

CITY OF ALBUQUERQUE



April 13, 2020 Date

Adam R King, PE
Sunlight Homes
3100 San Joaquin SE
Albuquerque NM 87106

**Re: Cornell 12-plex
200 & 202 Cornell SE
Traffic Circulation Layout**
Engineer's stamp 04-13-20 (K16-D072A)

Dear Mr. King,

The TCL submittal received 04-13-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

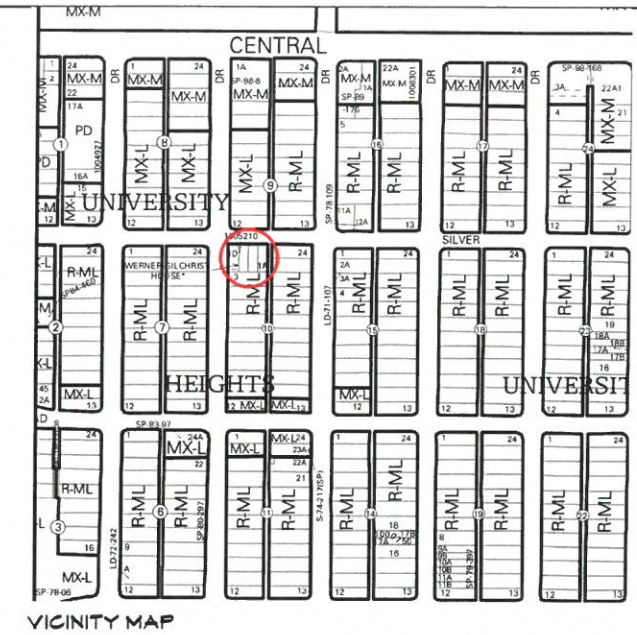
Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

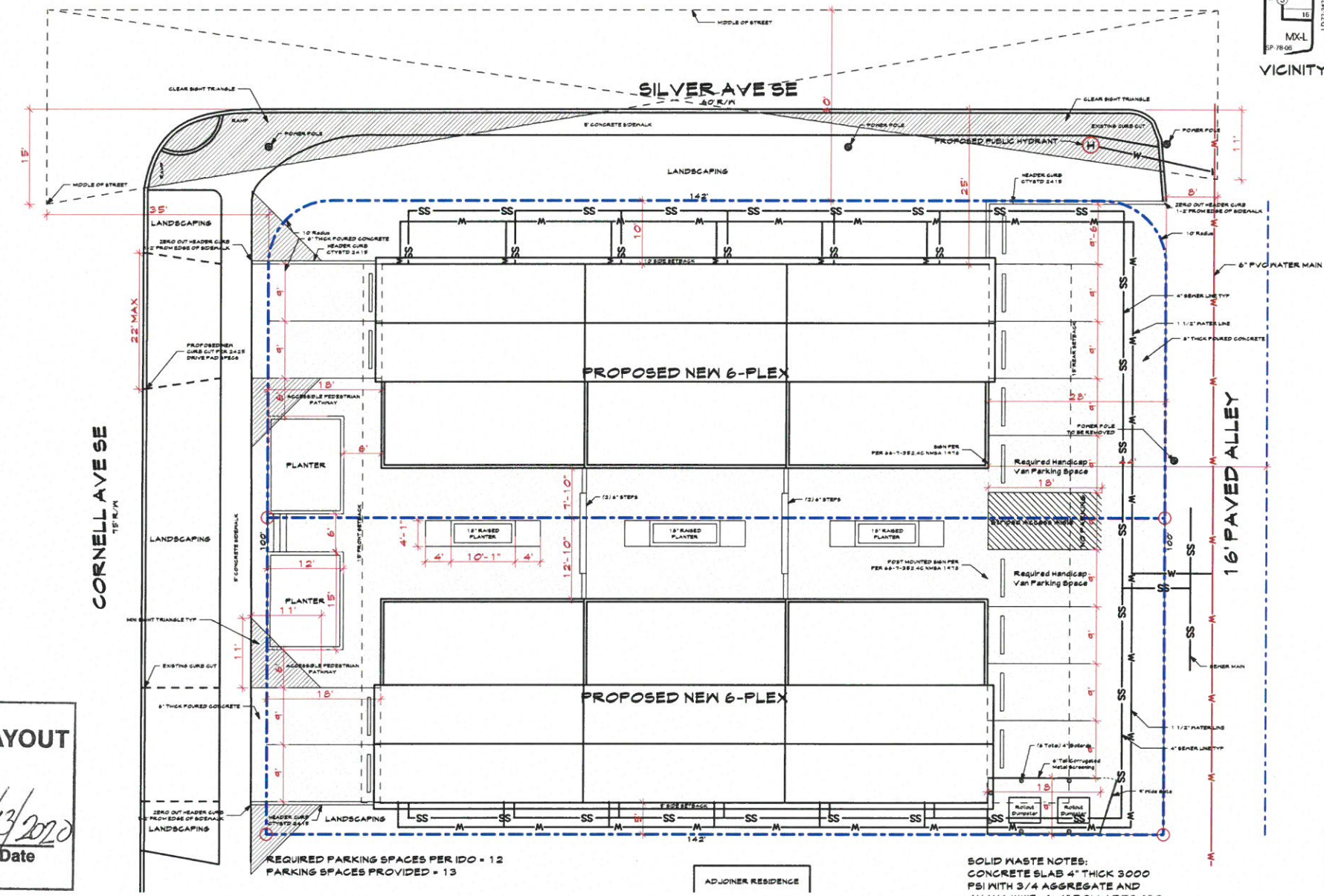
CONDITION OF CO. APPROVALS
WORK ORDER MUST BE
COMPLETED AND
APPROVED



Area Map



VICINITY MAP



SITE PLAN

- House Outline
- Set Back
- Property Line
- E Power
- T Telephone
- G Gas
- W Water
- SS Sewer
- Property Corner
- Septic & Drainfield
- Fire Hydrant

LEGAL DESCRIPTION
LOTS 1-A-1 & 1-A-2, BLOCK 10 UNIVERSITY HEIGHTS ADDITION WITHIN SECTION 22 T. 10N. R. 3E. N.M.P.M. CITY OF ALBUQUERQUE BARNALILLO COUNTY, NEW MEXICO ADDRESS: 200 + 202 CORNELL SE, S7106 PLAT # PR2014-002559 RECORDED FEBRUARY, 2020

- NOTES**
1. REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES
 2. 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE 5-B-1 OF THE IDO. TOTAL REQUIRED PARKING = 12 SPACES
 3. 10 MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
 4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 2415 (CURB & GUTTER).
 6. NO VEHICLES WILL BE ALLOWED TO PARK IN EXISTING 16FT ALLEY WAY.
 7. PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESS AISLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLES REAR TIRE WOULD BE PLACED (66-1-4.1.3 NMSA 1978)
 8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

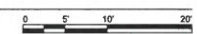
BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
TOTAL BUILDING HEIGHT = 2'1'-10"
HEATED FLOOR AREA:
TOTAL 12-PLEX FLOOR AREA = 8,816 SQ. FT.
INDIVIDUAL UNIT = 731 SQ. FT.

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

Signed _____
Date 04/13/2020

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

SITE PLAN
SCALE: 1" = 10'



CORNELL 12-PLEX

SITE PLAN & TCL

3.30.20
Revisions

DATE PAGES REVISION

