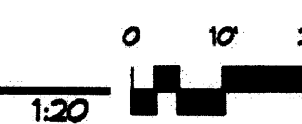
C002

OF

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1486GRD.dwg Aug 29, 2007



SITE PLAN



GENERAL NOTES

A. AVERAGE SIDEWALK WIDTH: 8'-0" + 8'-0" + 15'-4" + 20'-4" / 5 = 9'-7" AVE. WIDTH

KEYED NOTES

1. FIRE HYDRANT, RE. COOS
2. EXISTING HYDRANT, RELOCATED
3. EXISTING RELOCATED WATER METER TO REMAIN
4. WATER METER RE. COOS & P111
5. NOT USED
6. CONCRETE CURB AND GUTTER, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
7. CONCRETE SIDEWALK, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
8. CURB RAMP, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
9. CONCRETE SIDEWALK, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
10. CONCRETE APRON
11. STEEL GATE, LOCKABLE, PAINT (2) 5'-0"
12. ASPHALT PAVING, RE. COOI
13. EXISTING ASPHALT PAVING TO REMAIN
14. CONCRETE APRON, PER CITY OF ALBUQUERQUE STANDARD
15. PARKING, RESTRICTED EXISTING SPACES
16. GALV. STEEL GRATE IN SIDEWALK, FOR OPEN GARAGE VENTILATION
17. NOT USED
18. NOT USED
19. NOT USED
20. EXISTING BUS STOP TO REMAIN, PROVIDE SIDEWALK BENCH
21. PAINT CURB/ ASPHALT RED+ PAINT TEXT "FIRE LANE NO PARKING"
22. CURB RAMP, RE. A6/A01
23. PLANTING AREA, RE. SHEET # 16
24. LIGHT POLE, TO MATCH HEIGHT OF EXISTING
25. PARKING METER POLE, RE. CITY OF ALBUQUERQUE DETAIL # 2520
26. TRANSFORMER, RE. A111 & E110
27. MECHANICAL EQUIPMENT, RE. M111
28. EXISTING STOP SIGN, RELOCATED, PER CITY OF ALBUQUERQUE STANDARDS
29. PAINTED CROSSWALK, COLOR WHITE
30. BACKLASH PREVENTOR HOT BOX, RE. E110, AND M110
31. PAINT CURB WITH THE LETTERS "BUS STOP", PER CITY OF ALBUQUERQUE STANDARDS
32. EXISTING BENCH, RELOCATED & POLE MOUNTED BUS STOP SIGN, PER CITY OF ALBUQUERQUE STANDARDS
33. SIDEWALK CULVERT, 1'-0" X 1'-6" GALV. STEEL, ADA COMPLIANT GRATE FLUSH WITH SIDEWALK, 4" PVC PIPE BELOW SIDEWALK, DAYLIGHT TO FACE OF CURB
34. LANDINGS, 2% MAX SLOPE
35. CONCRETE VALLEY GUTTER, RE. CITY OF ALBUQUERQUE STANDARD DETAIL 3422, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
36. CONCRETE ALLEY GUTTER, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
37. CONCRETE CURB RAMP, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # 716781
38. POST INDICATOR VALVE, RE. COOS, AND FIRE PROTECTION DRAWINGS
39. FIRE DEPARTMENT CONNECTION, RE. COOS

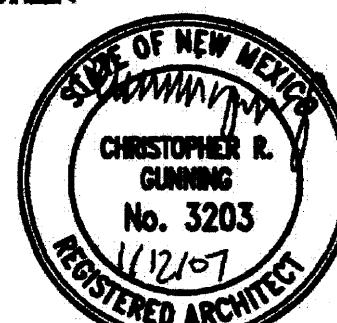
architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

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505 761-9700
fax 761-4222
dps@dpdesign.org
ARCHITECT

ISSUED FOR
PERMIT

ENGINEER



PROJECT

The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

Albuquerque
Building & Safety
DEC 22 2006
I.B.C.
Plan Check Section

PARKING REQUIREMENT ANALYSIS		
1. RESIDENTIAL STORAGE COMPONENT CONSISTS OF:	4,009 NLSF	
2. 4,009 NLSF / 2000 =	2 SPACES	
3.		
4. RETAIL COMPONENT OF BUILDING CONSISTS OF:	22,571 NLSF	
5. REQUIREMENTS: (1) SPACE PER 300 NLSF FOR THE FIRST 15,000 NLSF		
6. (1) SPACE PER 250 NLSF AFTER THE FIRST 15,000 NLSF		
7.		
8. 15,000 NLSF / 200 =	75 SPACES	
9. 7,571 NLSF / 250 =	+ 30.2 SPACES	
10. RETAIL SUBTOTAL	+ 105.2 SPACES	
11.		
12. RESIDENTIAL COMPONENT OF BLDG. CONSISTS OF:	26 UNITS WITH (2) BATHS	
13. 26 DWELLING UNITS X 2 SPACES EACH	+ 52 SPACES	
14. RESIDENTIAL STORAGE SUBTOTAL	127 SPACES	
15. RETAIL SUBTOTAL	105.2 SPACES	
16. RESIDENTIAL SUBTOTAL:	+ 52.0 SPACES	
17. NUMBER OF REQUIRED PARKING IN/OUT REDUCTIONS:	+ 194.2 SPACES	
18.		
19. PARKING REDUCTIONS	194.2 SPACES	
20. 10% TRANSIT REDUCTION, (194.2 SPACES X 10%):	x 10%	
21. TOTAL NUMBER OF REQUIRED PARKING WITH REDUCTIONS:	144 SPACES	
22. PARKING PROVIDED		
23. PRIVATE PARKING GARAGE BUILDING (P-R ZONE):	50 SPACES	
24. UNDERGROUND PARKING STRUCTURE:	+ 15 SPACES	
25. (OF THE 15 SPACES 5 ARE ACCESSIBLE WITH 2 BEING VAN ACCESSIBLE)		
26. 1/2 OF NEW ON-STREET PARKING ADJUTING (3) LOTS:	+ 15 SPACES	
27. TOTAL NUMBER PARKING SPACES PROVIDED:	145 + 144 SPACES	
28. 144 SPACES PROVIDED EXCEEDS 144 SPACES REQUIRED BY 1 SPACES		
29. COMPACT SPACES (25% OF 144, 36, ON)	36 PROVIDED	
30. BICYCLE PARKING (1/44 / 30 = 1.2)	1 PROVIDED	
31. MOTORCYCLE PARKING	4 PROVIDED	

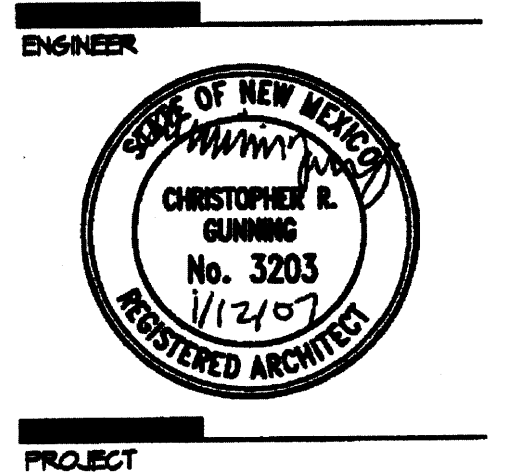
TRAFFIC CIRCULATION LAYOUT
APPROVED
1/12/07
Signed Date

