

# CITY OF ALBUQUERQUE



November 12, 2020

Benjamin H. Gardner, RA  
Dekker Perich Sabatini  
7601 Jefferson NE Suite 100  
Albuquerque, NM 87109

**Re: Place at Nob Hill  
3339 Central SE 87106  
Request for Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 9-11-19 (K16D069)  
Certification dated 11-3-20**

Dear Mr. Gardner.

Based upon the information provided in your pictures received 11-10-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

November 3, 2020

Traffic Engineer  
City of Albuquerque  
Transportation Development Coordination  
600 2<sup>nd</sup> Street NW  
Albuquerque, New Mexico 87102

DEKKER  
PERICH  
SABATINI

**RE: Place at Nob Hill**  
**3339 Central SE, Albuquerque, NM 87106**  
**Total Acreage – .8483**  
**Zone – CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO):**  
**MIXED USE MEDIUM (MXM)**  
**Submittal - TCL for Certificate of Occupancy**

**TRAFFIC CERTIFICATION**

I, Benjamin Gardner, NMRA no. 4161 of the firm Dekker/Perich/Sabatini, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 4, 2019. The record information edited onto the original design document has been obtained by Dekker/Perich/Sabatini.

I further certify that Dekker/Perich/Sabatini visited the project site on November 3, 2020 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for Certificate of Occupancy.

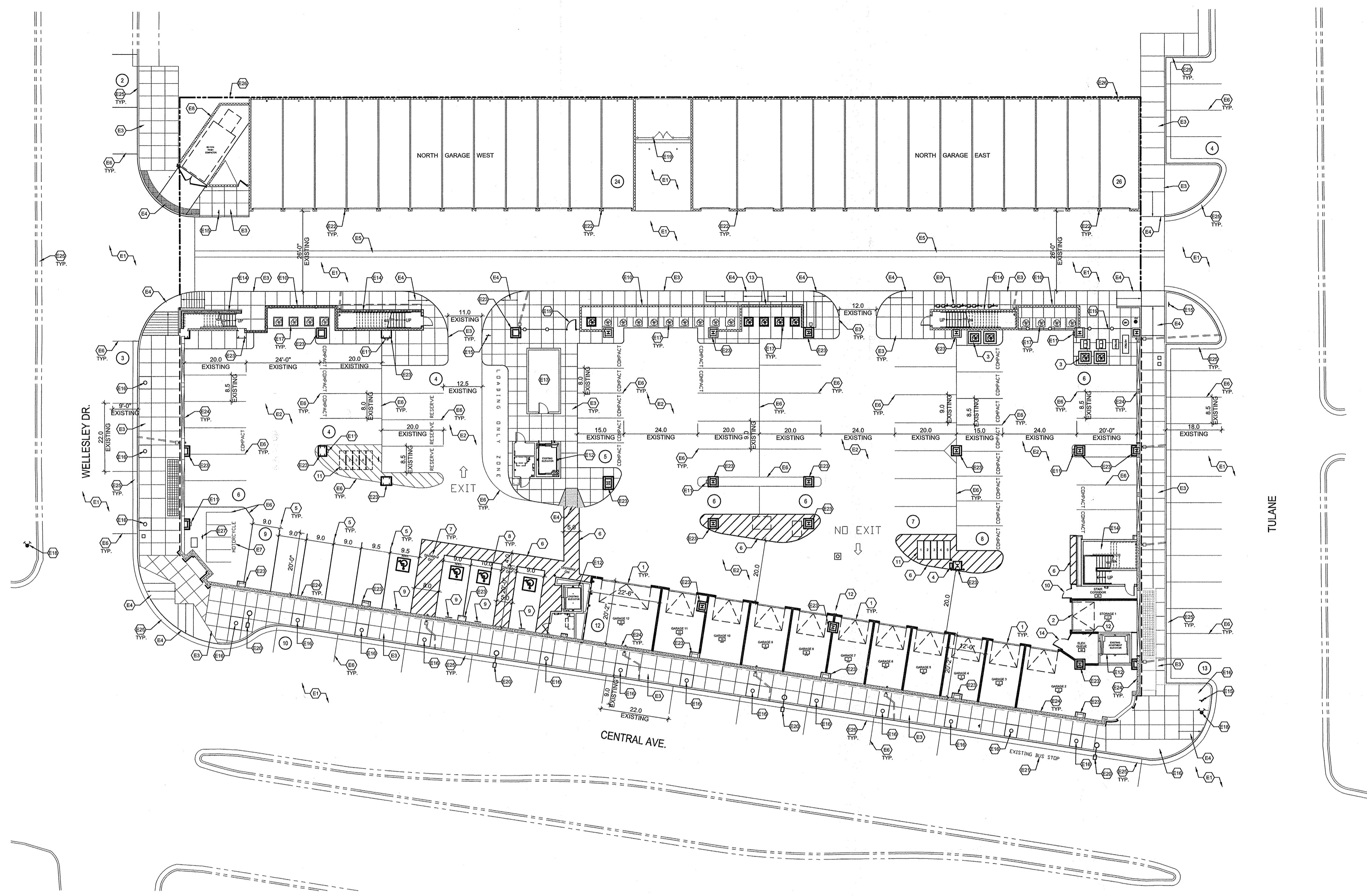
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Very truly yours,

