

Planning Department Transportation Development Services Section

March 29, 2013

Levi J. Valdez, P.E. George T. Rodriguez - Consultant 12800 San Juan N.E. Albuquerque, NM 87123

Re: Certification for Permanent Building Certificate of Occupancy (C.O.)

4-Plex Vassar, [K-16/D080] 424 Vassar Drive S.E.

Engineer's Stamp Dated 03/03/13

Dear Mr. Valdez,

Based upon the information provided in your submittal received 03-07-13 and 03-29-13, Transportation Development has no objection the issuance of a <u>Permanent</u>

Certificate of Occupancy.

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3991.

Albuquerque

PO Box 1293

NM 87103

www.cabq.gov

Milo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Sincerely,

Hydrology file

CO Clerk

March 15, 2013



CERTIFICATE OF COMPLETION AND ACCEPTANCE

Freddie Rivera, Jr., President FIRST CHOICE EQUITY BUILDERS, INC. 1100 Lomas Blvd. NW Suite 3 Albuquerque, NM 87102

RE: 4 PLEX VASSAR

Project Number: 644282

Dear Mr. Rivera:

This is to certify that the City of Albuquerque ("City") accepts the construction of the infrastructure provided in the Work Order Construction Plans, City project number 644282. The work was completed pursuant to the required public infrastructure listed in the Public Improvements Agreement, Procedure A ("Agreement"), between First Choice Equity Builders, Inc. and the City executed on February 1, 2013.

Having satisfied the requirements referenced above, the Agreement and any associated Financial Guaranty, held by the City, can now be released. Any performance/warranty bond and the indemnity and hold harmless provisions of the Agreement in favor of the City shall remain in effect. The contractor's warranty period will begin **March 15, 2013** and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3996.

NM 87103

PO Box 1293

Albuquerque

www.cabq.gov

Richard Dourte, P.E.

City Engineer

Development & Building Services

2-73-13 Planning Department

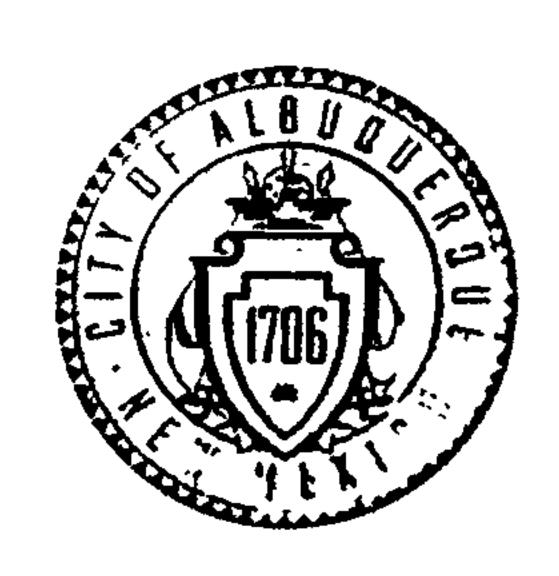
cc: GND, LLC (e-mail)

Altor Construction, Inc. (e-mail)

Vincent Paul, DMD Maps & Records (e-mail)
David Zamora, DMD Street Maintenance (e-mail)
Jason Rodriguez, DMD Street Maintenance
Phillip Romo, DMD Street Maintenance (e-mail)

David Rodriquez, Maps & Records (e-mail) Martin Sanchez, Maps & Records (e-mail) SIA File, City Project Number 644282 MAR 2 9 2313

LAND DEVELOPMENT SECTION



Planning Department Transportation Development Services Section

March 7, 2013

Levi J. Valdez, P.E. George T. Rodriguez - Consultant 12800 San Juan N.E. Albuquerque, NM 87123

Re: Certification Submittal for Certificate of Occupancy for

4-Plex Vassar, [K-16/D080] 424 Vassar Drive S.E.