REVISIONS
1/12/07 J.L. COMMENTS
△
△
△
△
△

DRAWN BY: D/P/S
REVIEWED BY: D/P/S
DATE: 11/30/06
PROJECT NO.: 08044
DRAWING NAME: SITE PLAN

SHEET NO.
A001
OF

ISSUED FOR
PERMIT



The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

Albuquerque
Building & Safety
DEC 2 2 2006
I.B.C.
Plan Check Section

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed: *[Signature]* Date: *[Date]*

REVISIONS

1/12/01 TEL COMMENTS

DRAWN BY
REVIEWED BY CP
DATE 11/30/06
PROJECT NO. 08044
DRAWING NAME
GARAGE LEVEL
FLOOR PLAN

SHEET NO.
A111

GENERAL NOTES

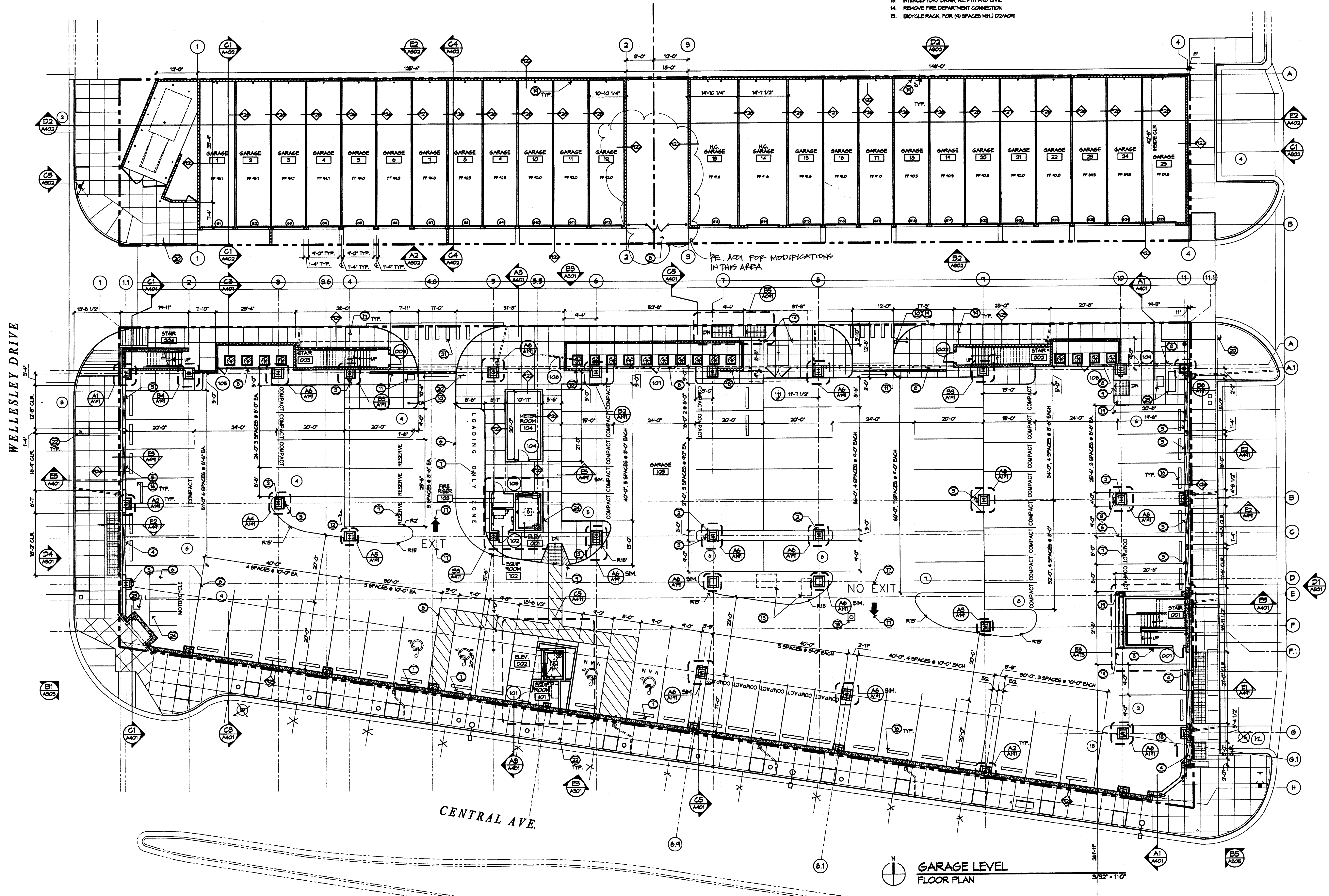
- REFER A111 FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON GARAGE LEVEL AND GROUND LEVEL PLAN.
- REFER A151(A14) FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON RESIDENTIAL LEVEL ONE AND TWO PLAN.
- CONTRACTOR TO VERIFY IN FIELD LAYOUT PRIOR TO CONSTRUCTION