Benjamin H. Gardner, AIA, LEED AP  
Principal / CEO



11-3-2020



NORTH  
 1" = 20'-0"  
**GARAGE FLOOR PLAN and STREET SITE PLAN (OVERALL)**  
 0 10' 20' 40'

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
  
 Signed: J. Garcia Date: 10/6/19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

**SHEET KEYED NOTES**

- E1. EXISTING ASPHALT PAVING.
  - E2. EXISTING CONCRETE PAVING
  - E3. EXISTING CONCRETE SIDEWALK.
  - E4. EXISTING CONCRETE ACCESSIBLE RAMP.
  - E5. EXISTING CONCRETE VALLEY GUTTER.
  - E6. EXISTING PAINTED PARKING STRIPING.
  - E7. EXISTING MOTORCYCLE PARKING.
  - E8. EXISTING TRASH ENCLOSURE WITH CMU WALL.
  - E9. EXISTING GAS METERS.
  - E10. EXISTING CMU WALL.
  - E11. EXISTING FIRE EXTINGUISHER.
  - E12. EXISTING ELEVATOR.
  - E13. EXISTING MAIN ELECTRICAL DISTRIBUTION ROOM.
  - E14. EXISTING ENCLOSED EGRESS STAIR.
  - E15. EXISTING STOP SIGN.
  - E16. EXISTING LANDSCAPE/TREE WELL.
  - E17. EXISTING MECHANICAL UNIT.
  - E18. EXISTING FIRE HYDRANT.
  - E19. EXISTING FENCE AND GATE.
  - E20. EXISTING LIGHT POLE.
  - E21. EXISTING BUS STOP.
  - E22. EXISTING GARAGES.
  - E23. EXISTING STEEL COLUMN WITH 1-HOUR FIRE RESISTIVE SPRAY, FRAMED OUT WITH 1-HR RATED FULL HEIGHT PARTITION.
  - E24. EXISTING CONCRETE WALL.
  - E25. EXISTING CONCRETE CURB AND GUTTER.
  - E26. EXISTING PROPERTY LINE.
  - E27. EXISTING MOTORCYCLE PARKING FREE-STANDING SIGN.
- 1. GARAGE.
  - 2. STORAGE
  - 3. MECHANICAL UNIT ON 4" CONCRETE HOUSEKEEPING PAD, SEE MECHANICAL.
  - 4. BOLLARDS AND PARKING PAY STATION.
  - 5. PAINTED PARKING STRIPING (4" WIDE), COLOR: YELLOW.
  - 6. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: YELLOW.
  - 7. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: YELLOW 12" LETTER SIZE.
  - 8. PAINTED ACCESSIBLE PAVEMENT SYMBOL, SEE A2/TCL2.
  - 9. ACCESSIBLE SIGNAGE (WALL MOUNTED), SEE A3/TCL2 AND A4/TCL2.
  - 10. FENCE AND GATE, SEE SEE B1/TCL2.
  - 11. BICYCLE RACK (WITH 6'L x 2'W SPACE), SEE SEE A1/TCL2.
  - 12. FIRE EXTINGUISHER, SEE SEE D5/TCL2.
  - 13. CMU WALL, SEE A5/TCL2.
  - 14. FENCE AND GATE, SEE SEE B3/TCL2.