Engineer's Stamp Dated 03/03/13

Dear Mr. Valdez,

The Letter of Certification submitted on 03-07-13 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following item needs to be completed:

 Final acceptance of Work Order (paperwork completed and accepted by the COA.

PO Box 1293

The issuance of a <u>120-day Temporary Certificate of Occupancy</u> has been provided until the above item has been addressed. This letter serves as a "green tag" from Transportation Development for a <u>120-day Temporary Certificate of Occupancy</u> to be issued by the Building and Safety Division

Albuquerque

Once the above item has been addressed and completed, please resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Sincerely

www.cabq.gov

Mile E. Salgado-Fernandez, P.E. Senior Traffic Engineer

Development and Building Services

Planning Department

C: Engineer
Hydrology file
CO clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: 4-1	ZEX VASSAR	- + +	ZONE MAP: _ ORDER#:	K-16/1000
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OWNER: FIRST C	401CE EQUITY	BUILDERS, THC.		FREDRIVERA 244-3800
OWNER: FRST CA ADDRESS:	LEUR- H.N.	D- K-K- 1-	ZIP CODE:	744-3800 37/02
ARCHITECT: JOE	BURWINKLES	TK-	CONTACT:	TOE BURNINKLE
ARCHITECT JOE ADDRESS:Z/	12 PAN AMERIALBUR. N. M.	CAN FWY. * 119	PHONE:	21-6866
			EMAIL:	
SURVEYOR: ADDRESS: 24	15 SURVEY/XIC	J.E.	CONTACT: Z	ONY HARRIS 889-8056
CITY, STATE: 🗻	4LB110-, N.A.	,	ZIP CODE:	
CONTRACTOR: ADDRESS: LO	TCHOICE EQUITY 20 LONAS	BUILDERS, INC. BLVD-N.W.	CONTACT:	1750 RIVERI 241-3800
CITY, STATE:	ALBURO, No.	1-	ZIP CODE:	87/02
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DATE SUBMITTED:	3-13	BY: EERGE /	. KDDR10	EUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- Conceptual Grading and Drainage Plan. Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

Land Use & Development Consultant

LAND DEVELOPMENT SECTION)

PROFESSIONAL

LEYI J. VALDEZ, P.E. 12800 San Juan NE Albuquerque. NM 87123

> City Of Albuquerque Transportation Development Section Plaza Del Sol Building Albuquerque, New Mexico

Re: TCL Certification of $\frac{4-PLEX VASSAR APARTMENTS}{424 VASSAR DRIVE S.E.)}$

TRAFFIC CERTIFICATION

LEYI J. VALOEZ, NMPE 110.5693. OF THE FIRM _, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-15-12. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT BEEN OBTAINED BY ANTHONY HARRIS OF HARRIS SURVEY/NG. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03-03-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANY.

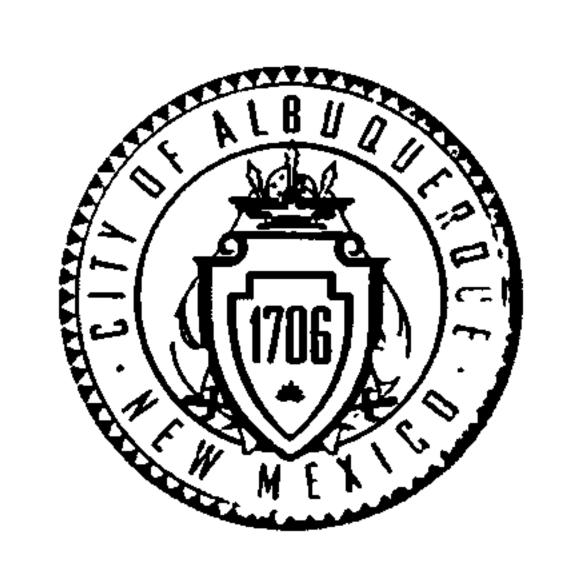
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC LAYOUT ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAININ INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR! ANY OTHER PURPOSE.