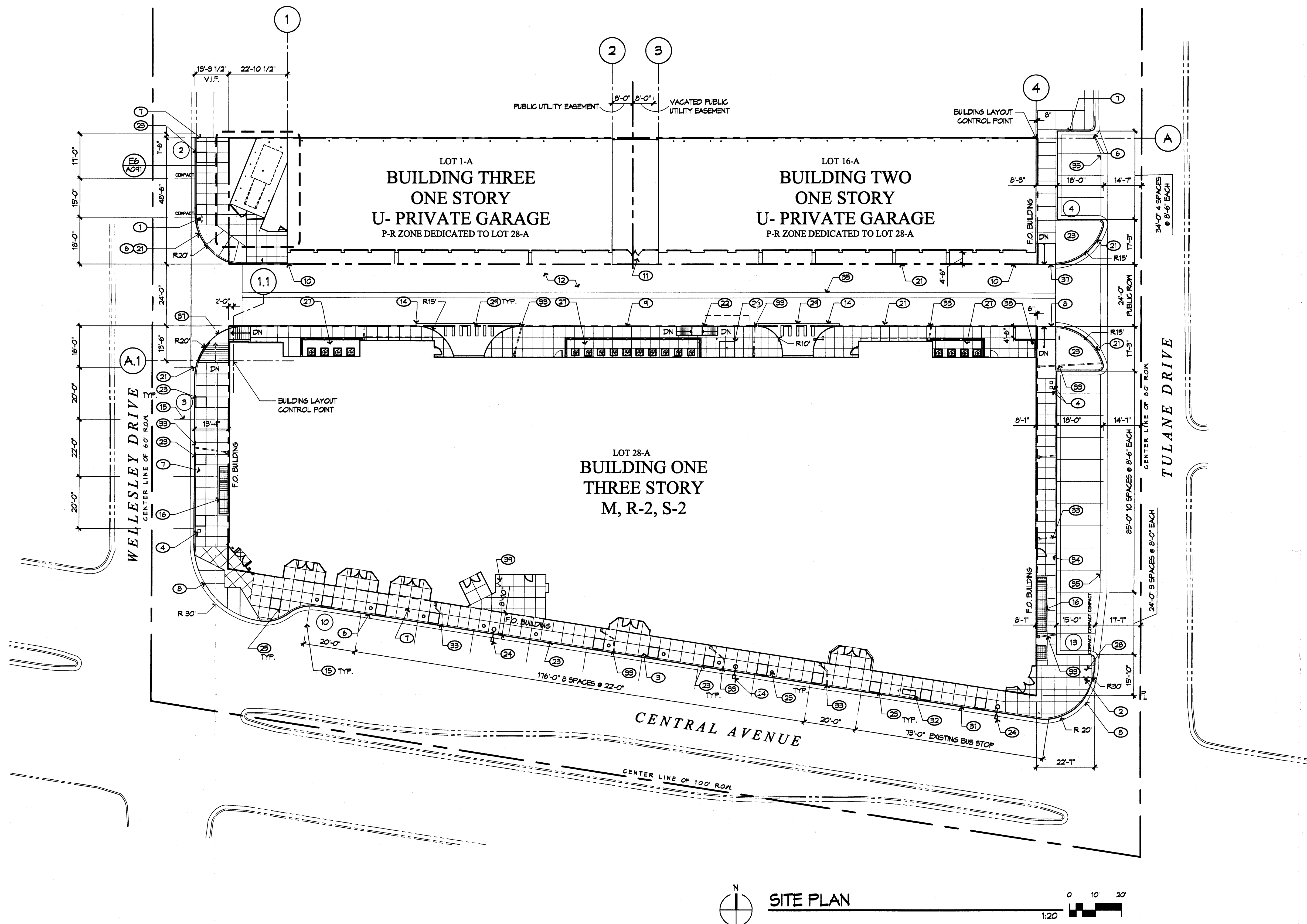
KEYED NOTES

- ADA PARKING SIGN, B2/A011, TYP.
- ALL COLUMNS TURNED OUT, 1 HOUR FIRE RESISTIVE CONSTRUCTION, TYP.
- FIRE EXTINGUISHER CABINET, RE. B5/A181 AND D5/A181 FOR DETAIL AND MOUNTING HEIGHT.
- OPENINGS IN CONCRETE WALL, WITH SIDEWALK GRATE, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/55.1.
- OPENINGS IN CONCRETE WALL, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/55.1.
- PARKING LOT STRIPING, 5" WIDE, WHITE
- 6" HIGH LETTERS, PAINTED WHITE
- ORNAMENTAL FENCINGS
- CURB RAMP, RE. A6/A011
- SECURITY KEY PAD OPERATOR FOR SLIDING GATE, RE. E110
- SLIDING GATE WITH HYDRAULIC CONTROLLER
- RESERVED PARKING SIGNAGE, RE. A5/A011
- INTERCEPTOR DRAIN, RE. F111 AND G111
- REMOVE FIRE DEPARTMENT CONNECTION
- BI-CYCLE RACK, FOR (10) SPACES MIN. D2/A011

KEYED NOTES

- CONCRETE WHEEL STOP, SECURED TO CONCRETE, RE. A4/A011
- PAINT, LETTERS AND DIRECTIONAL ARROWS
- PROVIDE 3 STEPS DISPERSED EQUIDISTANTLY IN CHU JONTS @ GRADE, SLOPE TO DRAIN
- STEEL BOLLARDS, RE. D1/A011
- POLE MOUNTED SIGNAGE, "YIELD TO PEDESTRIANS"
- CROSSWALK, PAINT STRIPES 1'-0" X 4'-0", WHITE
- TRUCK WHEEL, RE. B5/A011, L16-L17
- HOT BOX, WITH BACK FLOW PREVENTOR, RE. C005, E110, AND M110
- POLE / WALL MOUNTED SIGNAGE, "MOTORCYCLE PARKING", RE. A5/A011 SM.





GENERAL NOTES

A. AVERAGE SIDEWALK WIDTH: 6'-1" + 8'-10" + 13'-4" + 28'-4" / 3 = 9'-1" AVE. WIDTH

KEYED NOTES

1. FIRE HYDRANT, RE. COOS
2. EXISTING HYDRANT, RELOCATED
3. EXISTING RELOCATED WATER METER TO REMAIN
4. WATER METER RE. COOS & P111
5. NOT USED
6. CONCRETE CURB AND GUTTER, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # T16781
7. CONCRETE SIDEWALK, RE. C1103/A091
8. CURB RAMP, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # T16781
9. CONCRETE SIDEWALK, RE. CA/A091
10. CONCRETE APRON
11. STEEL GATE, LOCKABLE, PAINT (2) 3'-0"
12. ASPHALT PAVING, RE. COO1
13. EXISTING ASPHALT PAVING TO REMAIN
14. CONCRETE APRON, PER CITY OF ALBUQUERQUE STANDARD
15. PARKING, RESTRIKE EXISTING SPACES
16. GALV. STEEL GRATE IN SIDEWALK, FOR OPEN GARAGE VENTILATION
17. NOT USED
18. NOT USED
19. NOT USED
20. EXISTING BUS STOP TO REMAIN, PROVIDE SIDEWALK BENCH
21. PAINT CURB/ ASPHALT RED PAINT TEXT "FIRE LANE NO PARKING"
22. CURB RAMP, RE. AB/A091
23. PLANTING AREA, RE. SHEET # 16
24. LIGHT POLE, TO MATCH HEIGHT OF EXISTING
25. PARKING METER POLE, RE. CITY OF ALBUQUERQUE DETAIL # 2526
26. TRANSFORMER, RE. A111 & E110
27. MECHANICAL EQUIPMENT, RE. M111
28. EXISTING STOP SIGN, RELOCATED, PER CITY OF ALBUQUERQUE STANDARDS
29. PAINTED CROSSWALK, COLOR WHITE
30. BACKFLOW PREVENTOR HOT BOX, RE. E110, AND M110
31. PAINT CURB WITH THE LETTERS "BUS STOP", PER CITY OF ALBUQUERQUE STANDARDS
32. EXISTING BENCH, RELOCATED & POLE MOUNTED BUS STOP SIGN, PER CITY OF ALBUQUERQUE STANDARDS
33. SIDEWALK CULVERT, 1'-0" x 1'-6" GALV. STEEL ADA COMPLIANT GRATE FLUSH WITH SIDEWALK, 4' 4" PVC PIPE BELOW SIDEWALK, DAYLIGHT TO FACE OF CURB
34. LANDING, 2% MAX SLOPE
35. CONCRETE VALLEY GUTTER, RE. CITY OF ALBUQUERQUE STANDARD DETAIL 2422, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # T16781
36. CONCRETE ALLEY GUTTER, RE. TO CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # T16781
37. CONCRETE CURB RAMP, RE. CITY OF ALBUQUERQUE CONSTRUCTION DRAWINGS, PROJECT # T16781
38. POST INDICATOR VALVE, RE. COOS, AND FIRE PROTECTION DRAWINGS
39. FIRE DEPARTMENT CONNECTION, RE. COOS