**SITE ANALYSIS and DATA**

ADDRESS:  
 3339 CENTRAL AVENUE, NE  
 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:  
 LOTS 1-A, 16-A, AND 28-A, BLOCK 6 MONTE VISTA

TOTAL ACREAGE:  
 .8483 AC.

ZONING:  
 CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): MIXED USE MEDIUM (MXM)

BUILDING USE:  
 NORTH GARAGE WEST: PARKING GARAGE 5,514 SF  
 NORTH GARAGE EAST: PARKING GARAGE 6,424 SF  
 TOTAL BUILDING AREA: 11,938 SF

GARAGE: PARKING GARAGE, UTILITY 31,633 SF  
 FIRST FLOOR: MERCANTILE, APARTMENTS 31,633 SF  
 RESIDENTIAL LEVEL 1: RESIDENTIAL 28,125 SF  
 RESIDENTIAL LEVEL 2: RESIDENTIAL 23,427 SF  
 TOTAL BUILDING AREA: 112,818 SF

**PARKING REQUIREMENTS**

CABQ INTEGRATED DEVELOPMENT ORDINANCE (IDO): BUILDING IS LOCATED IN A PREMIUM TRANSIT (PT) AREA

A. DWELLING/MULTI-FAMILY PARKING REQUIREMENTS, IDO TABLE 5-5-1:  
 EXISTING DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (2ND AND 3RD FLOORS):  
 26 EXISTING UNITS x 1 (PT) SPACE: 26 x 1 = 26 = 26 SPACES  
 NEW DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (1ST FLOOR):  
 9 NEW UNITS x 1 (PT) SPACE: 9 x 1 = 9 = 9 SPACES  
**REQUIRED PARKING TOTAL: 26 + 9 = 35 SPACES**

PARKING PROVIDED:  
 NORTH GARAGES = 50 EXISTING SPACES  
 EXISTING GARAGE = 12 NEW SPACES  
**PROVIDED PARKING TOTAL: 50 + 12 = 62 SPACE**  
**DWELLING/MULTI-FAMILY PROVIDED PARKING TOTAL: 62 SPACES > REQUIRED PARKING TOTAL: 35 SPACES**

B. RETAIL PARKING REQUIREMENTS, IDO TABLE 5-5-1, (PT) 2.5 SPACES per 1000sf  
 EXISTING WEST LEASED SPACE (1ST FLOOR): 7,550sf  
 EXISTING MIDDLE LEASED SPACE (1ST FLOOR): 4,502sf  
 NEW EAST VACANT SPACE (1ST FLOOR): 6,109sf  
 7,550sf + 4,502sf + 6,109sf = 18,161sf  
 (PT) 2.5 SPACES per 1000sf: 2.5 SPACES x 19 = 48 = 48 SPACES  
**REQUIRED PARKING TOTAL: 48 SPACES**

PARKING PROVIDED:  
 EXISTING GARAGE = 61 SPACES  
 EXISTING ON-STREET PARKING = 32 SPACES  
**PROVIDED PARKING TOTAL: 61 + 32 = 93 SPACES**  
**RETAIL PROVIDED PARKING TOTAL: 93 SPACES > REQUIRED PARKING TOTAL: 48 SPACES**

