

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 17, 2021

Adam R King, PE
King Engineering LLC
5611 Claret St.
Timnath, CO 80547

**Re: Cornell 12-Plex
200/202 Cornell SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-13-20 (K16D072A)
Certification dated 3-11-21**

Dear Mr. King,

Based upon the information provided in your submittal received 3-11-21, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** If that language is present it is not visible in the detail.
- Please add ADA International Symbol pavement markings to the ADA stalls.
- Provide conformation of accepted and approved work order.
- Remove construction equipment and debris on site.

NM 87103

www.cabq.gov

Once corrections are complete resubmit

1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

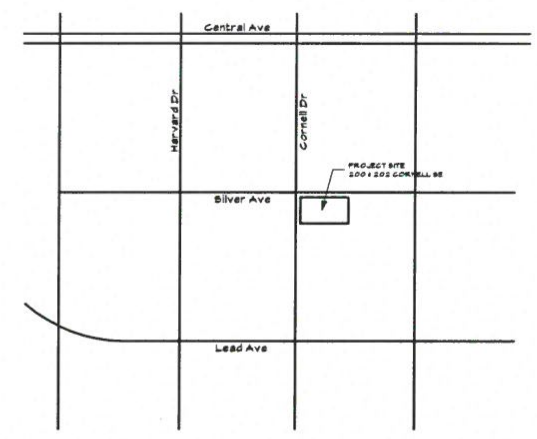
PO Box 1293

Albuquerque

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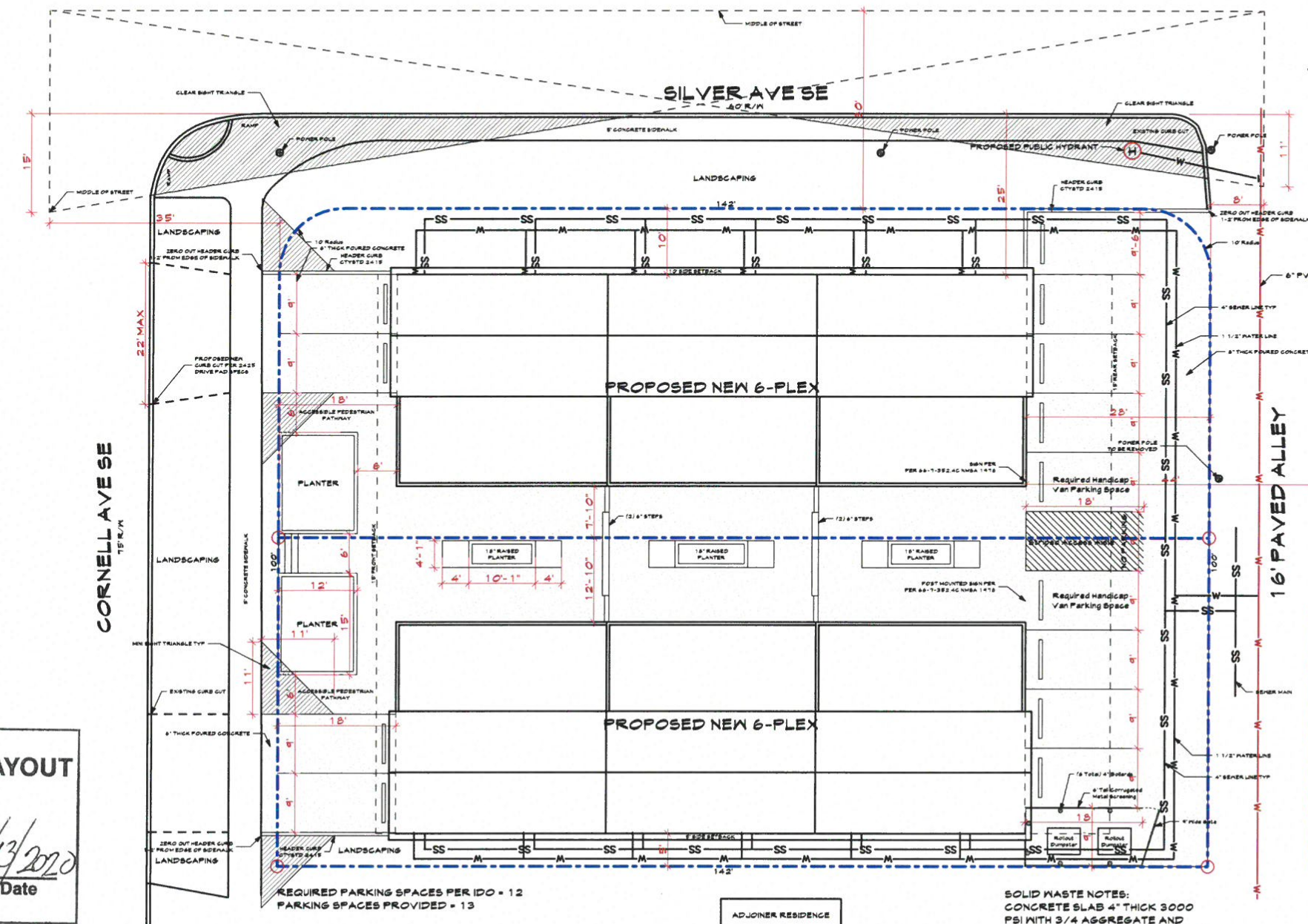
CONDITION OF CO. APPROVALS
WORK ORDER MUST BE
COMPLETED AND
APPROVED