PARKING REQUIREMENT ANALYSIS

1. RESIDENTIAL STORAGE COMPONENT CONSISTS OF:	4,009 NLSF
2. 4,009 NLSF / 2000 =	2 SPACES
3.	
4. RETAIL COMPONENT OF BUILDING CONSISTS OF:	22,571 NLSF
5. REQUIREMENTS: (1) SPACE PER 200 NLSF FOR THE FIRST 15,000 NLSF	
6. (1) SPACE PER 250 NLSF AFTER THE FIRST 15,000 NLSF	
7.	
8. 15,000 NLSF / 200 =	75 SPACES
9. 7,571 NLSF / 250 =	+ 30.3 SPACES
10. RETAIL SUBTOTAL	+ 105.3 SPACES
11.	
12. RESIDENTIAL COMPONENT OF BLDG. CONSISTS OF: 26 UNITS WITH (2) BATHS	
13. 26 DWELLING UNITS X 2 SPACES EACH	+ 52 SPACES
14. RESIDENTIAL STORAGE SUBTOTAL	2.0 SPACES
15. RETAIL SUBTOTAL	105.3 SPACES
16. RESIDENTIAL SUBTOTAL:	+ 52.0 SPACES
17. NUMBER OF REQUIRED PARKING IN/OUT REDUCTIONS:	+ 194.2 SPACES
18.	
19. PARKING REDUCTIONS	194.2 SPACES
20. 10% TRANSIT REDUCTION, (194.2 SPACES X 10%):	x 40%
21. TOTAL NUMBER OF REQUIRED PARKING IN/OUT REDUCTIONS:	144 SPACES
22. PARKING PROVIDED	
23. PRIVATE PARKING GARAGE BUILDING (P-R ZONE):	50 SPACES
24. UNDERGROUND PARKING STRUCTURE:	+ 75 SPACES
25. (OF THE 75 SPACES 5 ARE ACCESSIBLE WITH 2 BENS VAN ACCESSIBLE)	
26. 1/2 OF NEW ON-STREET PARKING ADJUTING (3) LOTS:	+ 16 SPACES
27. TOTAL NUMBER PARKING SPACES PROVIDED:	+ 144 SPACES
28. 144 SPACES PROVIDED EXCEEDS 144 SPACES REQUIRED BY 0 SPACES	
29. COMPACT SPACES (25% OF 144 = 36, OK)	31 PROVIDED
30. BICYCLE PARKING (144 / 20 = 7.2)	4 PROVIDED
31. MOTORCYCLE PARKING	4 PROVIDED

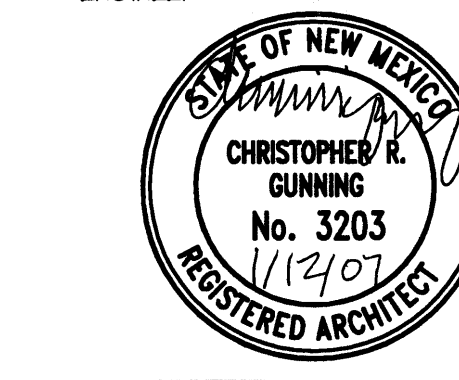
architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

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505 761-9700
fax 761-4222
dps@dpsdesign.org
ARCHITECT

ISSUED FOR
PERMIT

ENGINEER



PROJECT

The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed: *[Signature]* Date: 1-12-07

REVISIONS



DRAWN BY: D/P/S

REVIEWED BY: D/P/S

DATE: 11/30/06

PROJECT NO.: 05044

DRAWING NAME: SITE PLAN

SHEET NO.

A001
OF

GENERAL NOTES

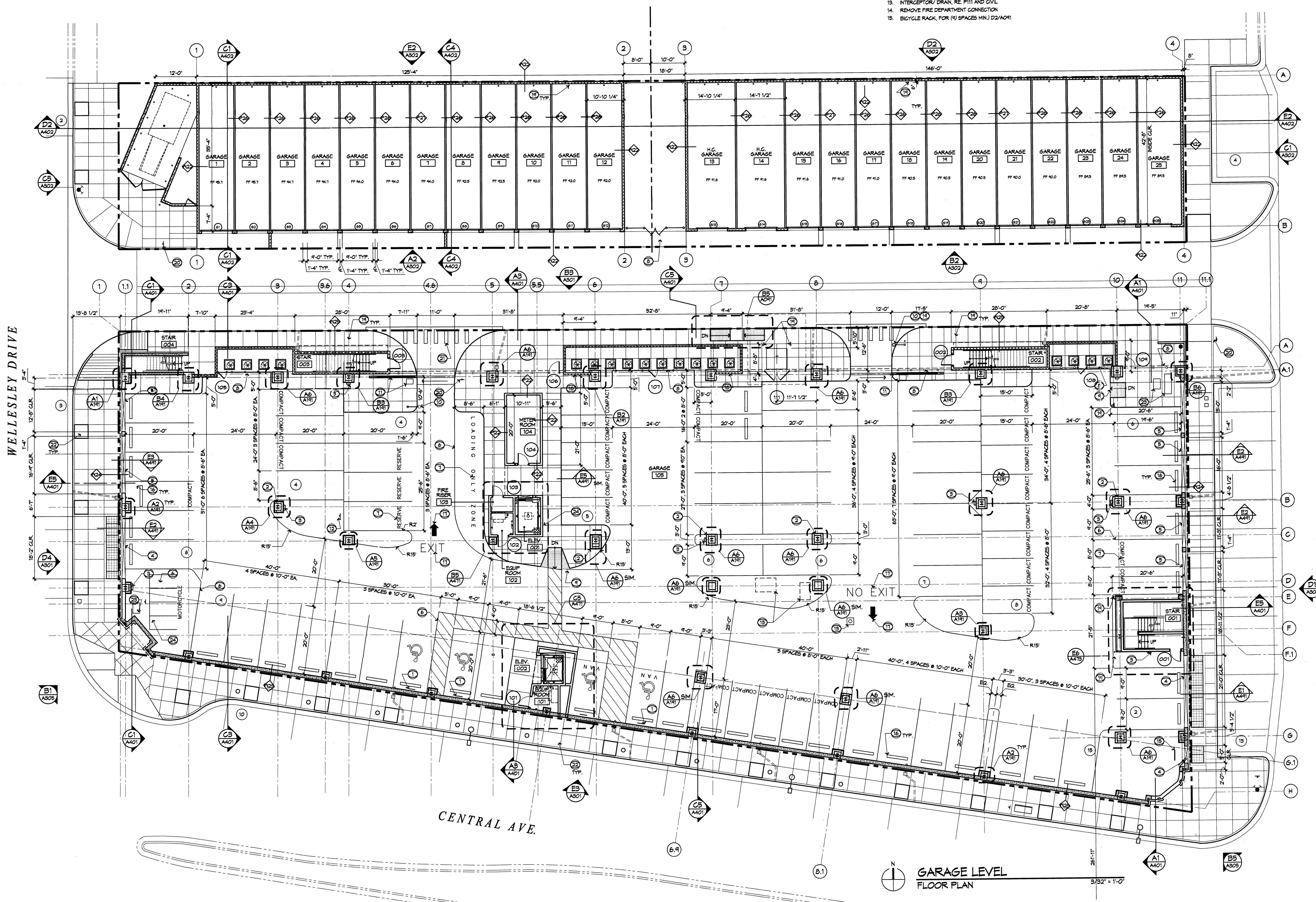
- REFER A111 FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON GARAGE LEVEL AND GROUND LEVEL PLAN.
- REFER A15/A141 FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON RESIDENTIAL LEVEL ONE AND TWO PLAN.
- CONTRACTOR TO VERIFY IN FIELD LAYOUT PRIOR TO CONSTRUCTION