C. REQUIRED PARKING TOTAL  
 DWELLING/MULTI-FAMILY REQUIRED PARKING TOTAL: 35 SPACES  
 GENERAL RETAIL REQUIRED PARKING TOTAL: 48 SPACES  
**REQUIRED PARKING TOTAL: 35 + 48 = 83 SPACES**

D. DESIGNATED DISABLED PARKING SPACES  
 REQUIRED: 51 to 100 = 4 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)  
 PROVIDED: 4 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

E. MOTORCYCLE PARKING SPACES  
 REQUIRED: 51 to 100 = 3 SPACES  
 PROVIDED: 4 EXISTING SPACES

F. BICYCLE PARKING  
 DWELLING/MULTI-FAMILY REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 35 / 10 = 4 SPACES  
 GENERAL RETAIL REQUIRED: 10% OF OFF-STREET PARKING SPACES: TOTAL: 48 / 10 = 5 SPACES  
 REQUIRED 4 + 5 = 9 SPACES  
 PROVIDED: 10 SPACES

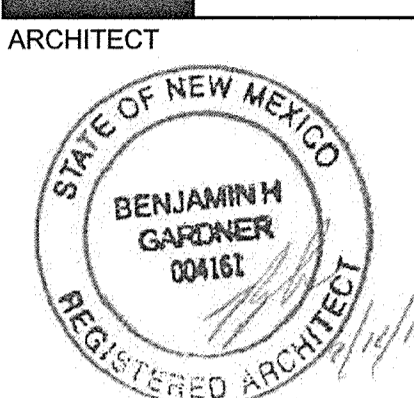
RECEIVED  
 OCT 04 2019  
 LAND DEVELOPMENT SECTION



