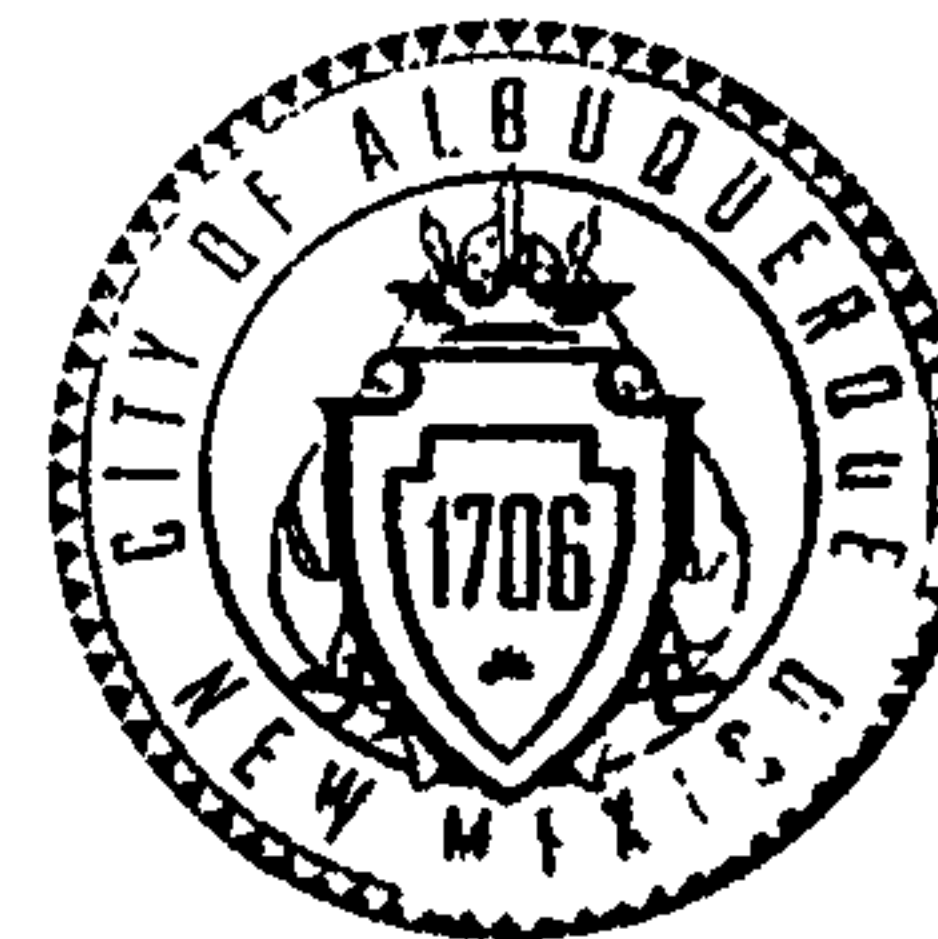


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 29, 2013

Levi J. Valdez, P.E.
George T. Rodriguez - Consultant
12800 San Juan N.E.
Albuquerque, NM 87123

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
4-Plex Vassar, [K-16/D080]
424 Vassar Drive S.E.
Engineer's Stamp Dated 03/03/13

Dear Mr.Valdez,

Based upon the information provided in your submittal received 03-07-13 and 03-29-13, Transportation Development has no objection the issuance of a Permanent Certificate of Occupancy.

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

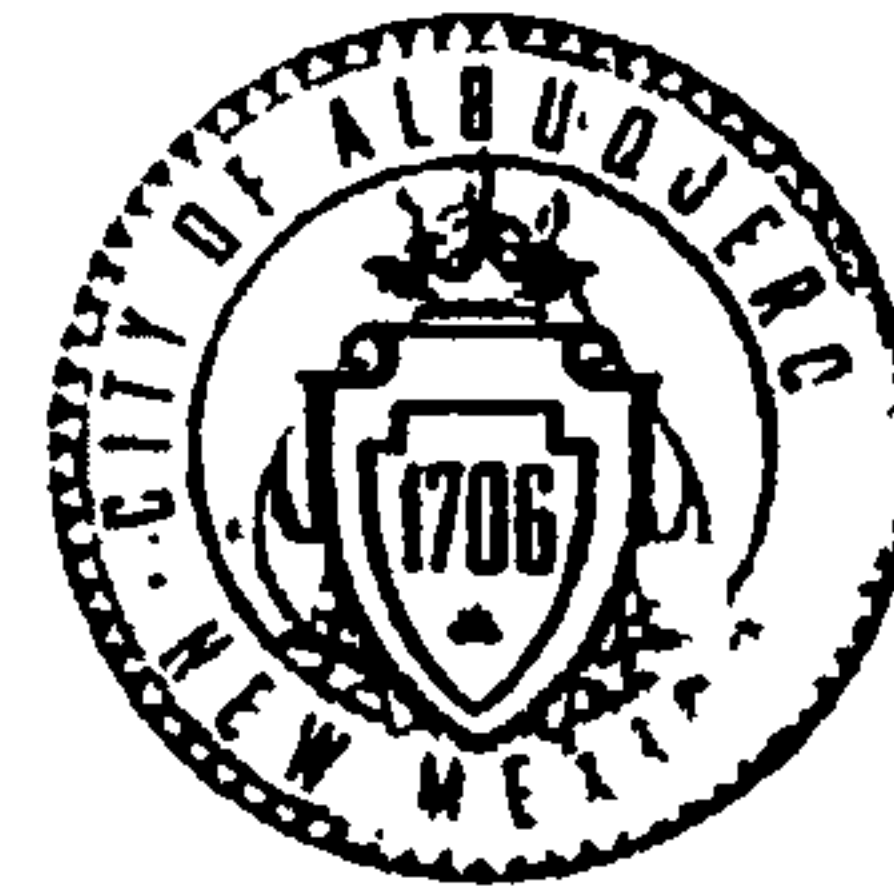
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

March 15, 2013



CERTIFICATE OF COMPLETION AND ACCEPTANCE

Freddie Rivera, Jr., President
FIRST CHOICE EQUITY BUILDERS, INC.
1100 Lomas Blvd. NW Suite 3
Albuquerque, NM 87102

RE: **4 PLEX VASSAR**
Project Number: **644282**

Dear Mr. Rivera:

This is to certify that the City of Albuquerque ("City") accepts the construction of the infrastructure provided in the Work Order Construction Plans, City project number **644282**. The work was completed pursuant to the required public infrastructure listed in the Public Improvements Agreement, Procedure A ("Agreement"), between **First Choice Equity Builders, Inc.** and the City executed on **February 1, 2013**.

Having satisfied the requirements referenced above, the Agreement and any associated Financial Guaranty, held by the City, can now be released. Any performance/warranty bond and the indemnity and hold harmless provisions of the Agreement in favor of the City shall remain in effect. The contractor's warranty period will begin **March 15, 2013** and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3996.

Sincerely,

Richard Dourte, P.E.