KEYED NOTES

- ADA PARKING SIGN, B2/A041, TYP.
- ALL COLUMNS PURRED OUT, 1-HOUR FIRE RESISTIVE CONSTRUCTION, TYP.
- FIRE EXTINGUISHER CABINET, RE. E6/A181 AND D6/A181 FOR DETAIL AND MOUNTING HEIGHT.
- OPENING IN CONCRETE WALL, WITH SIDEWALK GRATE, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/55.1
- OPENING IN CONCRETE WALL, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/55.1
- PARKING LOT STRIPING, 3" WIDE, WHITE
- 6" HIGH LETTERS, PAINTED WHITE
- ORNAMENTAL FENCING
- CURB RAMP, RE. A6/A041
- SECURITY KEY PAD OPERATOR FOR SLIDING GATE, RE. E110
- SLIDING GATE WITH HYDRAULIC CONTROLLER
- RESERVED PARKING SIGNAGE, RE. A5/A041
- INTERCEPTOR/DRAIN, RE. F111 AND CIVIL
- REMOVE FIRE DEPARTMENT CONNECTION
- BICYCLE RACK, FOR (3) SPACES MIN. D2/A041

KEYED NOTES

- CONCRETE WHEEL STOP, SECURED TO CONCRETE, RE. A4/A041
- PAINT, LETTERS AND DIRECTIONAL ARROWS
- PROVIDE 3 KEEPS DISPERSED EQUIDISTANTLY IN CMU JOINTS @ GRADE, SLOPE TO DRAIN
- STEEL BOLLARDS, RE. D1/A041
- POLE MOUNTED SIGNAGE, "YIELD TO PEDESTRIANS"
- CROSSWALK, PAINT STRIPES 1'-0" X 4'-0", WHITE
- TREE WELL, RE. B5/A041, L16, L17
- NOT BOX, WITH BACK FLOW PREVENTOR, RE. G003, E110, AND M110
- POLE / WALL MOUNTED SIGNAGE, "MOTORCYCLE PARKING", RE. A5/A041 SM.



**GARAGE LEVEL
FLOOR PLAN**

The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

REVISIONS
DESIGN MODIFICATIONS

DRAWN BY
REVIEWED BY CP
DATE 08/24/06
PROJECT NO. 08044
DRAWING NAME

GARAGE LEVEL
FLOOR PLAN

SHEET NO.

A111
OF

GENERAL NOTES

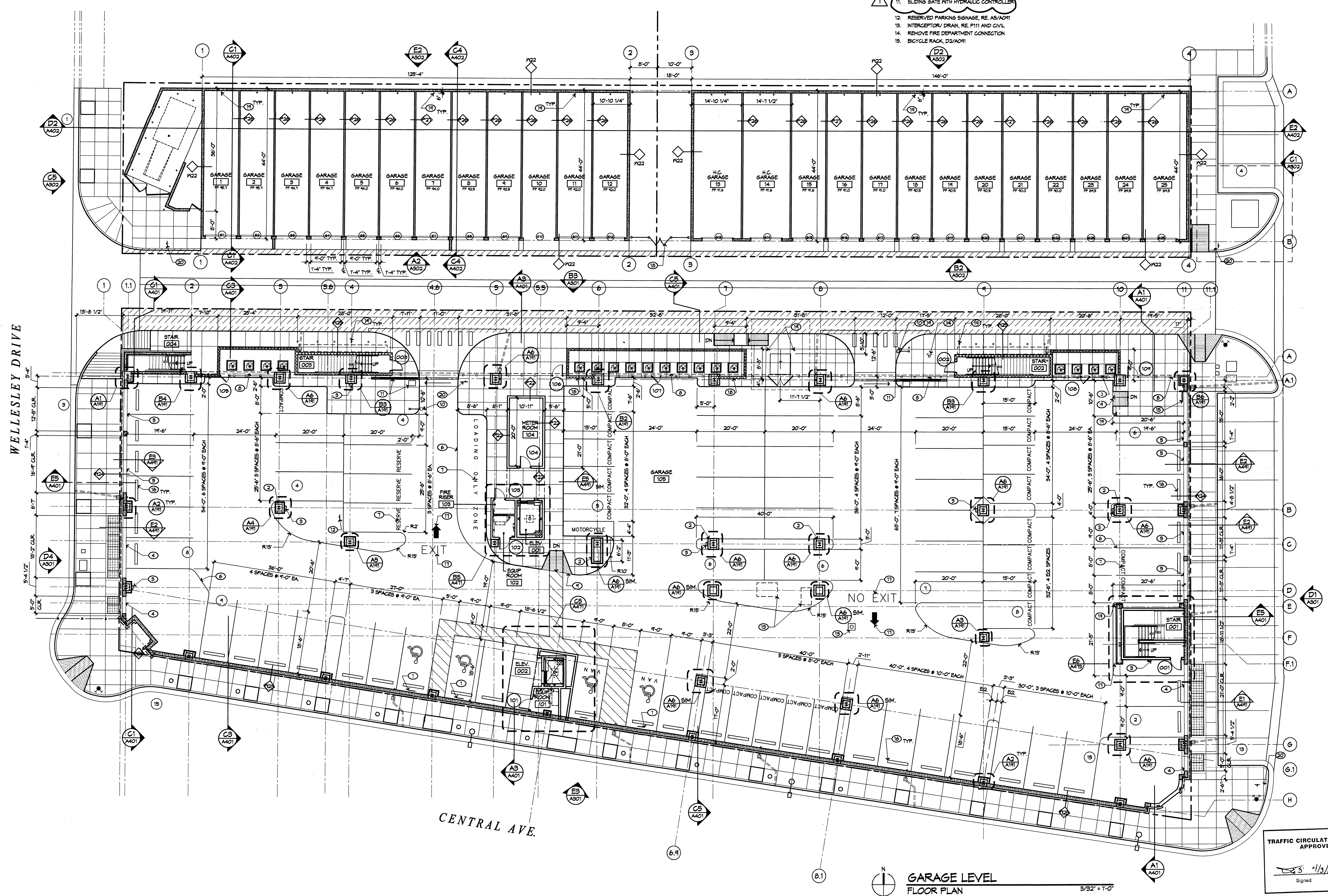
1. REFER A111 FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON GARAGE LEVEL AND GROUND LEVEL PLAN.
2. REFER A15/A141 FOR ALL THE WALL ASSEMBLIES AND PARTITION TYPES ON RESIDENTIAL LEVEL ONE AND TWO PLAN.
3. CONTRACTOR TO VERIFY IN FIELD LAYOUT PRIOR TO CONSTRUCTION

KEYED NOTES

1. ADA PARKING SIGN, B2/A011, TYP.
2. ALL COLUMNS FURRED OUT, 1-HOUR FIRE RESISTIVE CONSTRUCTION, TYP.
3. FIRE EXTINGUISHER CABINET, RE. E6/A181 AND D6/A181 FOR DETAIL AND MOUNTING HEIGHT.
4. OPENING IN CONCRETE WALL, WITH SIDEWALK GRATE, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/53.1
5. OPENING IN CONCRETE WALL, RE. 6104 FOR MIN. REQUIRED OPENING WIDTH AND HEIGHT, RE. 18/53.1
6. PARKING LOT STRIPING, 3" WIDE, WHITE
7. 6" HIGH LETTERS, PAINTED WHITE
8. ORNAMENTAL FENCING
9. CURB RAMP, RE. A6/A011
10. SECURITY KEY PAD OPERATOR FOR SLIDING GATE, RE. E110
11. SLIDING GATE WITH HYDRAULIC CONTROLLER
12. RESERVED PARKING SIGNAGE, RE. A5/A011
13. INTERCEPTOR/ DRAIN, RE. F111 AND CIVIL
14. REMOVE FIRE DEPARTMENT CONNECTION
15. BICYCLE RACK, D2/A011