**VICINITY MAP**  
 3339 Central Avenue SE  
 CITY OF ALBUQUERQUE ZONE ATLAS PAGE K-16-Z

**DEKKER  
 PERICH  
 SABATINI**

ARCHITECTURE  
 DESIGN  
 INSPIRATION



ENGINEER

PROJECT

The Place in Nob Hill  
 3339 Central Avenue SE  
 Albuquerque, New Mexico 87106

REVISIONS

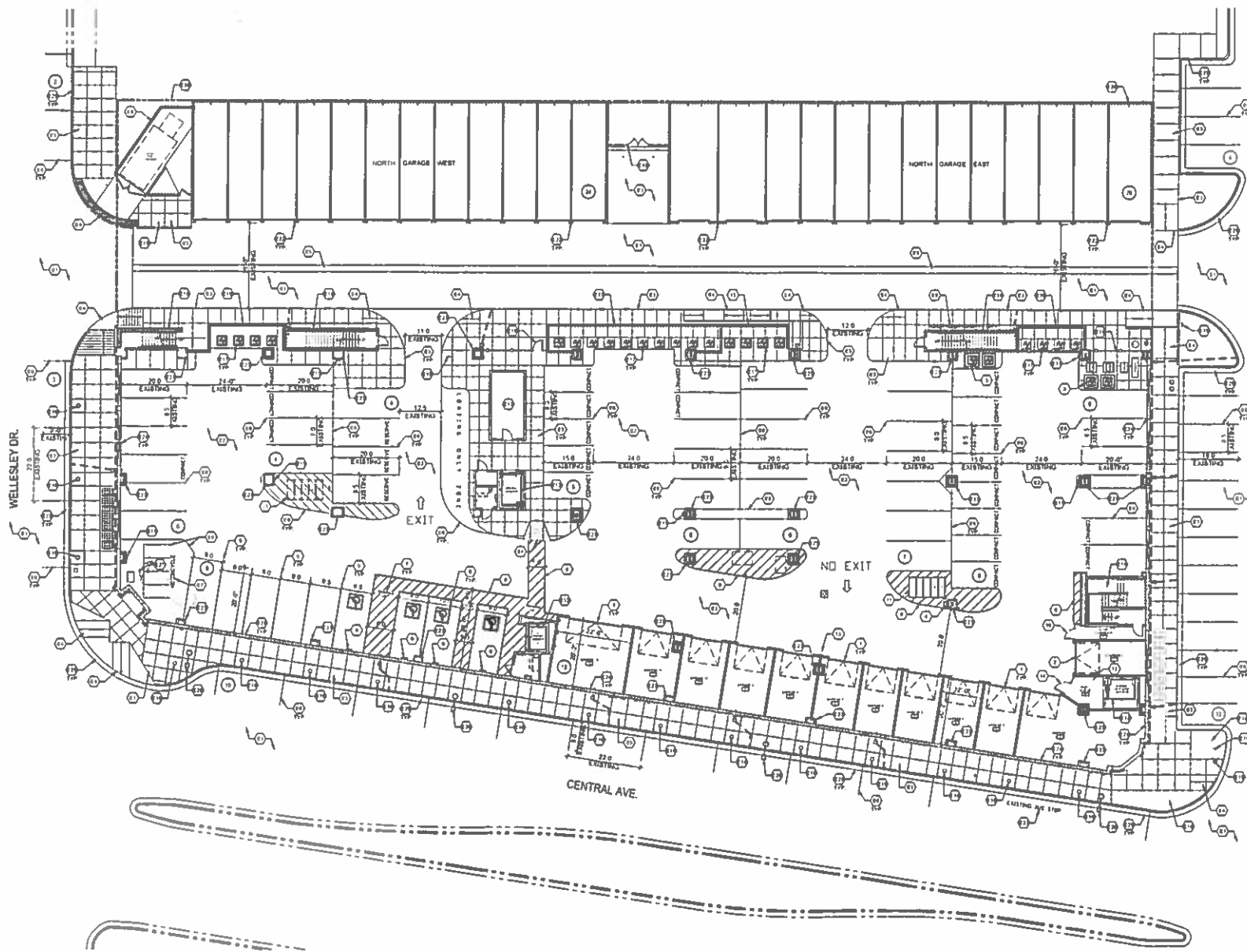
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DRAWN BY  
 REVIEWED BY  
 DATE SEPTEMBER 11, 2019  
 PROJECT NO. 18-0052  
 DRAWING NAME

**TRAFFIC  
 CIRCULATION  
 LAYOUT**

SHEET NO.

**TCL**  
 OF



**GARAGE FLOOR PLAN and STREET SITE PLAN (OVERALL)**  
 1" = 20'-0"  
 0 10' 20' 40'

**○ SHEET KEYED NOTES**

- |  |   |
|--|---|
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 CABO INTEGRATED DEVELOPMENT ORDINANCE (IDC) MIXED USE MEDIUM (MIXM)

**BUILDING USE**

NORTH GARAGE WEST	PARKING GARAGE	5,514 SF
NORTH GARAGE EAST	PARKING GARAGE	8,424 SF
<b>TOTAL BUILDING AREA</b>		<b>11,938 SF</b>

**GARAGE**

FIRST FLOOR	MERCANTILE, APARTMENTS	31,633 SF
RESIDENTIAL LEVEL 1	RESIDENTIAL	26,125 SF
RESIDENTIAL LEVEL 2	RESIDENTIAL	23,427 SF
<b>TOTAL BUILDING AREA</b>		<b>112,818 SF</b>

**PARKING REQUIREMENTS**

CABO INTEGRATED DEVELOPMENT ORDINANCE (IDC) BUILDING IS LOCATED IN A PREMIUM TRANSIT (PT) AREA

**A. DWELLING/MULTI-FAMILY PARKING REQUIREMENTS, IDC TABLE S-6.1**

EXISTING DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (2ND and 3RD FLOORS)  
 28 EXISTING UNITS = 1 (PT) SPACE, 28 x 1 = 28 = 28 SPACES