City Engineer

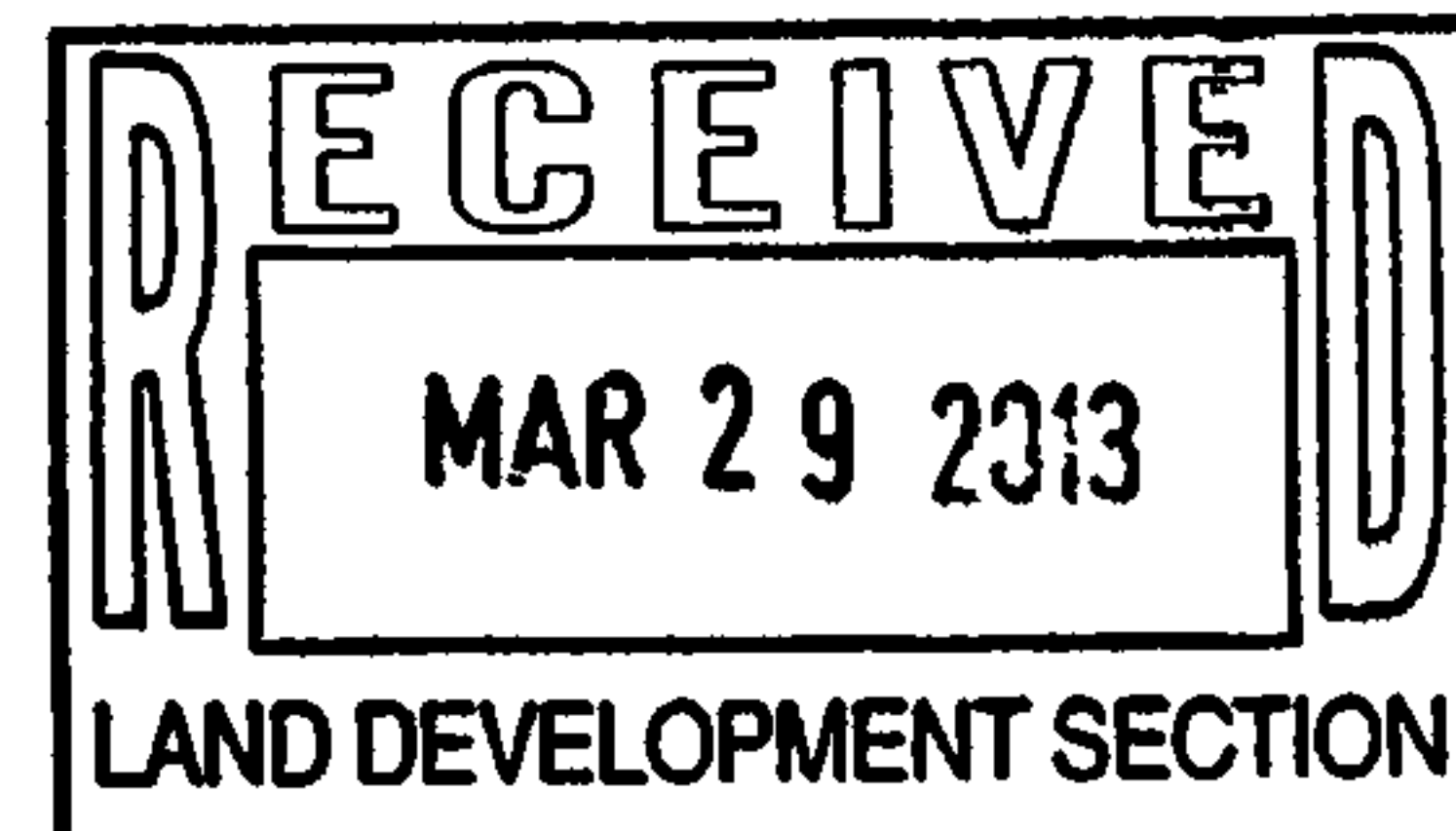
Development & Building Services

Planning Department

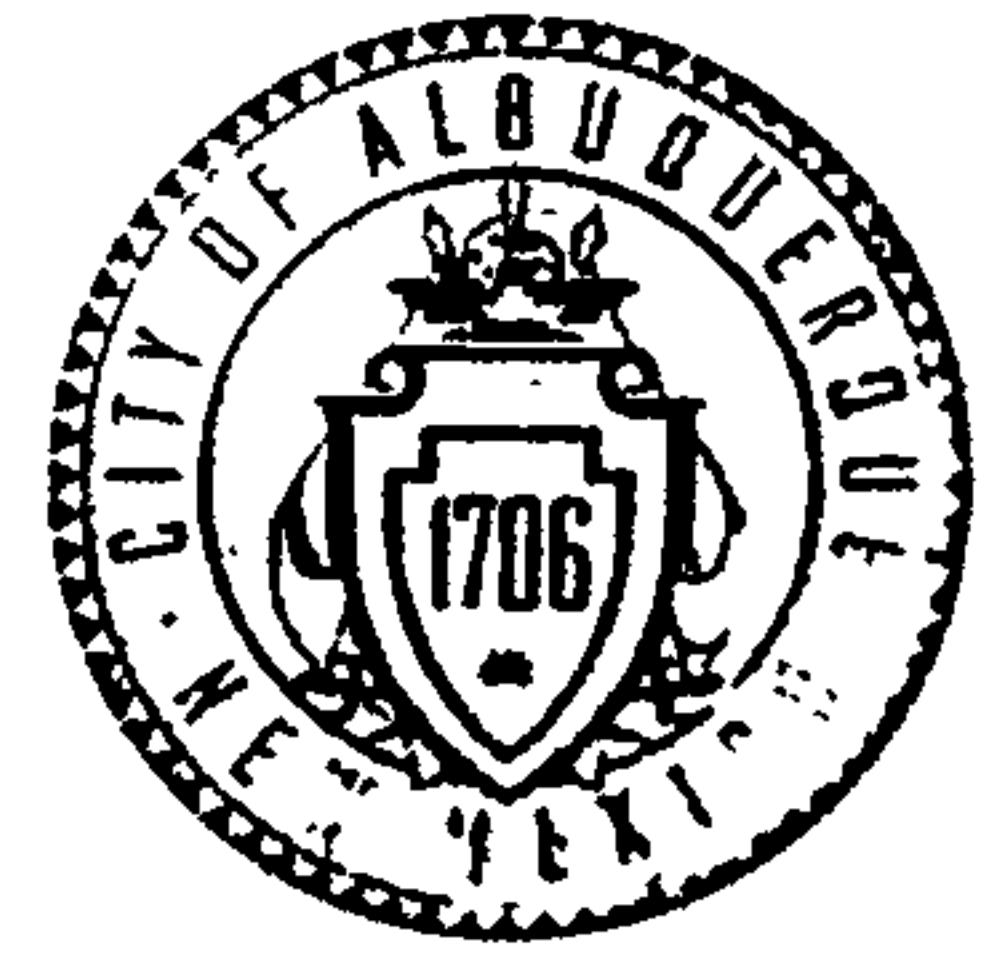
5-22-13

SPW

cc: **GND, LLC (e-mail)**
Altor Construction, Inc. (e-mail)
Vincent Paul, DMD Maps & Records (e-mail)
David Zamora, DMD Street Maintenance (e-mail)
Jason Rodriguez, DMD Street Maintenance
Phillip Romo, DMD Street Maintenance (e-mail)
David Rodriguez, Maps & Records (e-mail)
Martin Sanchez, Maps & Records (e-mail)
SIA File, City Project Number **644282**



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 7, 2013

Levi J. Valdez, P.E.
George T. Rodriguez - Consultant
12800 San Juan N.E.
Albuquerque, NM 87123

Re: Certification Submittal for Certificate of Occupancy for
4-Plex Vassar, [K-16/D080]
424 Vassar Drive S.E.
Engineer's Stamp Dated 03/03/13

Dear Mr. Valdez,

The Letter of Certification submitted on 03-07-13 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following item needs to be completed:

- Final acceptance of Work Order (paperwork completed and accepted by the COA.

