

CITY OF ALBUQUERQUE



October 4, 2019

Anthony Jaramillo
Dekker/Perich/sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM

Re: Place at Nob Hill
3339 Central Ave NE Albuquerque NM
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-11-19 (K16D069)

The TCL submittal received 10-04-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

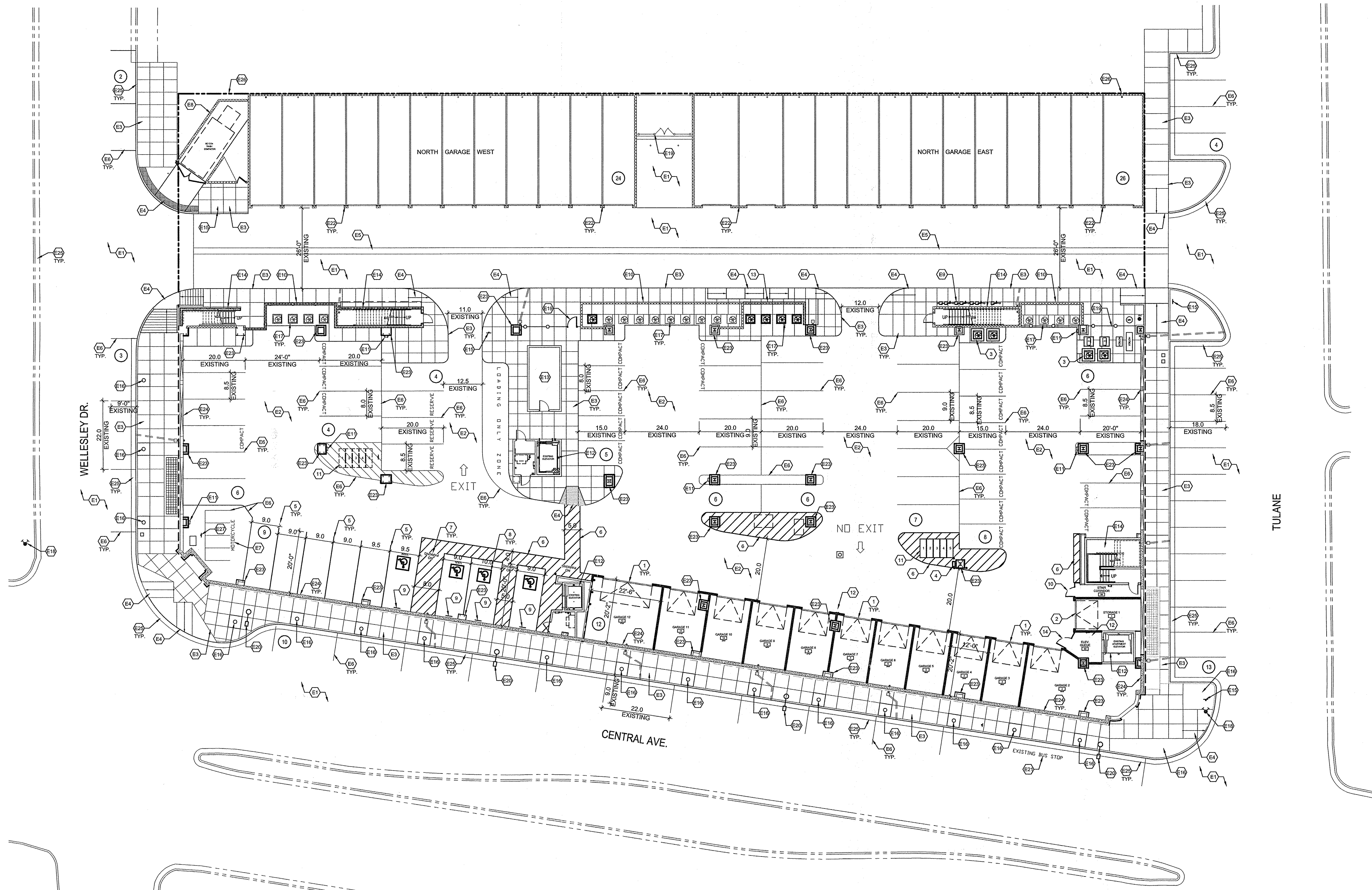
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



NORTH
1" = 20'-0"
0 10' 20' 40'
GARAGE FLOOR PLAN and STREET SITE PLAN (OVERALL)

