

# CITY OF ALBUQUERQUE



September 2, 2016

Richard J. Berry, Mayor

Scott M. McGee, P.E.  
SMMPE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM, 87111

**RE: Silver Ave Townhomes  
Grading and Drainage Plan  
Engineer's Stamp Date 8-18-16 (File: K16D072A)**

Dear Mr. McGee:

Based upon the information provided in your submittal received 8-30-2016, the above-referenced plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: SILVER AVENUE TOWNHOMES Building Permit #: \_\_\_\_\_ City Drainage #: K-16D/072A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOTS 1-A THRU 1-D, BLOCK 10 UNIVERSITY HEIGHTS ADDITION

City Address: \_\_\_\_\_

Engineering Firm: SCOTT M MCGEE PE, LLC Contact: SCOTT MCGEE

Address: 9700 TANCAN DR NE

Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottm.mcgee@gmail.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

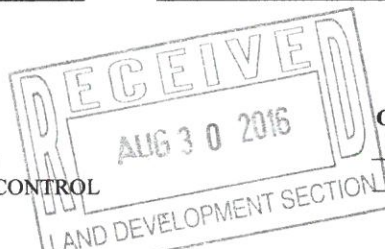
- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 8/30/16 By: SCOTT MCGEE

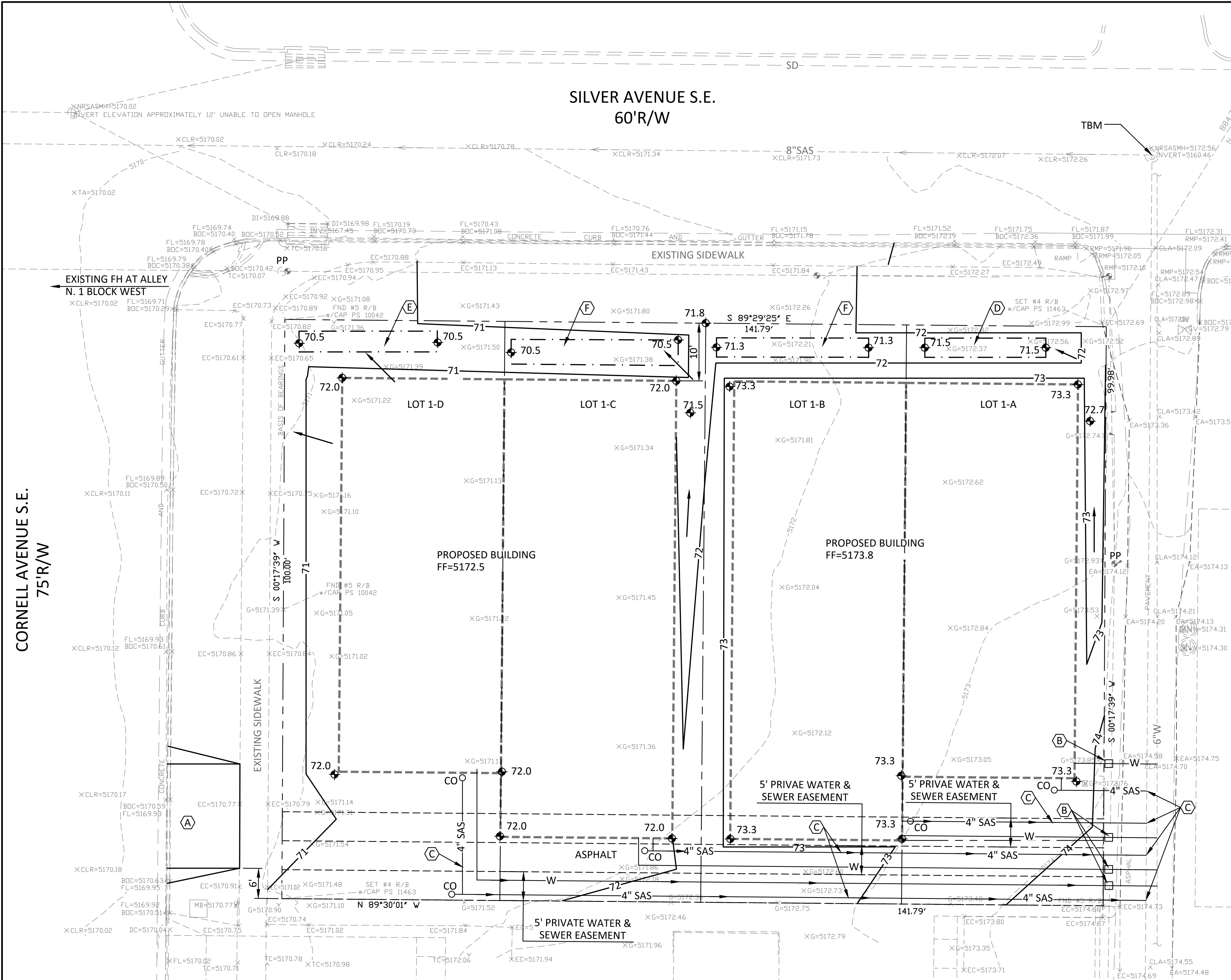
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