PO Box 1293

The issuance of a **120-day Temporary Certificate of Occupancy** has been provided until the above item has been addressed. This letter serves as a "green tag" from Transportation Development for a **120-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division

Albuquerque

Once the above item has been addressed and completed, please resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

C: Engineer
Hydrology file
CO clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: 4-PLEX VASSAR ZONE MAP: K-16/D 080
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12, BLOCK 2B, UNIVERSITY HEIGHTS ADDITION
CITY ADDRESS: 424 VASSAR S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ, DEVEL. CONSULT GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87123
EMAIL: PANROD@HOTMAIL.COM

OWNER: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87102

ARCHITECT: JOE BURWINKLE, JR. CONTACT: JOE BURWINKLE
ADDRESS: 7112 PAN AMERICAN FWY. #119 PHONE: 821-6866
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87109
EMAIL: _____

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: 2412 D MONROE, N.E. PHONE: 889-8056
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87110

CONTRACTOR: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87102

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

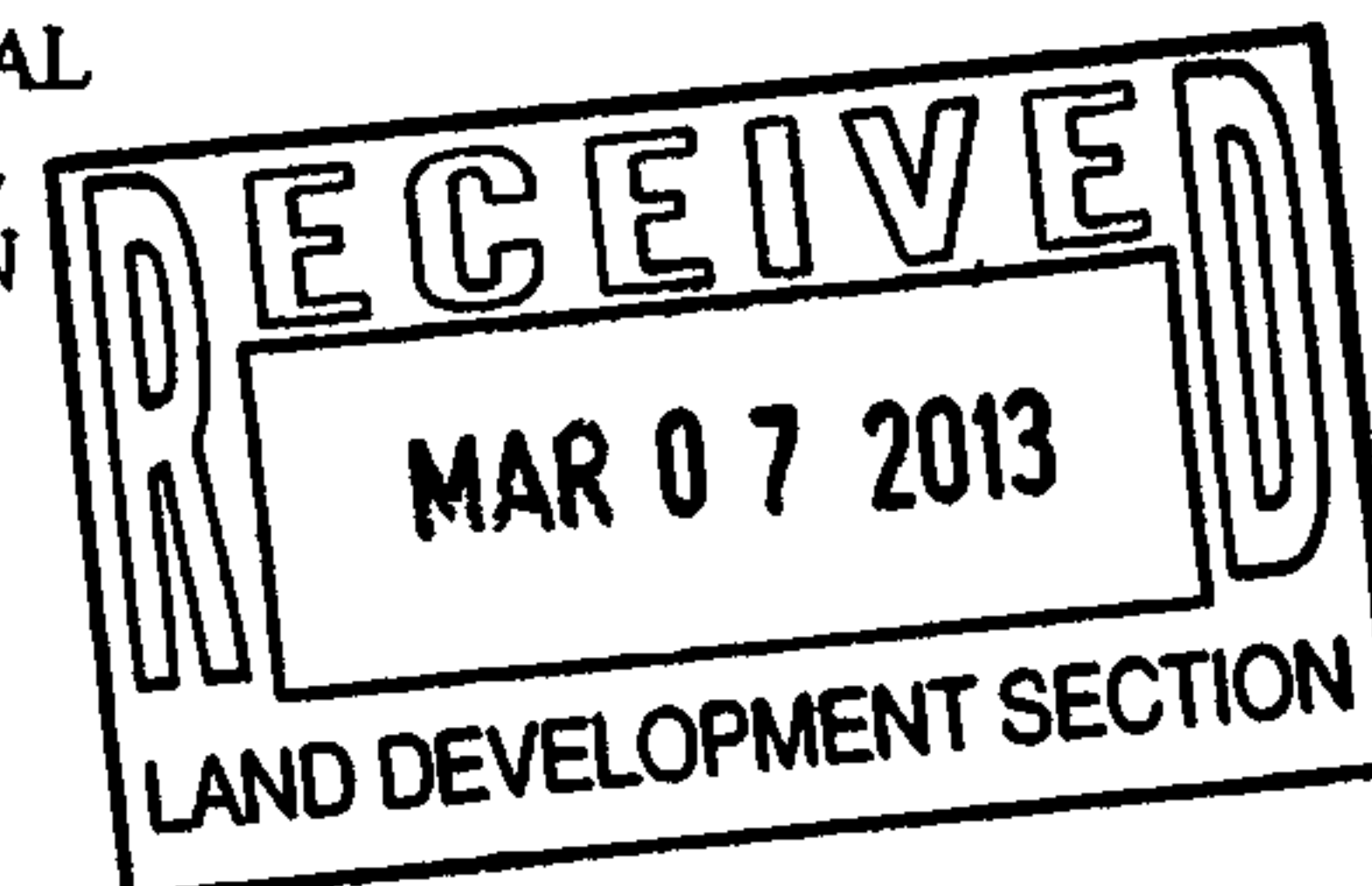
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03-03-13 BY: GEORGE T. RODRIGUEZ



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- 1 Conceptual Grading and Drainage Plan. Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans. Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report. Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

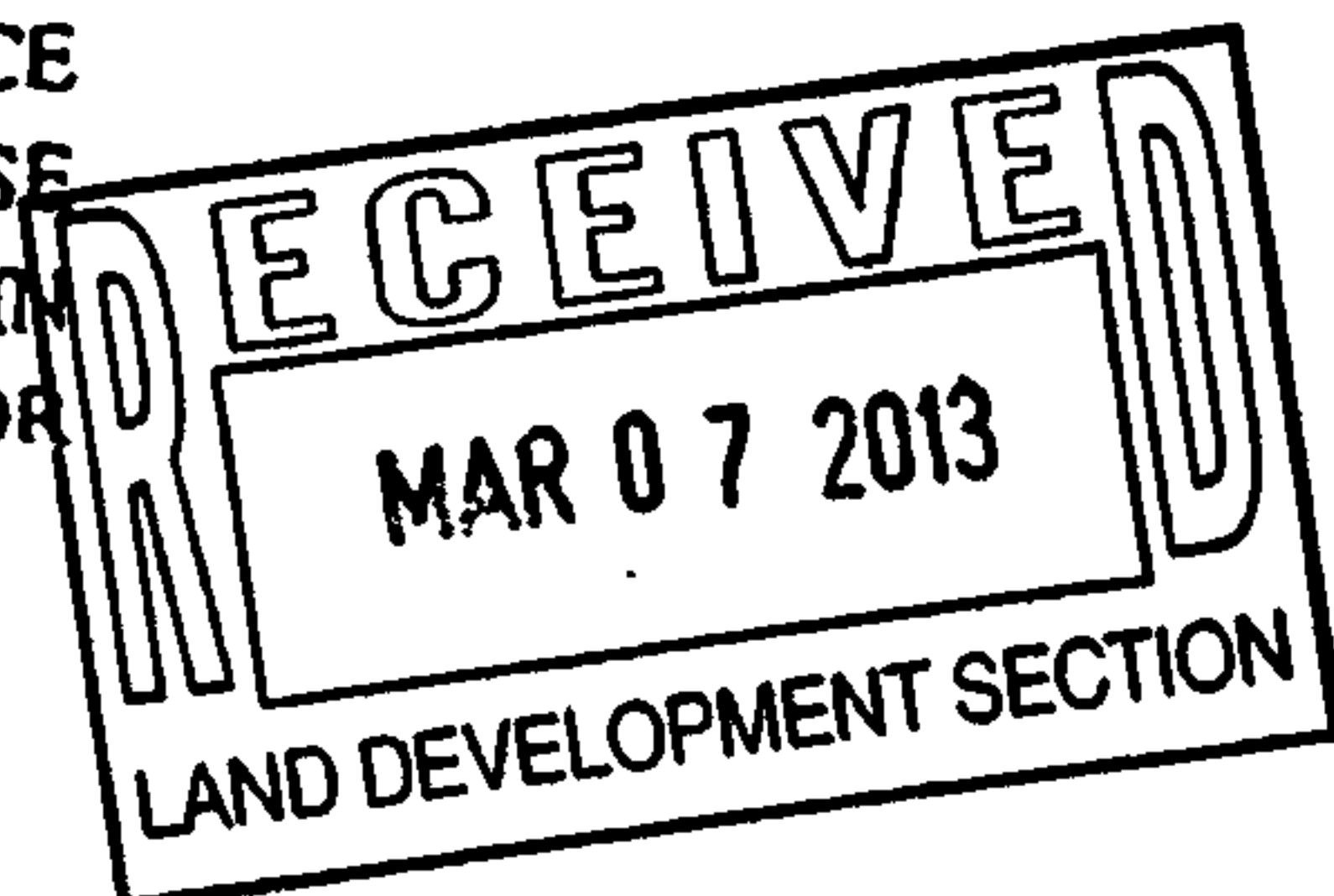
LEYI J. VALDEZ, P.E.
12800 San Juan NE
Albuquerque, NM 87123


**City Of Albuquerque
Transportation Development Section
Plaza Del Sol Building
Albuquerque, New Mexico**

Re: TCL Certification of 4- PLEX VASSAR APARTMENTS
(424 VASSAR DRIVE S.E.)