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 10/2/19

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

SHEET KEYED NOTES

- E1. EXISTING ASPHALT PAVING.
- E2. EXISTING CONCRETE PAVING
- E3. EXISTING CONCRETE SIDEWALK.
- E4. EXISTING CONCRETE ACCESSIBLE RAMP.
- E5. EXISTING CONCRETE VALLEY GUTTER.
- E6. EXISTING PAINTED PARKING STRIPING.
- E7. EXISTING MOTORCYCLE PARKING.
- E8. EXISTING TRASH ENCLOSURE WITH CMU WALL.
- E9. EXISTING GAS METERS.
- E10. EXISTING CMU WALL.
- E11. EXISTING FIRE EXTINGUISHER.
- E12. EXISTING ELEVATOR.
- E13. EXISTING MAIN ELECTRICAL DISTRIBUTION ROOM.
- E14. EXISTING ENCLOSED EGRESS STAIR.
- E15. EXISTING STOP SIGN.
- E16. EXISTING LANDSCAPE/TREE WELL.
- E17. EXISTING MECHANICAL UNIT.
- E18. EXISTING FIRE HYDRANT.
- E19. EXISTING FENCE AND GATE.
- E20. EXISTING LIGHT POLE.
- E21. EXISTING BUS STOP.
- E22. EXISTING GARAGES.
- E23. EXISTING STEEL COLUMN WITH 1-HOUR FIRE RESISTIVE SPRAY, FRAMED OUT WITH 1-HR RATED FULL HEIGHT PARTITION.
- E24. EXISTING CONCRETE WALL.
- E25. EXISTING CONCRETE CURB AND GUTTER.
- E26. EXISTING PROPERTY LINE.
- E27. EXISTING MOTORCYCLE PARKING FREE-STANDING SIGN.
- 1. GARAGE.
- 2. STORAGE
- 3. MECHANICAL UNIT ON 4" CONCRETE HOUSEKEEPING PAD, SEE MECHANICAL.
- 4. BOLLARDS AND PARKING PAY STATION.
- 5. PAINTED PARKING STRIPING (4" WIDE), COLOR: YELLOW.
- 6. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: YELLOW.
- 7. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: YELLOW 12" LETTER SIZE.
- 8. PAINTED ACCESSIBLE PAVEMENT SYMBOL, SEE A2/TCL2.
- 9. ACCESSIBLE SIGNAGE (WALL MOUNTED), SEE A3/TCL2 and A4/TCL2.
- 10. FENCE AND GATE, SEE SEE B1/TCL2.
- 11. BICYCLE RACK (WITH 6'L x 2'W SPACE), SEE SEE A1/TCL2.
- 12. FIRE EXTINGUISHER, SEE SEE D5/TCL2.
- 13. CMU WALL, SEE A5/TCL2.
- 14. FENCE AND GATE, SEE SEE B3/TCL2.

SITE ANALYSIS and DATA

ADDRESS:
3339 CENTRAL AVENUE, NE
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:
LOTS 1-A, 16-A, AND 28-A, BLOCK 6 MONTE VISTA

TOTAL ACREAGE:
.8483 AC.

ZONING:
CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): MIXED USE MEDIUM (MXM)

BUILDING USE:
NORTH GARAGE WEST: PARKING GARAGE 5,514 SF
NORTH GARAGE EAST: PARKING GARAGE 6,424 SF
TOTAL BUILDING AREA: 11,938 SF

GARAGE: PARKING GARAGE, UTILITY 31,633 SF
FIRST FLOOR: MERCANTILE, APARTMENTS 31,633 SF
RESIDENTIAL LEVEL 1: RESIDENTIAL 28,125 SF
RESIDENTIAL LEVEL 2: RESIDENTIAL 23,427 SF
TOTAL BUILDING AREA: 112,818 SF

PARKING REQUIREMENTS

CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): BUILDING IS LOCATED IN A PREMIUM TRANSIT (PT) AREA

A. DWELLING/MULTI-FAMILY PARKING REQUIREMENTS, IDO TABLE 5-5-1:
EXISTING DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (2ND AND 3RD FLOORS):
26 EXISTING UNITS x 1 (PT) SPACE: 26 x 1 = 26 = 26 SPACES
NEW DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (1ST FLOOR):
9 NEW UNITS x 1 (PT) SPACE: 9 x 1 = 9 = 9 SPACES
REQUIRED PARKING TOTAL: 26 + 9 = 35 SPACES

PARKING PROVIDED:
NORTH GARAGES = 50 EXISTING SPACES
EXISTING GARAGE = 12 NEW SPACES
PROVIDED PARKING TOTAL: 50 + 12 = 62 SPACE
DWELLING/MULTI-FAMILY PROVIDED PARKING TOTAL:
62 SPACES > REQUIRED PARKING TOTAL: 35 SPACES

B. RETAIL PARKING REQUIREMENTS, IDO TABLE 5-5-1, (PT) 2.5 SPACES per 1000sf
EXISTING WEST LEASED SPACE (1ST FLOOR): 7,550sf
EXISTING MIDDLE LEASED SPACE (1ST FLOOR): 4,502sf
NEW EAST VACANT SPACE (1ST FLOOR): 6,109sf
7,550sf + 4,502sf + 6,109sf = 18,161sf
(PT) 2.5 SPACES per 1000sf: 2.5 SPACES x 19 = 48 = 48 SPACES
REQUIRED PARKING TOTAL: 48 SPACES

PARKING PROVIDED:
EXISTING GARAGE = 61 SPACES
EXISTING ON-STREET PARKING = 32 SPACES
PROVIDED PARKING TOTAL: 61 + 32 = 93 SPACES
RETAIL PROVIDED PARKING TOTAL: 93 SPACES > REQUIRED PARKING TOTAL: 48 SPACES