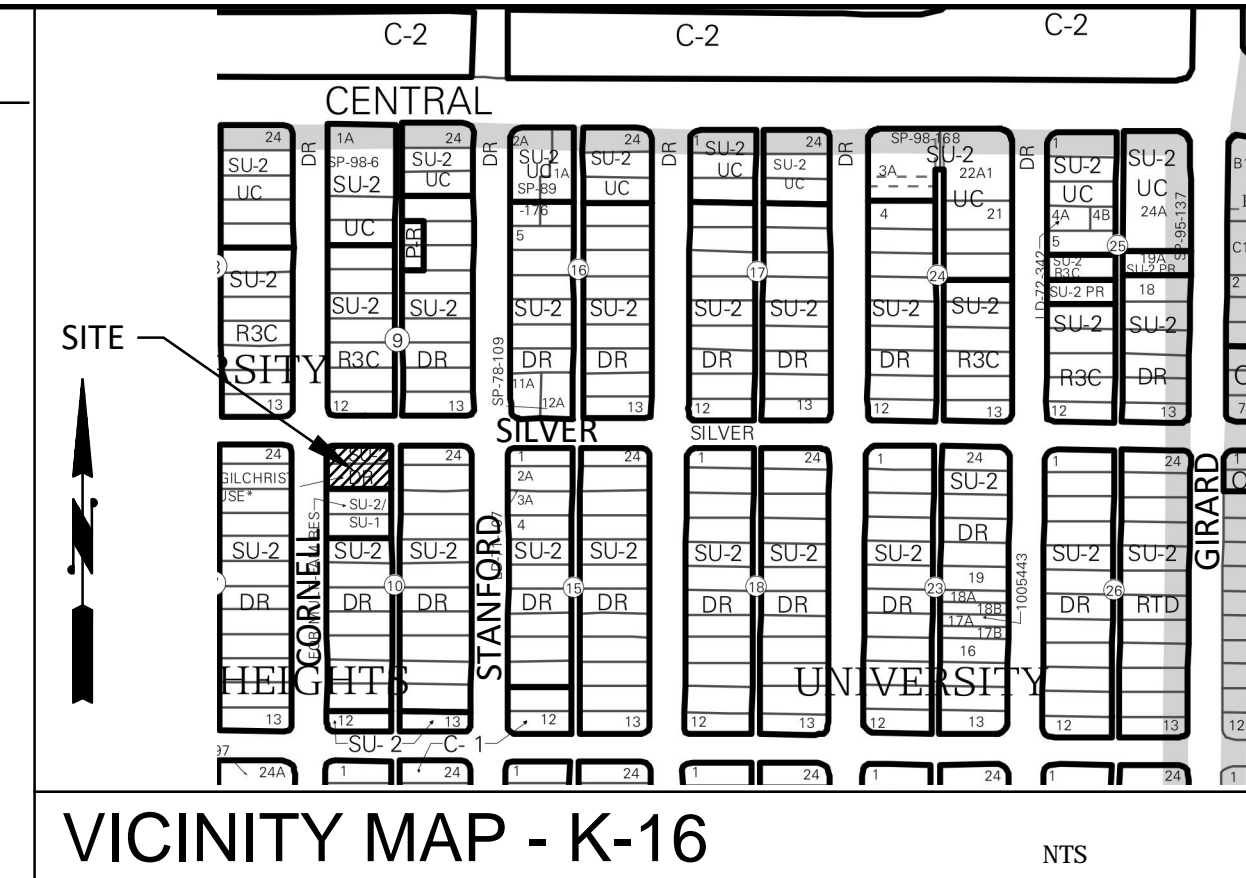
COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





- ### LEGEND
- EXISTING CONSTRUCTION
  - NEW CONTOUR
  - NEW SPOT ELEVATION
  - EXISTING WATER LINE
  - NEW WATER LINE
  - EXIST GAS LINE
  - NEW GAS LINE
  - EXISTING SAS LINE
  - NEW SAS LINE
  - PROPERTY LINE
  - FINISH FLOOR ELEV