I, LEYI J. VALDEZ, NMPE NO. 5693, OF THE FIRM _____, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-15-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY HARRIS OF THE FIRM HARRIS SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03-03-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

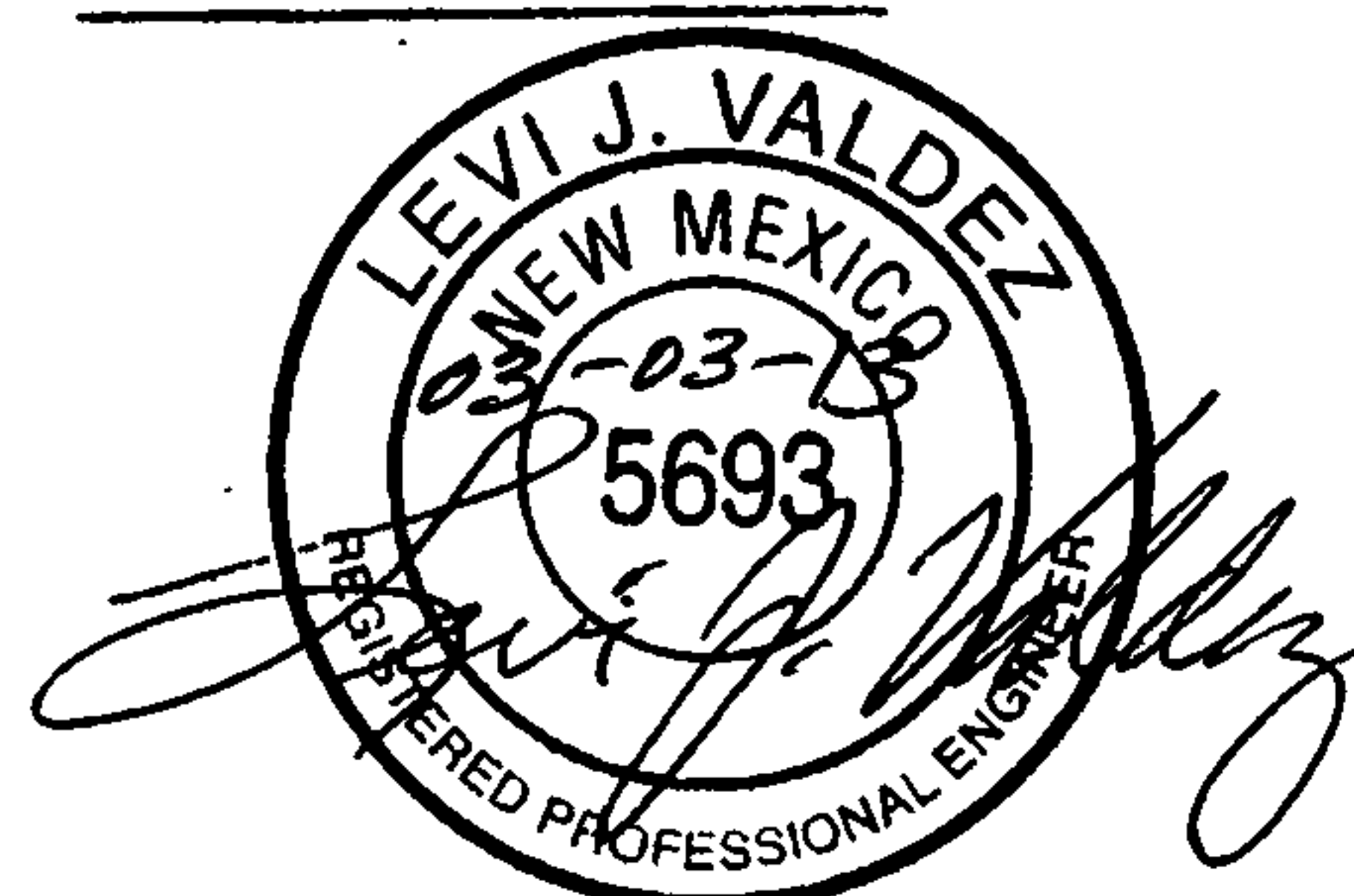
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE *TRAFFIC LAYOUT* ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.




Signature of Engineer

03-03-13
Date

ENGINEER'S STAMP



CITY OF ALBUQUERQUE



March 8, 2013

Levi J. Valdez
George T. Rodriguez Devl. Consultants
12800 San Juan NE
Albuquerque, NM 87128

Re: 4-Plex Vassar, 424 Vassar Dr SE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 08-21-12, (K16/D080)
Certification dated: 3-3-13

Dear Mr. Rodriguez,

Based upon the information provided in the Certification received 03-07-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or tsims@cabq.gov.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

Shahab Biazar, P.E.
Senior Engineer—Hydrology Section
Development and Building Services

www.cabq.gov

RR/SB
C: CO Clerk—Katrina Sigala
e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: 4-PLEX VASSAR ZONE MAP: K-16/D 080
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12, BLOCK 28, UNIVERSITY HEIGHTS ADDITION
CITY ADDRESS: 424 VASSAR S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ, DEVEL. CONSULT. GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87123
EMAIL: PAWRDD@HOTMAIL.COM

OWNER: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87102

ARCHITECT: JOE BURWINKLE, JR. CONTACT: JOE BURWINKLE
ADDRESS: 7112 PANAMERICAN FWY. #119 PHONE: 821-6866
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87109
EMAIL: _____

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: 2412 D MONROE, N.E. PHONE: 889-8056
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87110

CONTRACTOR: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQ., N.M. ZIP CODE: 87102

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

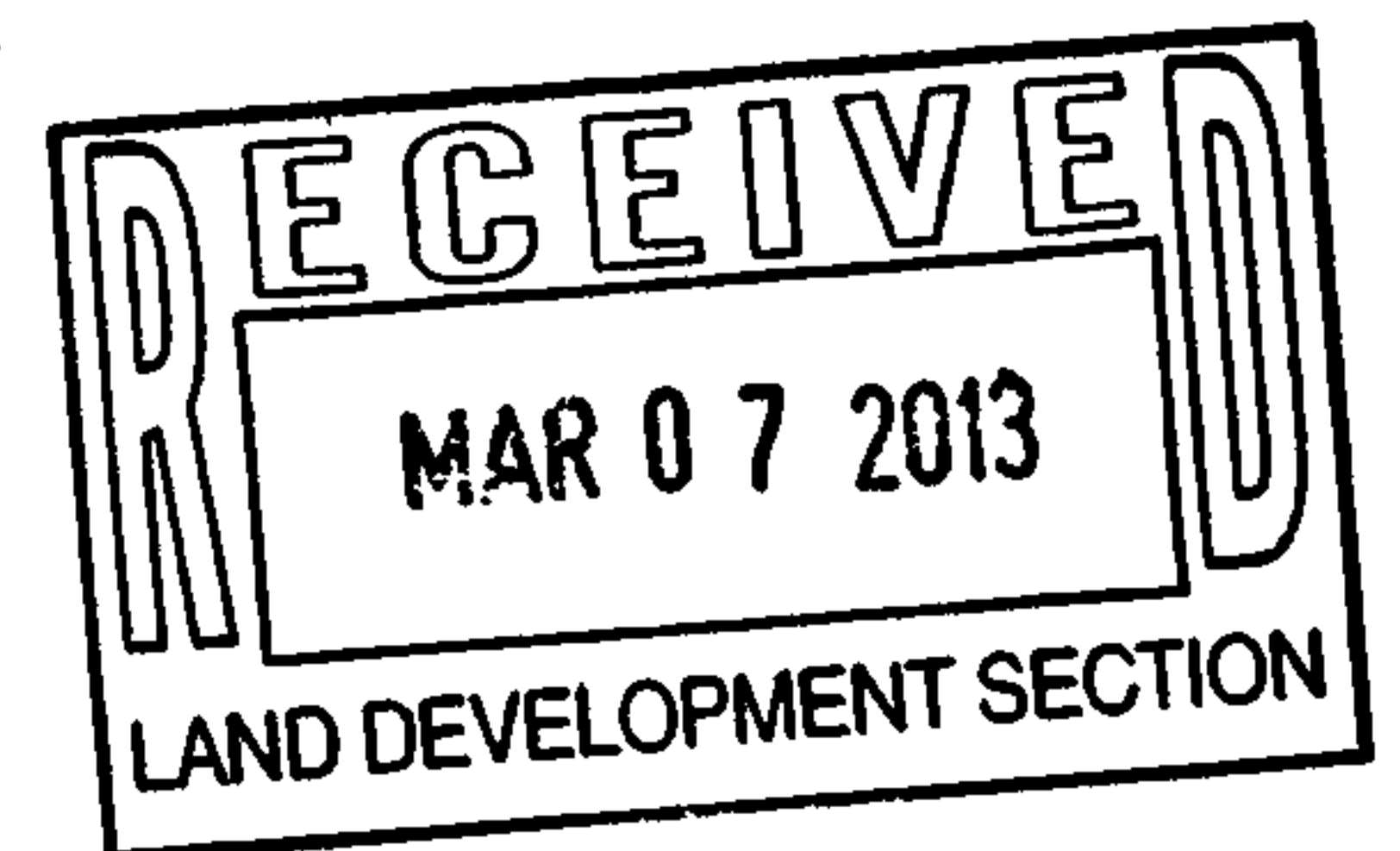
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