ENGINEER'S STAMP

03-03-13

Signature of Engineer

Date



March 8, 2013

Levi J. Valdez

George T. Rodriguez Devl. Consultants
12800 San Juan NE
Albuquerque, NM 87128

Re: 4-Plex Vassar, 424 Vassar Dr SE,

Request for Permanent C.O. –Accepted

Engineer's Stamp dated: 08-21-12, (K16/D080)

Certification dated: 3-3-13

Dear Mr. Rodriguez,

Based upon the information provided in the Certification received 03-07-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or tsims@cabq.gov.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

NM 87103

Shahab Biazar, P.E.

Senior Engineer—Hydrology Section
Development and Building Services

www.cabq.gov

RR/SB

C: CO Clerk—Katrina Sigala

e-mail

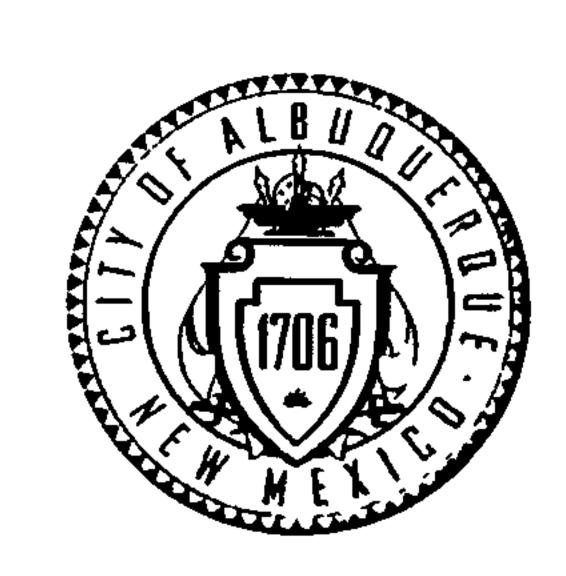
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: 4-PLEX VASSILE EPC#:	ZOI WORK ORD	NE MAP: <u> </u>	5/000
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CITY ADDRESS: 424 VAJSAR 3-E LEXIJOVALDEZ ENGINEERING FIRM: GEORGE T-RODRIGO ADDRESS: 12800 SAN JUAN CITY, STATE: ALBUQ-5 IX-M-	·	(UUDE: 75//4	-
OWNER: FIRST CHOICE EQUITY BY ADDRESS: 1020 LOWAS BLVA CITY, STATE: ALBUR-, M.M.			PHOTESAL - COSSI PRIVERA -3800
ARCHITECT: JOE BURNINKLE SE ADDRESS: 7/12 PAN AMERICA CITY, STATE: ALBUQ. N.M.			BURNINKLE 5866
SURVEYOR: HARRIS SURVEYING ADDRESS: 2412-D MONROE, CITY, STATE: ALBIJO, NICKS.	EM CO PHO	AIL:	HARRIS 7-8056
CONTRACTOR: FRST CHOICE EQUITY ADDRESS: 1020 LOMAS E		NTACT:	3800
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COPY PROVIDED DATE SUBMITTED:	BY: EDRES T. K	BORIGUEZ	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- 1 Conceptual Grading and Drainage Pian. Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3 Drainage Report. Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 21, 2012

Levi J. Valdez, P.E. George T. Rodriquez, Development Consultant 12800 San Juan N.E. Albuquerque, NM 87123

Re:

4-Plex Vassar Apartments, 424 Vassar Dr SE, Traffic Circulation Layout

Engineer's Stamp dated 08-15-12 (K-16/D080)

Dear Mr. Valdez,

The TCL submittal received 08-16-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following items must be completed:

The work order associated with the project must be completed and closed out.