KEYED NOTES

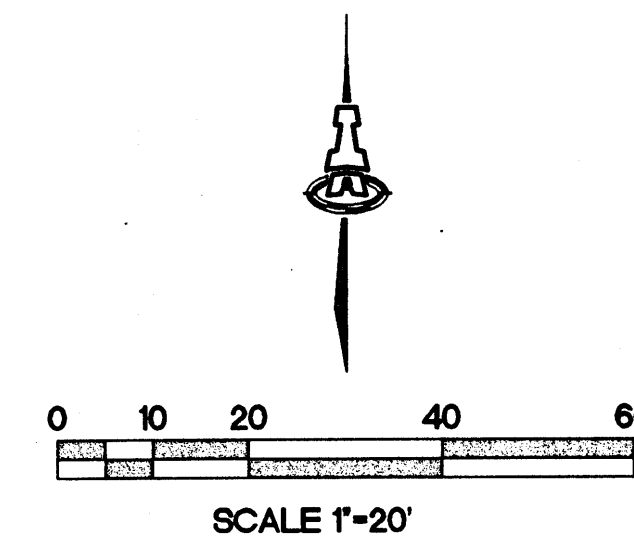
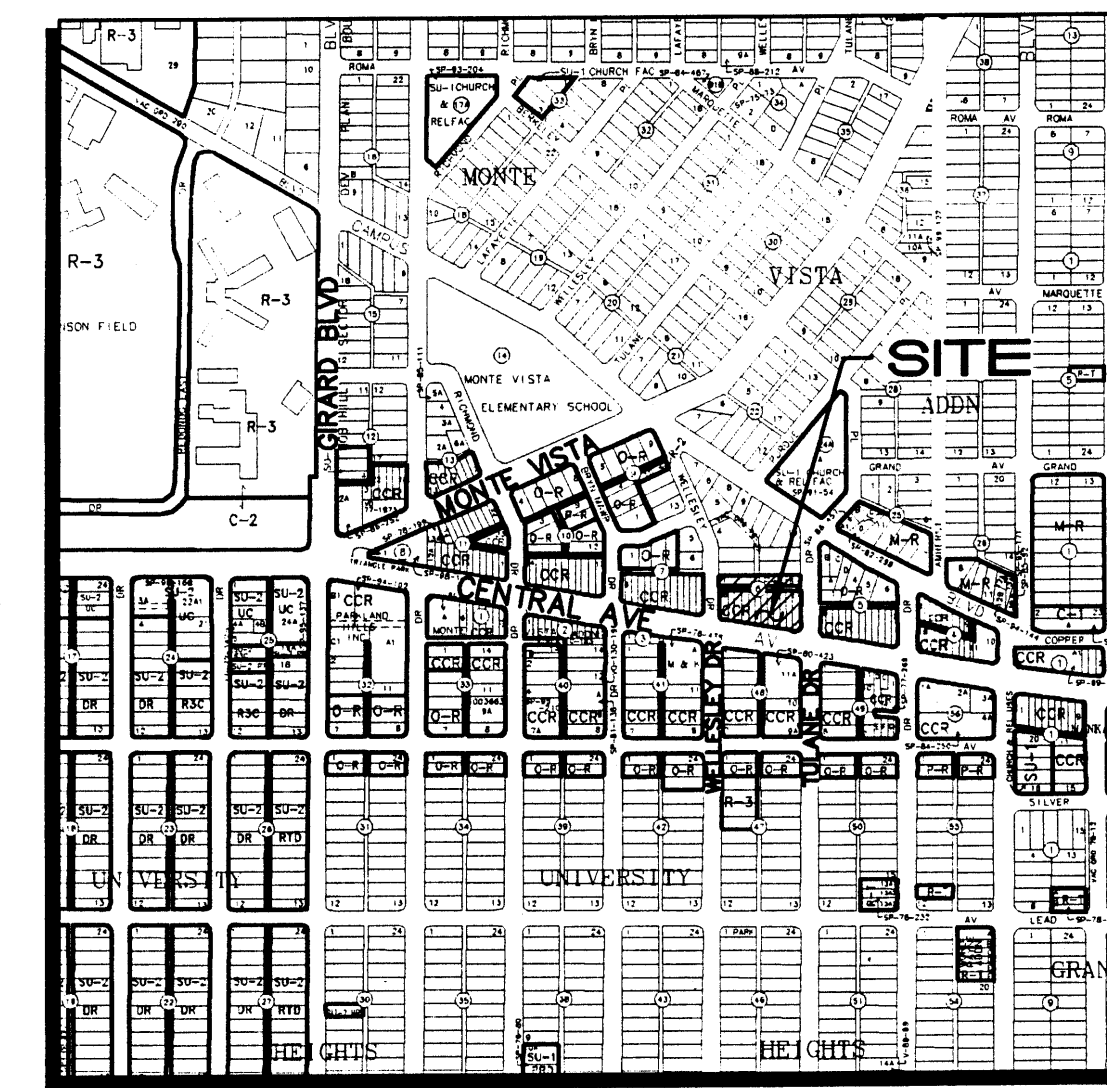
16. CONCRETE WHEEL STOP, SECURED TO CONCRETE, RE. A4/A011
17. PAINT, LETTERS AND DIRECTIONAL ARROWS
18. PROVIDE 3 KEYS DISPERSED EQUIDISTANTLY IN CMU JOINTS @ GRADE, SLOPE TO DRAIN
19. STEEL BOLLARDS, RE. D1/A011
20. POLE MOUNTED SIGNAGE: "YIELD TO PEDESTRIANS"



GARAGE LEVEL
FLOOR PLAN

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed 4/3/06 Date



GENERAL NOTE:

ALL ROOF DRAINS DISCHARGING TO WELLESLEY, CENTRAL, AND TULANE WILL BE CONVEYED TO PUBLIC STREET VIA SIDEWALK CULVERT OR DRAIN LINE. THIS WILL BE CONSTRUCTED BY WORK ORDER #776781 PER COA STANDARD DRAWING 2235.

KEYED NOTES

1. GARAGE FLOOR DRAIN WITH 6" OUTLET LINE TO SANITARY SEWER—SEE PLUMBING PLAN FOR CONTINUATION.
2. IMPROVEMENTS SHOWN WITHIN ALLEY, WELLESLEY, CENTRAL, & TULANE TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
3. ACCESS RAMPS AT 1:12 (V:H) SLOPE 6' LONG.

LEGEND

EXISTING	PROPOSED
EXISTING CONTOUR	PROPOSED CONTOUR
SEWER MANHOLE	PROPOSED SPOT ELEVATION
PARKING METER	FLOW ARROW
CLEANOUT	FINISH FLOOR ELEVATION
TELEPHONE MANHOLE	SIDEWALK CULVERT
WATER METER	TOP OF CURB ELEVATION
UNKNOWN MANHOLE	FLOWLINE
FIRE HYDRANT	FLOOR DRAIN
ANCHOR	TOP OF GRATE ELEVATION
OVERHEAD UTILITY LINES	DRAIN LINE WITH SIZE
CURB	ROOF DOWNSPOUT
CHAINLINK FENCE	

LEGAL DESCRIPTION: LOTS 1 AND 16-28, BLOCK 6, MONTE VISTA ADDITION.