Area Map



VICINITY MAP



SITE PLAN

- House Outline
- Set Back
- Property Line
- Power
- Telephone
- Gas
- Water
- Sewer
- Property Corner
- Septic & Drainfield
- Fire Hydrant

LEGAL DESCRIPTION
LOTS 1-A-1 & 1-A-2, BLOCK 10 UNIVERSITY HEIGHTS ADDITION WITHIN SECTION 22 T. 10N. R. 3E. N.M.P.M. CITY OF ALBUQUERQUE BARNALLO COUNTY, NEW MEXICO ADDRESS: 200 x 202 CORNELL SE, B7106 PLAT # PR2014-002554 RECORDED FEBRUARY, 2020

- NOTES**
1. REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES.
 2. 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE S-5-1 OF THE IDO. TOTAL REQUIRED PARKING = 12 SPACES.
 3. 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
 4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 2415 (CURB & GUTTER).
 6. NO VEHICLES WILL BE ALLOWED TO PARK IN EXISTING 16 FT ALLEY WAY.
 7. PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESS AISLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLES REAR TIRE COULD BE PLACED (66-1-4.1.3 NMSA 1978).
 8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
TOTAL BUILDING HEIGHT = 21'-10"
HEATED FLOOR AREA:
TOTAL 12-PLEX FLOOR AREA = 8,816 SQ. FT.
INDIVIDUAL UNIT = 731 SQ. FT.

SOLID WASTE NOTES:
CONCRETE SLAB 4" THICK 3000 PSI WITH 3/4 AGGREGATE AND 4X4X1 W/W. 6-4" BOLLARDS 6" 2 ON THE SIDE 4 IN THE REAR AND FROM WALL TO CENTER ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE.

SITE PLAN

SCALE: 1" = 10'



TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature]
Signed
04/13/2020
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



CORNELL 12-PLEX

SITE PLAN & TCL

3.30.20

Revisions

DATE PAGES REVISED



March 11, 2021

Evan Davis
Sunlight Homes
3100 San Joaquin SE
Albuquerque, NM 87106



Project: Cornell 12-Plex

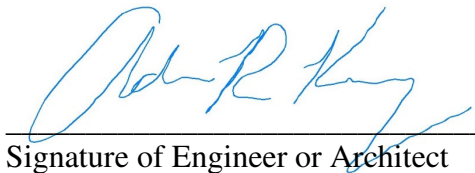
LOTS 1-A-1 & 1-A-2, BLOCK 10 UNIVERSITY HEIGHTS ADDITION WITHIN
SECTION 22 T. 10N. R. 3E. N.M.P.M.
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

KE Project #2460

TRAFFIC CERTIFICATION

I, **Adam R. King**, NMPE **19897**, OF THE FIRM **King Engineering LLC**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **3.30.20 (TCL approved on 04/13/2020)**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ OF THE FIRM _____. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **3/11/2021** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR _____.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