- ### KEYED NOTES
- A. NEW 18' CURB CUT & DRIVE PAD PER COA STD DRAWING #2425.
  - B. NEW SINGLE WATER METER BOXES AND SERVICES (PER STD DWGS # 2362 & 2366) FROM WATER MAIN IN ALLEY TO PROPERTY LINE.
  - C. NEW 4" SANITARY SEWER SERVICE PER ABCWUA STD DRAWING #2125 TYPICAL OF 4.
  - D. CREATE DEPRESSED LANDSCAPE AREA WITH 3:1 SLOPED SIDES 5' x 28' x 0.5' (V = 60 CF).
  - E. CREATE DEPRESSED LANDSCAPE AREA WITH 3:1 SLOPED SIDES 0.5' DEEP WITH V = 95 CF.
  - F. CREATE DEPRESSED LANDSCAPE AREA WITH 3:1 SLOPED SIDES 5'x32'x0.5' (V=70 CF)



### DRAINAGE

LEGAL: Lots 1 & 2, Block 10, UNIVERSITY HEIGHTS ADDITION

AREA: 14,178 SF (0.3255 acre)

Benchmark: COA BM "5-K16A" located on the north side of Central Avenue and 109' west of Columbia Drive set flush in the north side walk. ELEVATION = 5174.054 (NAVD 1988)

TBM: North rim of existing Silver SAS manhole at alley as shown on plan ELEVATION = 5172.56

SURVEYOR: Harris Surveying dated July, 2014

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Panel 35001C0353H (dated 8/16/2012), this site is identified as Zone 'X' which is an area determined to be outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The existing site was developed as two residential structures which have both been removed from the site. It is located at the southeast corner of Silver and Cornell Avenue NE. The site slopes down from the southeast to the northwest at 1.5-3%. Existing site drainage is discharged to the adjacent public streets.

PROPOSED IMPROVEMENTS: The proposed improvements include four town home lots. A paved access is proposed along the south side of the lots that connects Cornell Avenue to the paved alley running along the east side of the site.

OFFSITE FLOWS: The south half of the adjacent alley to the east and a small roof area east of the alley discharges flow to the site. The offsite alley and roof area is 16'x50' + 12'x20' = 1,040 SF and with impervious surface  $Q = (.024)(4.7) = 0.1$  CFS which will continue to be accepted onsite and carried west to Cornell via the paved accessway.

DRAINAGE APPROACH: The drainage plan will follow historic drainage patterns. The roof runoff will be directed to the front yard areas which will be depressed slightly to detain runoff onsite.

FIRST FLUSH: The front yards are proposed to be depressed to provide the first flush volume:  
 $V = (0.34/12)(10,200) = 289$  CF  
VOLUME PROVIDED IS  $(70)(2) + 60 + 95 = 295$  CF

Existing land treatment: 20% B, 32% C, 48% D (typical previous residential development)  
 $Q = (0.3255)(3.72) = 1.2$  CFS

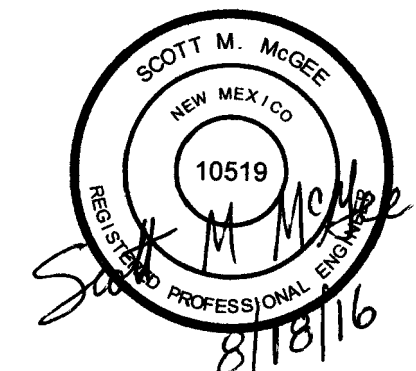
Proposed land treatment: 16% B, 16% C & 68% D  
 $Q = (0.3255)(4.06) = 1.3$  CFS

The additional runoff rate of 0.1 CFS is minimal and is less than a 10% increase. There will be no adverse impact to downstream drainage facilities.

## MASTER GRADING & UTILITY PLAN

1" = 10'

0 10' 20'



## Scott M McGee PE

9700 Tanoan Dr NE  
Albuquerque, NM 87111  
505.263.2905  
scottmmcgee@gmail.com

PROJECT TITLE <b>SILVER AVENUE TOWN HOMES</b> 202 CORNELL SE, ALBUQUERQUE, NEW MEXICO	
SHEET TITLE <b>MASTER GRADING &amp; UTILITY PLAN</b>	
PROJECT NO. 1410	SHEET NO. <b>C101</b>
DATE 08/18/2016	