PROJECT BENCHMARK: ACS "21-K16" LOCATED AT THE ENE CURB RETURN AT CENTRAL AND WELLESLEY NE AS SHOWN.
ELEVATION= 5203.45

FLOOD PLAIN: FEMA PANEL 0353 INDICATES THE SITE IS WITHIN ZONE 'X' AND OUTSIDE THE 500-YR FLOODPLAIN.

SITE AREA: 53,650 SF (1.23 ACRES)
ALLEY R/W = 0.14 ACRES

EXISTING CONDITIONS: THE SITE WAS PREVIOUSLY DEVELOPED WITH COMMERCIAL BUILDINGS, ASPHALT PAVED PARKING, AND DIRT PARKING AREAS. RUNOFF FLOWED NORTHEAST AS SHEET FLOW AND ENTERED TULANE DRIVE NE.

ZONE: 2 **LAND TREATMENT:** 8% B, 7% C, & 85% D

$$Q_{100} = (1.0)(2.28) + (0.09)(3.14) + (1.04)(4.70) = 5.4 \text{ CFS}$$

THIS EXISTING ALLEY SLOPES DOWN TO THE EAST AND ALSO DISCHARGES RUNOFF TO TULANE DRIVE NE.

$$\text{ALLEY } Q_{100} = (1.4)(4.70) = 0.66 \text{ CFS}$$

PROPOSED CONDITIONS: TWO GARAGE BUILDINGS ARE PROPOSED ON THE NORTH SIDE OF THE PUBLIC ALLEY. ONE 3-STORY MIXED USE BUILDING WITH UNDERGROUND PARKING IS PROPOSED ADJACENT TO CENTRAL. THE PARKING WILL BE ACCESSED FROM THE ALLEY & INCLUDES A FLOOR DRAIN THAT DISCHARGES TO THE SANITARY SEWER. ALL ROOF AREA DISCHARGES TO THE ADJUTING PUBLIC STREETS/ALLEY AS SHOWN.
 $Q_{100} = (1.23)(4.70) = 5.8 \text{ CFS}$
RUNOFF INCREASE IS MINOR AND WILL NOT ADVERSELY IMPACT DOWNSPOT FACILITIES.

SEE SHEET C002 FOR ROOF AREA DRAINAGE AND DOWNSPOUT LOCATIONS. THE ROOF AREA DRAINING TO THE ALLEY INCLUDES THE TWO SEPARATE GARAGE BUILDINGS AND A 13,850 SF PORTION OF THE MAIN BUILDING.

DRAINING TO ALLEY: AREA= 0.59 ACRE
ALLEY: AREA= 0.14 ACRE
TOTAL AREA= 0.73 ACRE

$$\text{ALLEY } Q = (0.73)(4.70) = 3.4 \text{ CFS}$$

$$\text{ALLEY CAPACITY} = (1.486/0.015)(1.6)(0.2154)(0.0109)^{0.78}$$

$$\text{CAPACITY} = 3.56 \text{ CFS [OK]}$$

ROOF DOWNSPOUTS ALONG CENTRAL, WELLESLEY, AND TULANE WILL DISCHARGE VIA A SIDEWALK CULVERT OR PVC DRAIN LINE THROUGH THE SIDEWALK AND CURB FACE.

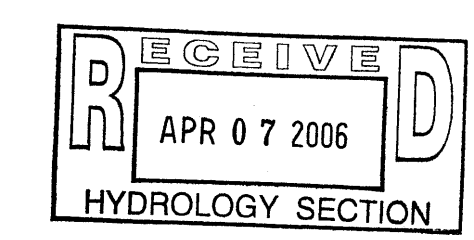
The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