NEW DWELLING/MULTI-FAMILY COMPONENT OF BUILDING (1ST FLOOR)  
 9 NEW UNITS = 1 (PT) SPACE, 9 x 1 = 9 = 9 SPACES

**REQUIRED PARKING TOTAL: 28 + 9 = 37 SPACES**

**PARKING PROVIDED:**  
 NORTH GARAGES = 50 EXISTING SPACES  
 EXISTING GARAGE = 12 NEW SPACES

**PROVIDED PARKING TOTAL: 50 + 12 = 62 SPACE**  
 62 SPACES > REQUIRED PARKING TOTAL: 37 SPACES

**B. RETAIL PARKING REQUIREMENTS, IDC TABLE S-6.1 (PT) 2.5 SPACES per 1000sf**

EXISTING WEST LEASED SPACE (1ST FLOOR) 7,550sf  
 EXISTING MIDDLE LEASED SPACE (1ST FLOOR) 4,500sf  
 NEW EAST VACANT SPACE (1ST FLOOR) 8,100sf  
 7,550sf + 4,500sf + 8,100sf = 20,150sf

(PT) 2.5 SPACES per 1000sf 2.5 SPACES = 19 = 19

**REQUIRED PARKING TOTAL: 48 SPACES**

**PARKING PROVIDED:**  
 EXISTING GARAGE = 61 SPACES  
 EXISTING ON-STREET PARKING = 32 SPACES

**PROVIDED PARKING TOTAL: 61 + 32 = 93 SPACES**  
 RETAIL PROVIDED PARKING TOTAL: 93 SPACES > REQUIRED PARKING TOTAL: 48 SPACES

**C. REQUIRED PARKING TOTAL**

DWELLING/MULTI-FAMILY REQUIRED PARKING TOTAL: 37 SPACES  
 GENERAL RETAIL REQUIRED PARKING TOTAL: 48 SPACES  
**REQUIRED PARKING TOTAL: 37 + 48 = 85 SPACES**

**D. DESIGNATED DISABLED PARKING SPACES**

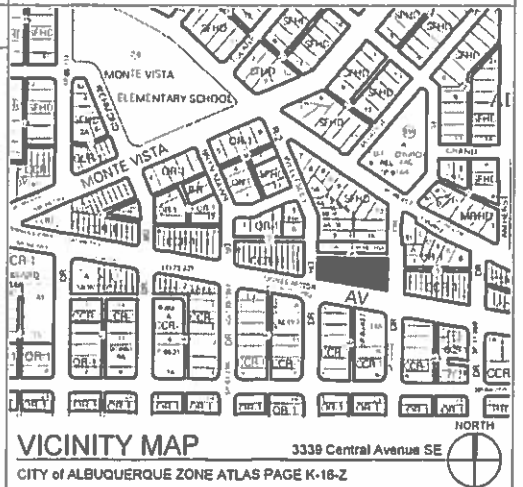
REQUIRED 51 to 100 = 4 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)  
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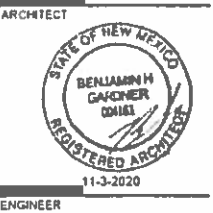
DWELLING/MULTI-FAMILY REQUIRED 10% OF OFF-STREET PARKING SPACES: TOTAL 37 / 10 = 4 SPACES  
 GENERAL RETAIL REQUIRED 10% OF OFF-STREET PARKING SPACES: TOTAL 48 / 10 = 5 SPACES  
 REQUIRED 4 + 5 = 9 SPACES  
 PROVIDED: 10 SPACES



**VICINITY MAP**  
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 CITY OF ALBUQUERQUE ZONE ATLAS PAGE K-18-Z

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ARCHITECTURE  
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The Place in Nob Hill  
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**REVISIONS**

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