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

PO Box 1293

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C:

File

PROJECT TITLE: 4-PLEX VASSAR APARTA	1EXIS ZONE	MAP/DRG. FILE	#	6 D080
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ADDRESS: 12800 SANJZIAN N.E.		PHONE: 50	5-616	-0593
CITY, STATE: ALBURIERQUE, NEW	VMEXICE	ZIP CODE:	37/23	
				111201
WNER: FIRST CHICE EQUITY BUILDER	25'3 AMC'2	CONTACT: Z	KEUK	-7215
ADDRESS: 1020 LOMAS BLVO. NK. CITY, STATE: ALBUIGUE, KEY	11111111	PHONE: 502	5-244	7
CITY, STATE: ALBUIGUE, KEY	VMEXICO	ZIP CODE:	<u> </u>	7 \$
		CONTACT: J	DERI	RWIKKLE
RCHITECT: JOE BURNINKLE, JR.	W/V XX 1 /Q	PHONE: 52	75-852	1-6866
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ADDRESS 1020 LOMAS BLYD- A	V.W.	PHONE:	2710	7
CITY, STATE: ALBUQUETUES ME	NEXIC	ZIP CODE:		<u> </u>
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Biazar, Shahab

From: Biazar, Shahab

Sent: Friday, August 24, 2012 11:25 AM

To: 'George T. Rodriguez'

Cc: Sims, Timothy E.; Rael, Rudy E.

Subject: 4-Plex Vassar Apartments, 424 Vassar SE

Hi,

I just realized that your note C on the grading plans calls out for the landscaping to be depressed within the ROW. Please make sure that the landscaping is depressed within the private property and not inside the ROW. Please eliminate Note C's arrows that point to the ROW landscaping on the building permit set.

Thanks and have a nice day.

Shahab Biazar, P.E.

Senior Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864



August 23, 2012

George Rodriguez, Levi Valdez George Rodriguez Development Consulting 12800 San Juan NE Albuquerque, NM 87102

Re: 4-Plex Vassar Apartments, 424 Vassar SE

Grading and Drainage Plan

Engineer's Stamp dated 8-21-12 (K-16/D080)

Dear Mr. Rodriguez,

Based upon the information provided in your submittal received 8-22-12, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

www.cabq.gov

NM 87103

Shahab Biazar, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

RER/SB

C: email

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ADDRESS CITY, STA	TE: ALBURUERQUE	MEW MEXICO	ZIP CODE:	837102	
ARCHITECT: J	OE BURWINKLE,	JR-	CONTACT:	JOE-BUR 505-8321-	WIKKLE -CREE
ADDRESS CITY, STA	TE: ALBURUERQUE	SUEWNEXICO	ZIP CODE:	87109	<u> </u>
	KRRIS SURVEY/		CONTACT:	76XY HAV 389-804	EKN,
ADDRESS CITY, STA	ATE: ALBURYIEROL	ESHEW MEXICO	ZIP CODE:	557-00-	
CONTRACTOR: _	FIRST CHOICE EQU	ITY BUILDERS, IN	CONTACT:	FREDK	WERA
ADDRESS CITY, ST	FIRST CHOICE EQUA S: 1020 LONAS B ATE: ALBUQUERQU	ENDONEW MEXICO	PHONE: > ZIP CODE: _	87102	
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

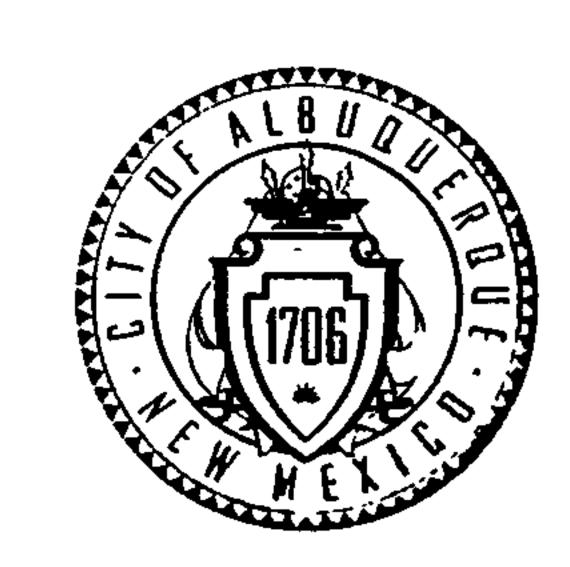
Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