REVISIONS
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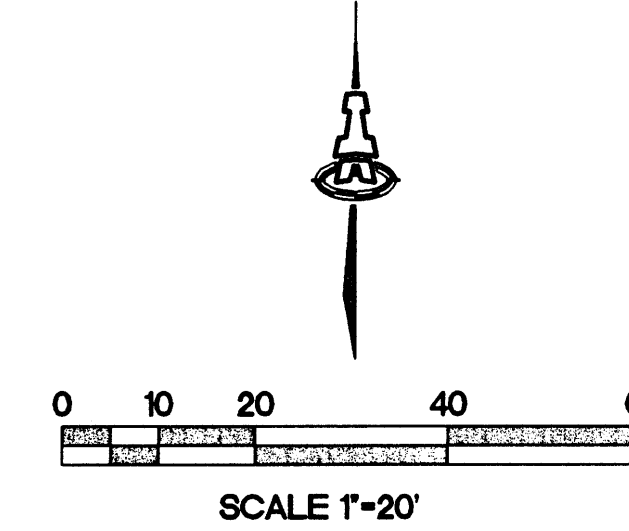
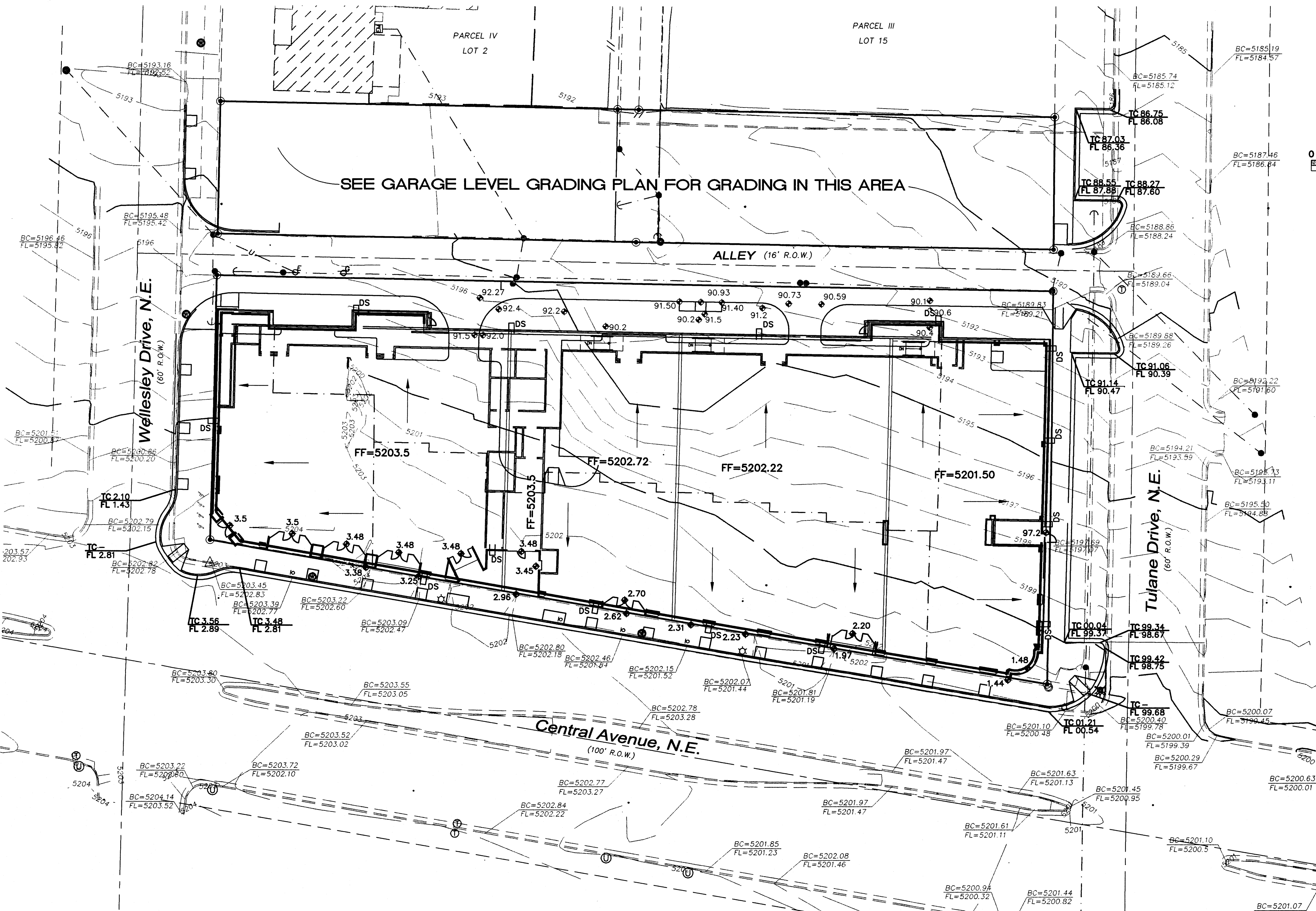
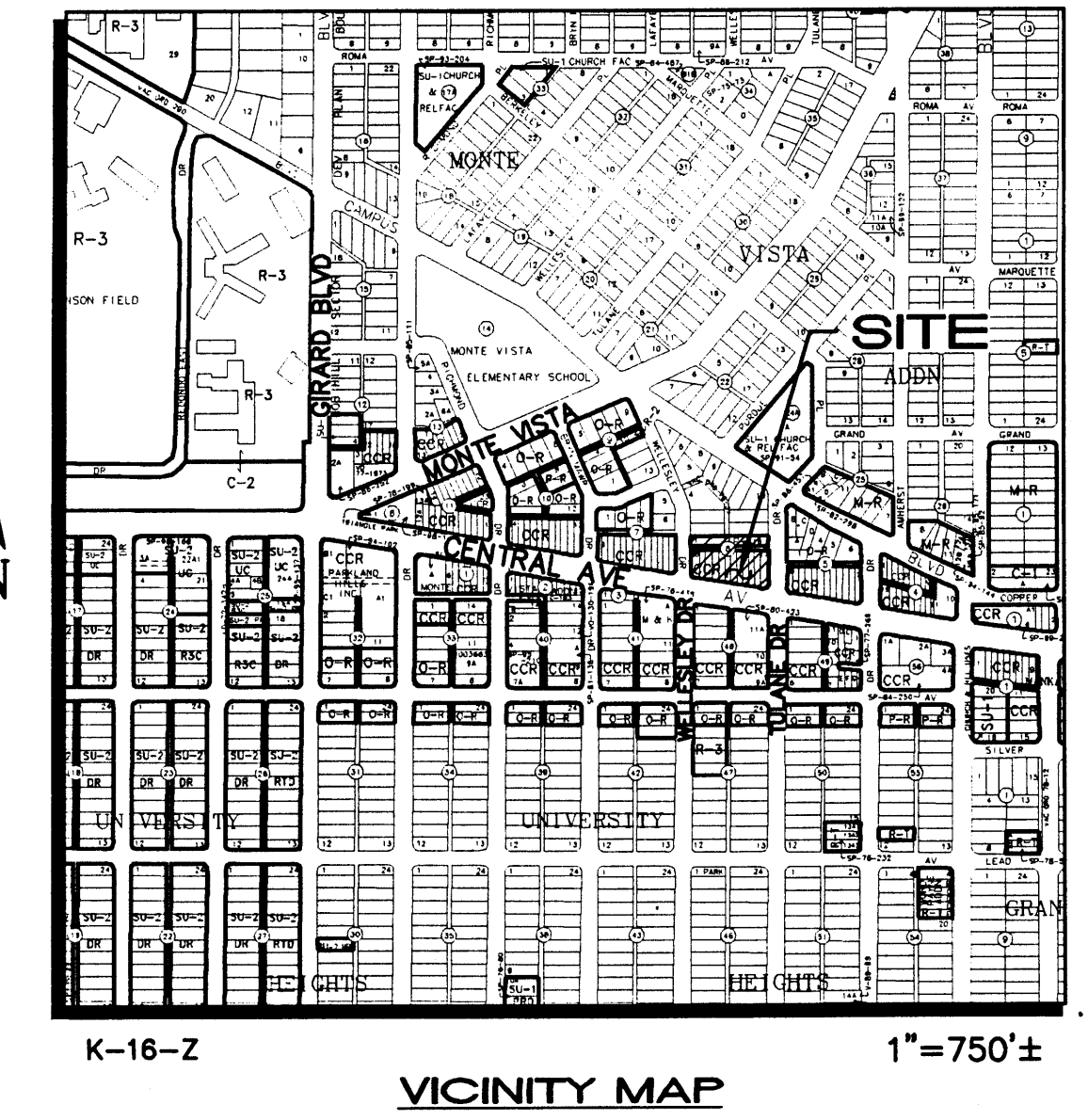
DRAWN BY
REVIEWED BY
DATE 03/29/06
PROJECT NO. 05049
DRAWING NAME

**GRADING AND
DRAINAGE PLAN
GARAGE LEVEL**

SHEET NO.
C001



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax: 505-268-2632
1486GRD.DWG.rh 04/06/06



LEGEND

EXISTING	EXISTING CONTOUR	PROPOSED	PROPOSED CONTOUR
BC=5202.84 FL=5202.22	BACK OF CURB ELEVATION FLOWLINE	78.3	PROPOSED SPOT ELEVATION
⊙	SEWER MANHOLE	FF=5202.9	FINISH FLOOR ELEVATION
⊙	PARKING METER	TC 81.9 FL 81.4	SIDEWALK CULVERT
⊙	CLEANOUT	INV=72.5	INVERT ELEVATION
⊙	TELEPHONE MANHOLE	DS	ROOF DOWNSPOUT
⊙	WATER METER	---	ROOF DRAIN BOUNDARY
⊙	UNKNOWN MANHOLE		
⊙	FIRE HYDRANT		
⊙	ANCHOR		
U	OVERHEAD UTILITY LINES		
---	CURB		
○	CHAINLINK FENCE		

The Place in Nob Hill
Central Avenue and Tulane Drive
Albuquerque, New Mexico

REVISIONS



DRAWN BY

REVIEWED BY

DATE

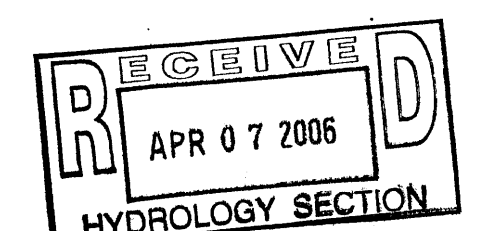
PROJECT NO.

DRAWING NAME

**GRADING AND
DRAINAGE PLAN
RETAIL LEVEL**

SHEET NO.

C002



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