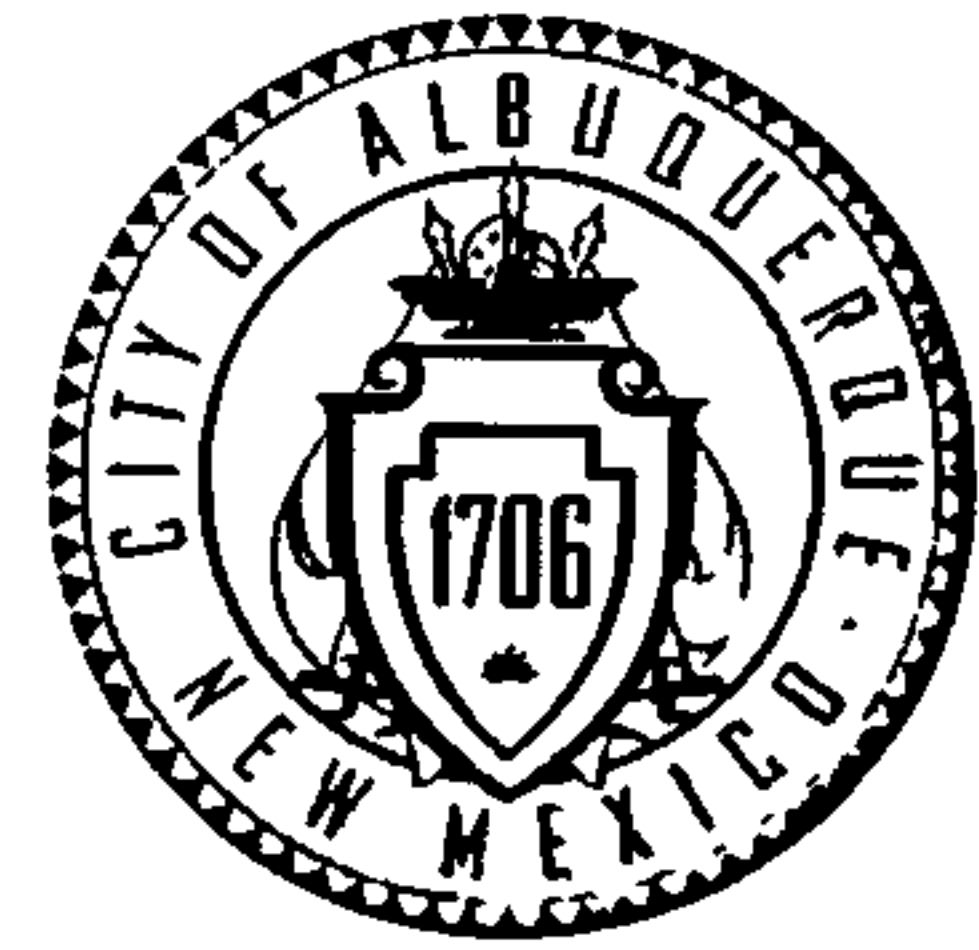
DATE SUBMITTED: 03-03-13 BY: GEORGE T. RODRIGUEZ



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- 1 **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2 **Drainage Plans.** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3 **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 21, 2012

Levi J. Valdez, P.E.
George T. Rodriguez, Development Consultant
12800 San Juan N.E.
Albuquerque, NM 87123

Re: 4-Plex Vassar Apartments, 424 Vassar Dr SE, Traffic Circulation Layout
Engineer's Stamp dated 08-15-12 (K-16/D080)

Dear Mr. Valdez,

The TCL submittal received 08-16-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following items must be completed:

- **The work order associated with the project must be completed and closed out.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: 4-PLEX VASSAR APARTMENTS ZONE MAP/DRG. FILE # K-16/1080
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12, BLOCK 28, UNIVERSITY HEIGHTS ADDITION
CITY ADDRESS: 424 VASSAR S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - DEVEL. CONSULT GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 505-610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 505-244-3800
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

ARCHITECT: JOE BURWINKLE, JR. CONTACT: JOE BURWINKLE
ADDRESS: 7112 PAN AMERICAN FWY. #119 PHONE: 505-821-6866
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87109

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: MCHURD N.E. PHONE: 889-8056
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

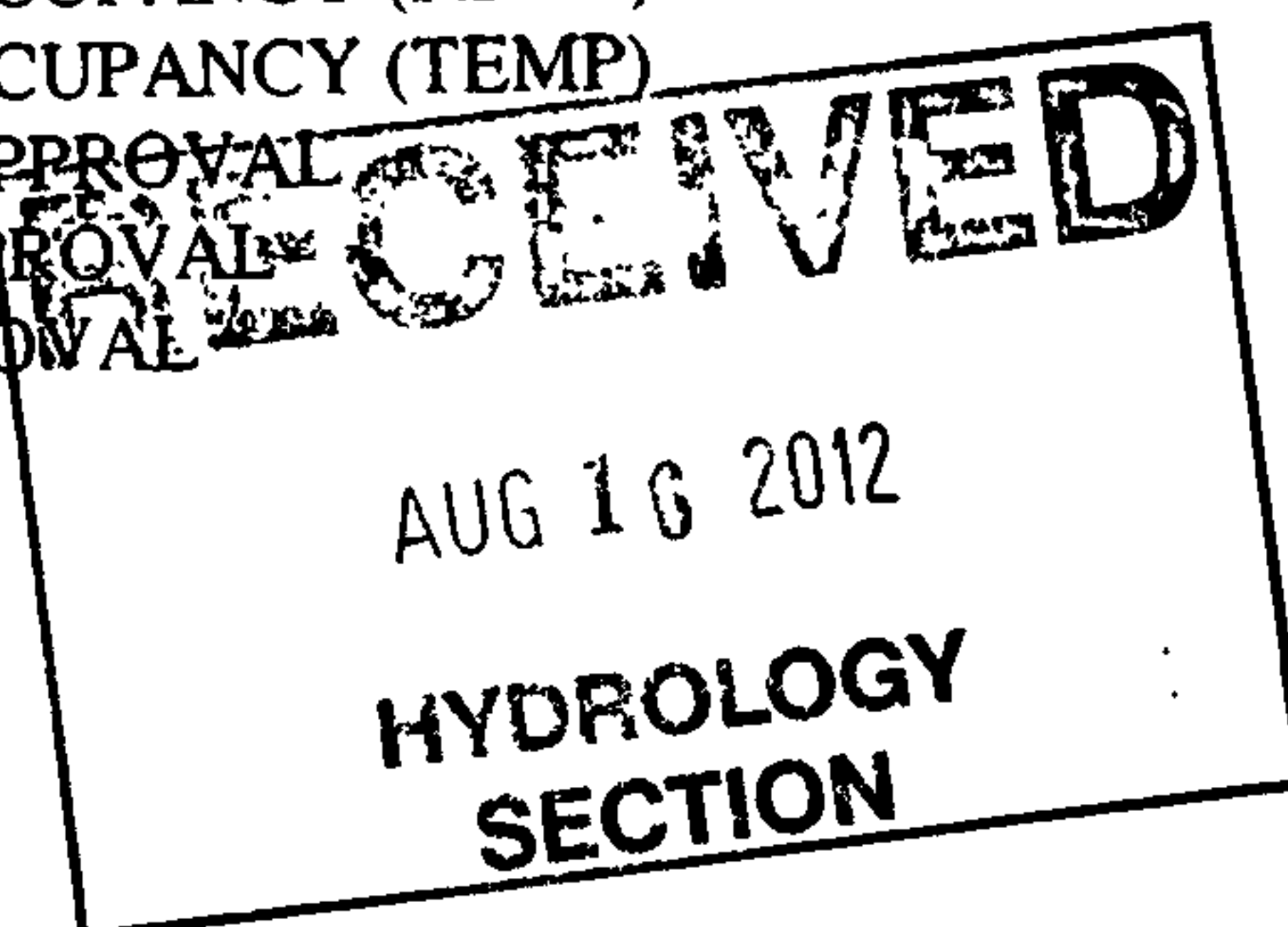
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: 08-15-12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Biazar, Shahab