C. REQUIRED PARKING TOTAL
DWELLING/MULTI-FAMILY REQUIRED PARKING TOTAL: 35 SPACES
GENERAL RETAIL REQUIRED PARKING TOTAL: 48 SPACES
REQUIRED PARKING TOTAL: 35 + 48 = 83 SPACES

D. DESIGNATED DISABLED PARKING SPACES
REQUIRED: 51 TO 100 = 4 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)
PROVIDED: 4 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

E. MOTORCYCLE PARKING SPACES
REQUIRED: 51 TO 100 = 3 SPACES
PROVIDED: 4 EXISTING SPACES

F. BICYCLE PARKING
DWELLING/MULTI-FAMILY REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 35 / 10 = 4 SPACES
GENERAL RETAIL REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 48 / 10 = 5 SPACES
REQUIRED 4 + 5 = 9 SPACES
PROVIDED: 10 SPACES

RECEIVED
OCT 04 2019
LAND DEVELOPMENT SECTION



VICINITY MAP
CITY OF ALBUQUERQUE ZONE ATLAS PAGE K-16-Z
3339 Central Avenue SE

DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

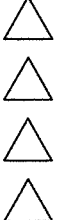


ENGINEER

PROJECT

The Place in Nob Hill
3339 Central Avenue SE
Albuquerque, New Mexico 87106

REVISIONS



DRAWN BY

REVIEWED BY

DATE SEPTEMBER 11, 2019

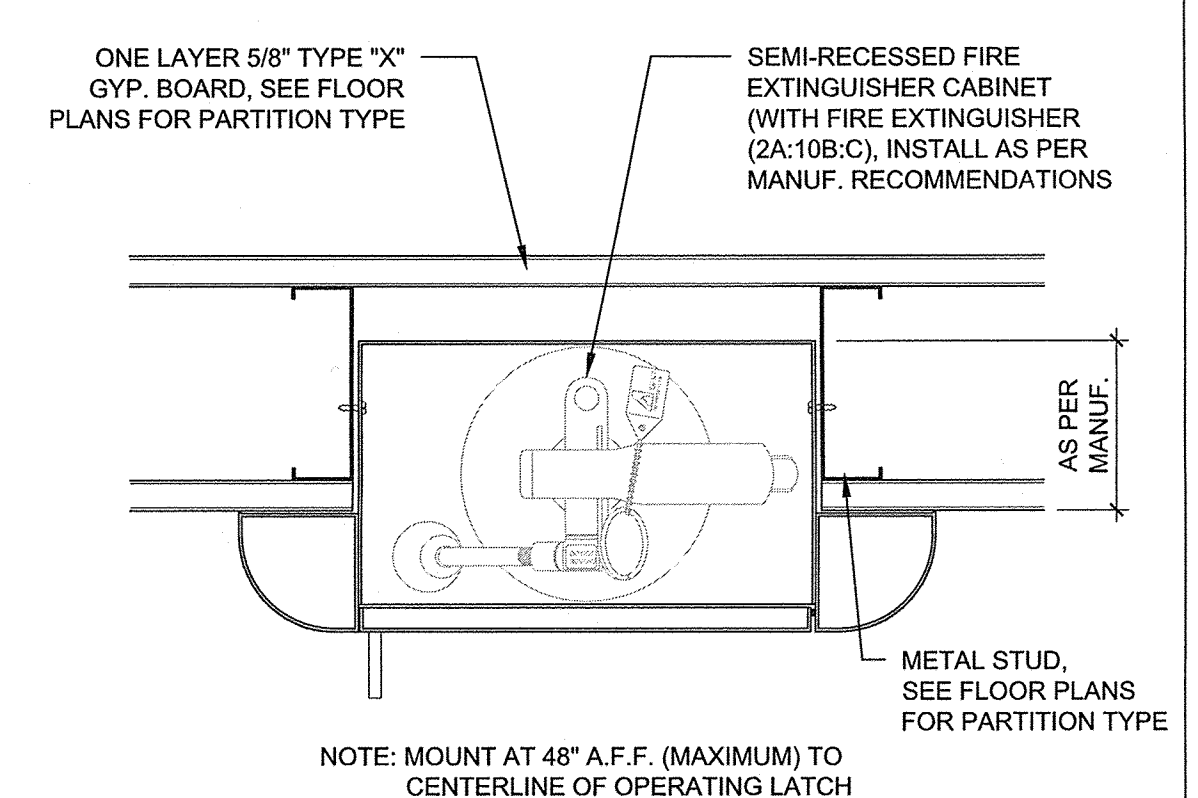
PROJECT NO. 18-0052

DRAWING NAME

TRAFFIC
CIRCULATION
LAYOUT

SHEET NO.

TCL
OF



SEMI-RECESSED FIRE EXTINGUISHER CABINET
D5
3" = 1'-0"