- 2 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Pawrodehetmail.com

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August 6, 2012

Levi J. Valdez, P.E. George T. Rodriquez, Development Consultant 12800 San Juan N.E. Albuquerque, NM 87123

Re: 4-Plex Vassar Apartments, 424 Vassar Dr SE, Traffic Circulation Layout Engineer's Stamp dated 7-19-12 (K-16/D080)

Dear Mr. Valdez,

Based upon the information provided in your submittal received 7-23-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please show the location of the nearest driveway on the adjacent lot.
- 2. The *Development Process Manual* specified "No backing from designated parking stalls into streets is permitted." Does the sector plan in this area permit this usage? Please refer to the sector plan and quote the appropriate section within this plan.
- 3. Provide additional information regarding the proposed header curb off of Vassar Drive. Will the adjacent earthwork be graded to top of curb?
- 4. A 6-foot wide, ADA accessible, pedestrian pathway is required from the building to the roadway. This pathway must be constructed of concrete.
- 5. Remove the pavement detail; specify the limits of paving.
- 6. All drivepads must have a minimum thickness of 6" and must extend from the back of curb to the property line (see Standard Detail 2425, General Note 4).
- 7. The header curb shown extends 8 feet past the parking stalls off of the alleyway; please clarify.
- 8. An existing block wall is shown on the adjacent site. Provide a sight distance exhibit for the curb cut.
- 9. A solid line is shown between the proposed header curb and parking stall off the alley way; what does this line indicate?

If you have any questions, you can contact me at 924-3991.