From: Biazar, Shahab
Sent: Friday, August 24, 2012 11:25 AM
To: 'George T. Rodriguez'
Cc: Sims, Timothy E.; Rael, Rudy E.
Subject: 4-Plex Vassar Apartments, 424 Vassar SE

Hi,

I just realized that your note C on the grading plans calls out for the landscaping to be depressed within the ROW. Please make sure that the landscaping is depressed within the private property and not inside the ROW. Please eliminate Note C's arrows that point to the ROW landscaping on the building permit set.

Thanks and have a nice day.

Shahab Biazar, P.E.

Senior Engineer

Planning Department

Development & Building Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

8/24/2012

CITY OF ALBUQUERQUE



August 23, 2012

George Rodriguez,
Levi Valdez George Rodriguez Development Consulting
12800 San Juan NE
Albuquerque, NM 87102

Re: 4-Plex Vassar Apartments, 424 Vassar SE
Grading and Drainage Plan
Engineer's Stamp dated 8-21-12 (K-16/D080)

Dear Mr. Rodriguez,

Based upon the information provided in your submittal received 8-22-12, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

NM 87103

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

RER/SB

C: email

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: 4-PLEX VASSAR APARTMENTS ZONE MAP/DRG. FILE # K-16/D080
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12, BLOCK 28, UNIVERSITY HEIGHTS ADDITION
 CITY ADDRESS: 424 VASSAR S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - DEVEL. CONSULT. GEORGE RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 505-610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
 ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 505-244-3800
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

ARCHITECT: JOE BURWINKLE, JR. CONTACT: JOE BURWINKLE
 ADDRESS: 7112 PAN AMERICAN FWY. #119 PHONE: 505-821-6866
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87109

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: MORRIS N.E. PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
 ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

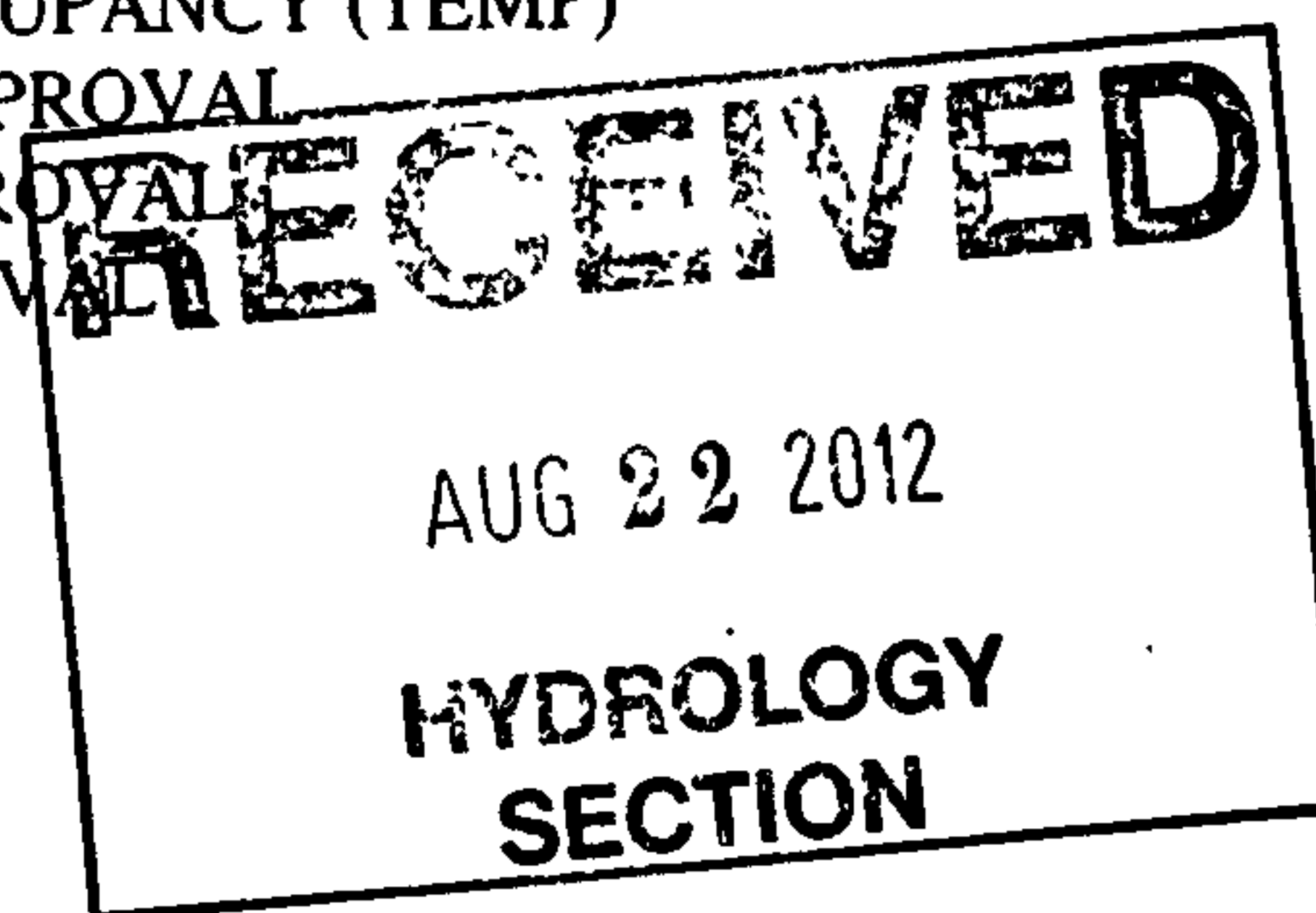
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: 08-22-12