3/11/2021
Date





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Cornell 12-plex **Building Permit #:** BP-2020-12491 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 1-A-1 & 1-A-2 BLOCK 10 UNIVERSITY HEIGHTS ADDITION WITHIN SECTION 22T.10N. R3E NMPM
City Address: 200 Cornell & 202 Cornell SE

Applicant: Sunlight Properties LLC **Contact:** Evan Davis
Address: 3100 San Joaquin SE Albuquerque, NM 87106
Phone#: 505-220-7952 **Fax#:** _____ **E-mail:** Evandavis@sunlighthomes.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

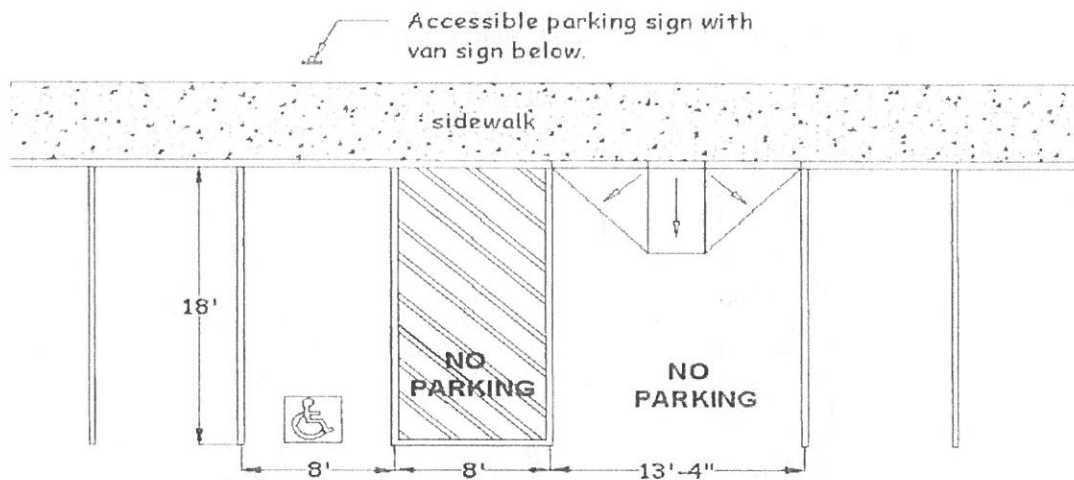
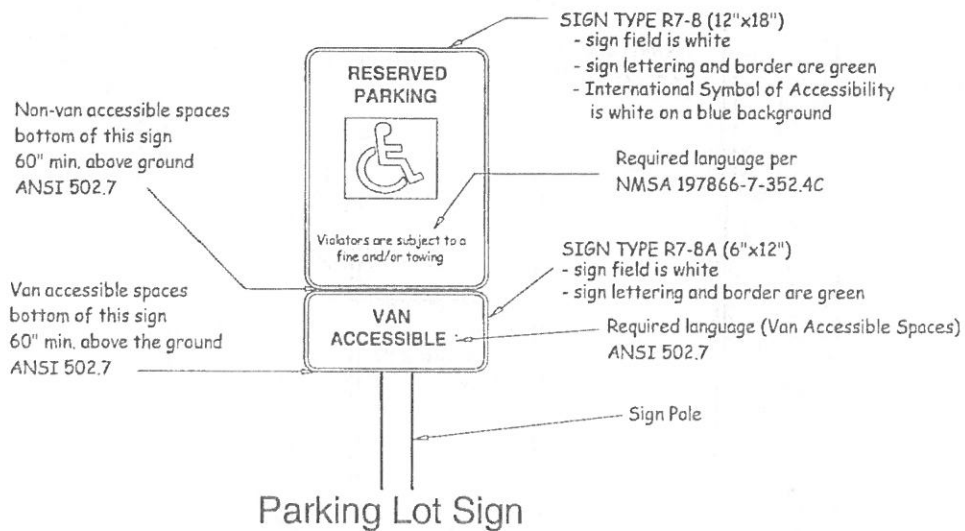
- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/10/21 **By:** Evan Davis

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



BUILT-UP CURB RAMPS

Built-up curb ramps shall not extend into the accessible parking space or access aisle.
ANSI 502.5 and 2010 Standards 502.4