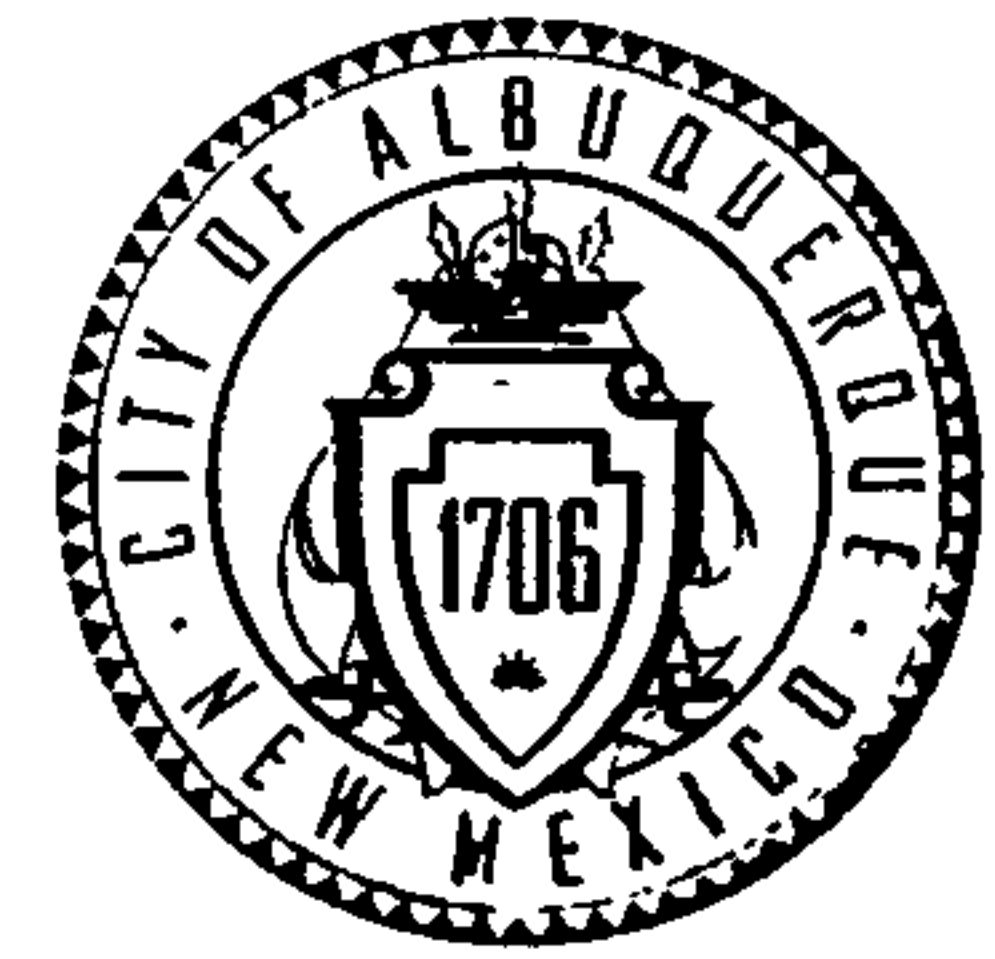
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- 1 **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2 **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3 **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



pawrod@hotmail.com

CITY OF ALBUQUERQUE



August 6, 2012

Levi J. Valdez, P.E.
George T. Rodriguez, Development Consultant
12800 San Juan N.E.
Albuquerque, NM 87123

**Re: 4-Plex Vassar Apartments, 424 Vassar Dr SE, Traffic Circulation Layout
Engineer's Stamp dated 7-19-12 (K-16/D080)**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 7-23-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show the location of the nearest driveway on the adjacent lot.
2. The *Development Process Manual* specified "No backing from designated parking stalls into streets is permitted." Does the sector plan in this area permit this usage? Please refer to the sector plan and quote the appropriate section within this plan.
3. Provide additional information regarding the proposed header curb off of Vassar Drive. Will the adjacent earthwork be graded to top of curb?
4. A 6-foot wide, ADA accessible, pedestrian pathway is required from the building to the roadway. This pathway must be constructed of concrete.
5. Remove the pavement detail; specify the limits of paving.
6. All driveways must have a minimum thickness of 6" and must extend from the back of curb to the property line (see Standard Detail 2425, General Note 4).
7. The header curb shown extends 8 feet past the parking stalls off of the alleyway; please clarify.
8. An existing block wall is shown on the adjacent site. Provide a sight distance exhibit for the curb cut.
9. A solid line is shown between the proposed header curb and parking stall off the alley way; what does this line indicate?

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: 4-PLEX VASSAR APARTMENTS ZONE MAP/DRG. FILE # K-16/D080
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12, BLOCK 28, UNIVERSITY HEIGHTS ADDITION
 CITY ADDRESS: 424 VASSAR S.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - DEVEL. CONSULT. GEORGE RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 505-610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
 ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 505-244-3800
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

ARCHITECT: JOE BURWINKLE, JR. CONTACT: JOE BURWINKLE
 ADDRESS: 7112 PAN AMERICAN FWY. #119 PHONE: 505-821-6866
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87109

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: MORRIS N.E. PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: FIRST CHOICE EQUITY BUILDERS, INC. CONTACT: FRED RIVERA
 ADDRESS: 1020 LOMAS BLVD. N.W. PHONE: 244-3800
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TYPE OF SUBMITTAL:

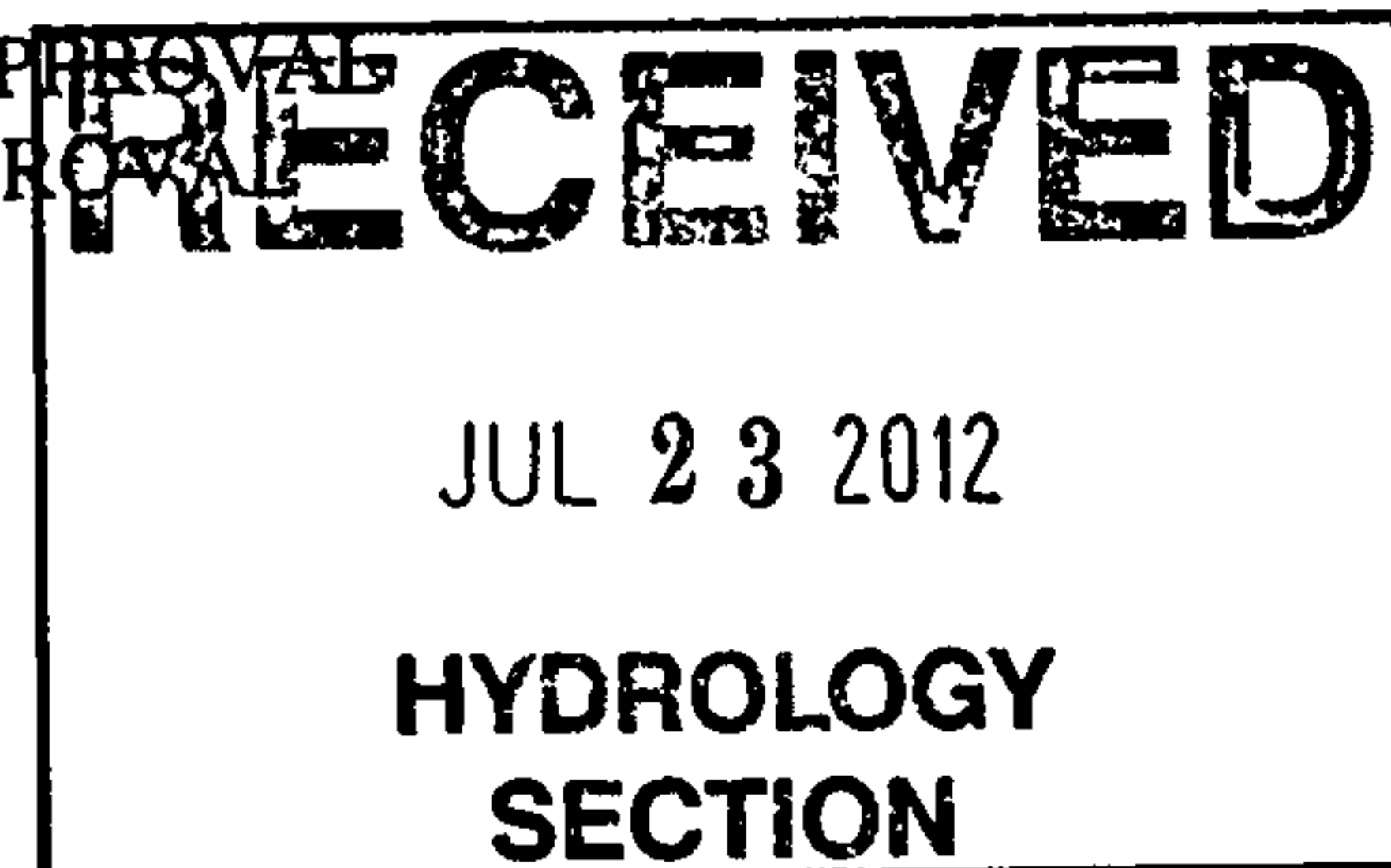
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

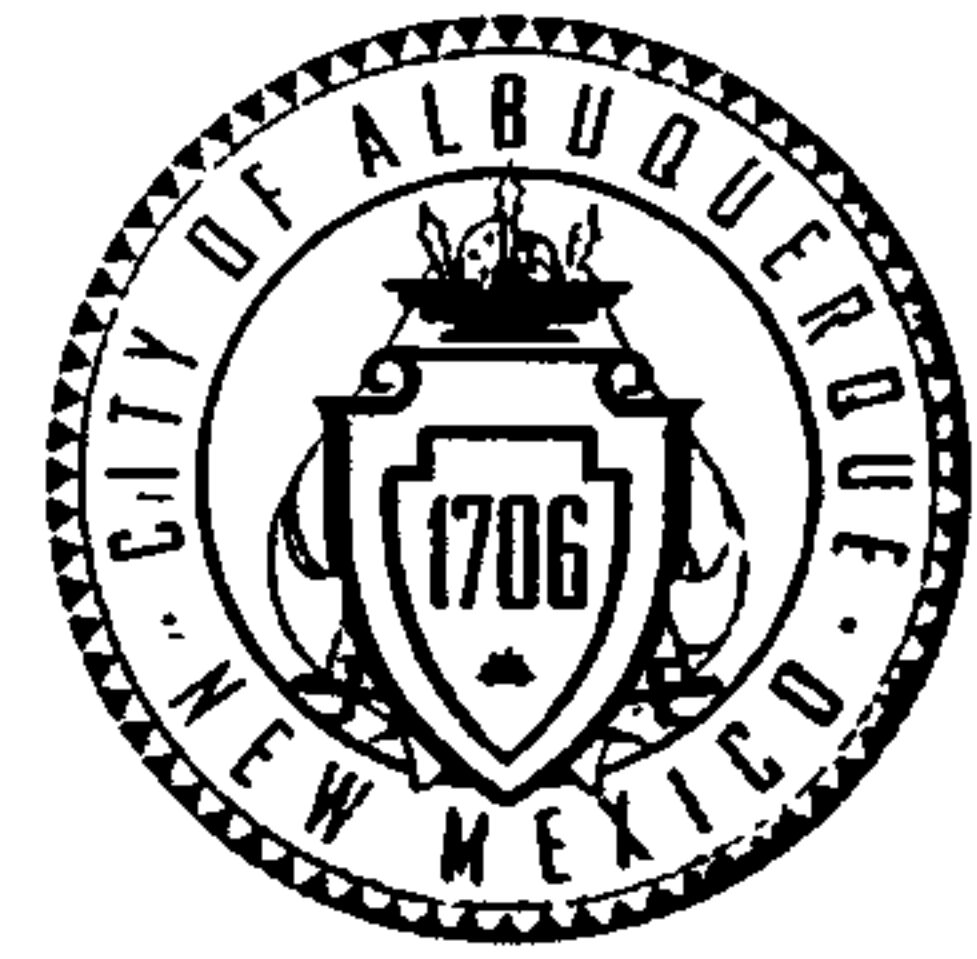


SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: 07-23-12

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CITY OF ALBUQUERQUE



August 6, 2012

George Rodriguez,
Levi Valdez George Rodriguez Development Consulting
12800 San Juan NE
Albuquerque, NM 87102

Re: 4-Plex Vassar Apartments, 424 Vassar SE
Grading and Drainage Plan
Engineer's Stamp dated 7-19-12 (K-16/D080)

Dear Mr. Rodriguez,

Based upon the information provided in your submittal received 7-23-12, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

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- How are the flows leaving the north side of the building. It appears the walls are blocking the flows.
- What is the swale composed of? A cross section of the swale would be helpful.
- We would like to see the flows leave the site through the driveway and not over the public sidewalk.
- Depress all landscape areas to retain the moisture which falls on them.
- Alley must be paved according to work order process.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

RER/SB

C: email

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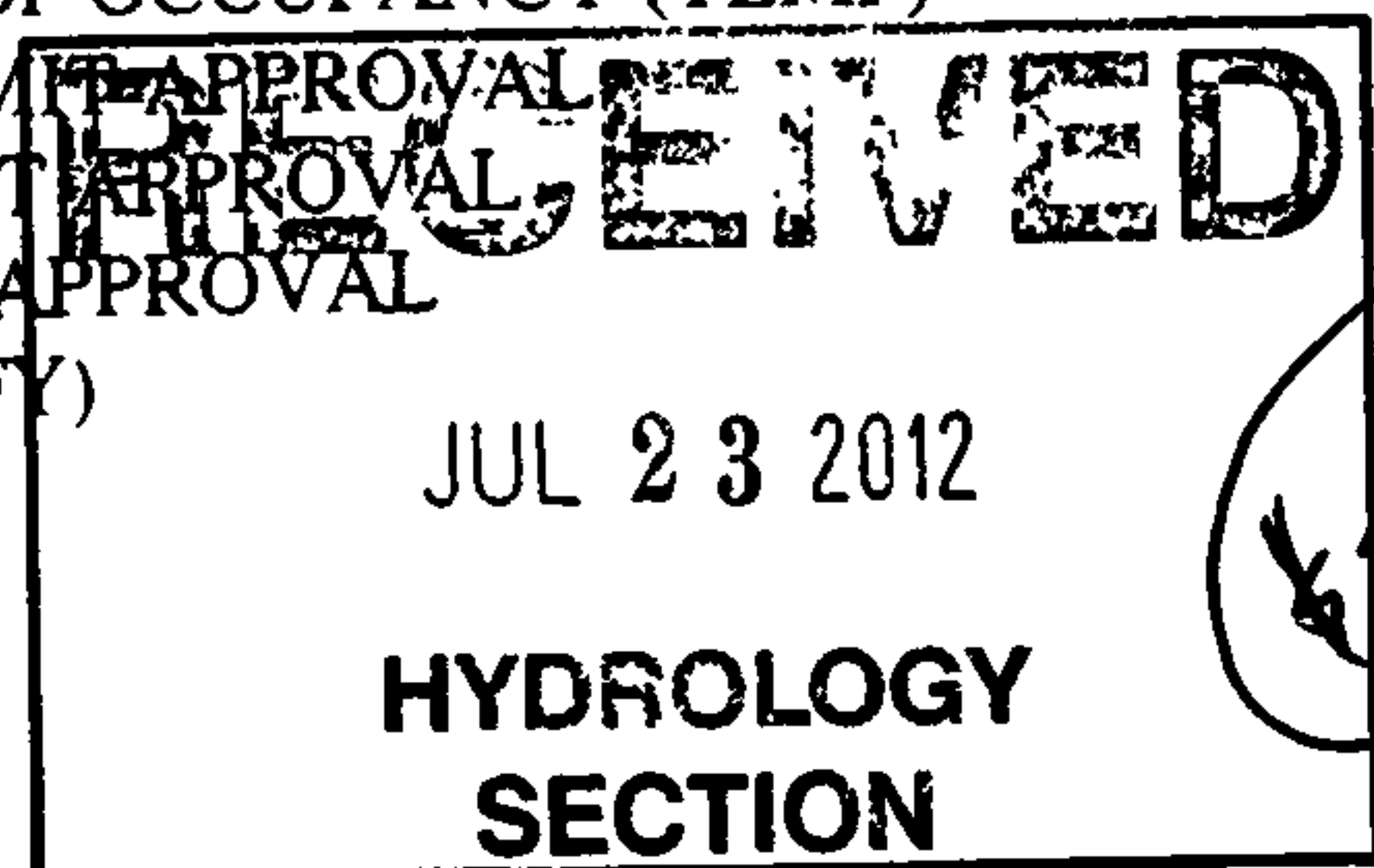
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