www.cabq.gov

PO Box 1293

Albuquerque

NM 87103

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

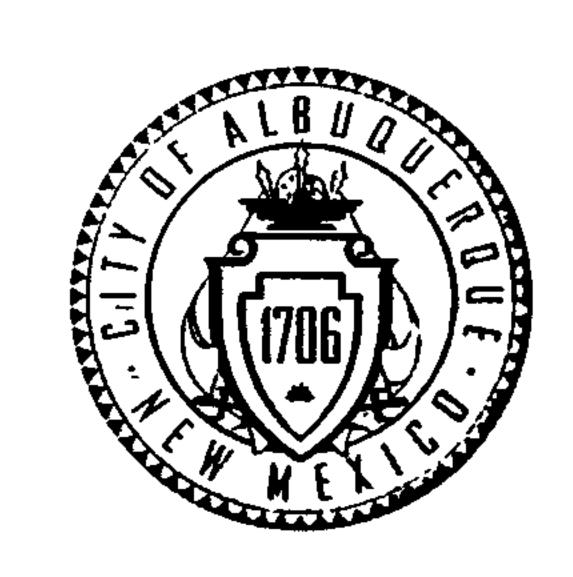
Development and Building Services

C: File

DECEMBER 1-PIFX VASSAR APART	WORK OPDER#
DRB# EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOT/2, BLICK 28, LI	VIVERSITY HEIGHTS ADDITION
CITY ADDRESS: 424 VASSAR S.E.	SEVIINET
ENCONTROUNCED IN GERRAGE TROOPS GUEZ-	DEVEL. CONSULCONTACT: GEORGE RODRIGUEZ
ADDECC 12 BOO PANTIAN N.E.	PHONE: 505-614-4315
CITY, STATE: ALBUQUERQUE, NE	W MEXICO ZIP CODE: 87/23
OWNER: FIRST CHILLE EQUITY BUILDE	CS, AK. CONTACT: FREDRIVERA PHONE: 505-244-3800
ADDRESS: 1020 LOMAS BLVO. N1 CITY, STATE: LLBUQUERQUE, KE	WNEXICO ZIP CODE: 87102.
ARCHITECT. JOE BURWINKLE, JR.	CONTACT: JOE BURNINKEE WY * 119 PHONE: 505-8321-6866
ADDRESS: 7112 PAN AMERICANE	WY X 119 PHONE: 505-2521-6865
ARCHITECT. ADDRESS: 7112 PAN AMERICAN F. CITY, STATE: ALBUQUERQUES ME	WINEXICO ZIP CODE: 87/09
SURVEYOR: HARRIS SURVEYING ADDRESS: MONROE N.E.	CONTACT: TONY HARRIS' PHONE: B9-8056
CITY, STATE: ALEXAVIER CLESS.	FW MEXICO ZIP CODE:
CONTRACTOR: FIRST CHOICE EQUITY B	PHONE: 244-3800 W.W. PHONE: 244-3800 EW MEXICO ZIP CODE: 87102.
ADDRESS: 1020 LOMAS BLVD	V.W. PHONE: 2927-36500
CITY, STATE: ALBUQUETURS	CNNCX/COLFCODE:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL FINAL PLAT APPROVAL
EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVALE WORK ORDER APPROVALE
	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	JUL 2 3 2012
YES	
NO	HYDROLOGY
COPY PROVIDED	SECTION
SUBMITTED BY: CEURGE T. RORIC	6162 DATE: 07-23-12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 6, 2012

George Rodriguez, Levi Valdez George Rodriguez Development Consulting 12800 San Juan NE Albuquerque, NM 87102

Re: 4-Plex Vassar Apartments, 424 Vassar SE

Grading and Drainage Plan

Engineer's Stamp dated 7-19-12 (K-16/D080)

Dear Mr. Rodriguez,

Based upon the information provided in your submittal received 7-23-12, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- How are the flows leaving the north side of the building. It appears the walls are blocking the flows.
- What is the swale composed of? A cross section of the swale would be helpful.
- We would like to see the flows leave the site through the driveway and not over the public sidewalk.
- Depress all landscape areas to retain the moisture which falls on them.
- Alley must be paved according to work order process.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

RER/SB

C: email

PROJECT TITLE: 4-PLEX VASSAR APARTA	WORK OPDER#:
DRB#. EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOT 12, BLICK 28, LINCOLD CITY ADDRESS: 424 VASSAR S.E.	
(ITY ADDRESS: 424 VASUATORES.	DEVEL. CONSUL CONTACT: GERREE RODRIGUEZ
ENGINEERING FIRM: GEORGE T. RODRIGUEZ-L	DEVEL. CONSUL CONTACT: CHORGE RODRIGUEZ
ADDDECC 19 GOO CXXI.77/AXI XI. For	PHONE: 5/25-6/21-2/3/3
CITY, STATE: ALBUGUERQUE , WEL	WMEXICO ZIP CODE: 87/23
OWNER: FIRST CHOICE EQUITY BUILDER	CONTACT: <u>FREDRIVERA</u> PHONE: <u>505-244-3800</u>
ADDRESS: 1020 LOMAS BLVD. N.J. CITY, STATE: LLBURUE, KEL	V. PHONE: 505-244-3800
CITY, STATE: A LBUIGUERQUE, KE	WMEXICO ZIP CODE: 87102.
ARCHITECT: JOE BURWINKLE, JR.	CONTACT: JOE BURNINKEE WY. *119 PHONE: 505-8321-6866
ADDRESS: 7112 PAN AMERICANE	WY X119 PHONE: 505-821-6866
ARCHITECT: STATE: 7112 PAN AMERICAN FOR CITY, STATE: ALBURUERQUE, NE	WINEXICO ZIP CODE: 237109
CLIDATENOD. LLXDDIC CIIDVEY/KE	CONTACT: TOXY HARRIS
ADDDESS. MANAROF R.E.	PHONE: 889-8056
SURVEYOR: HARRIS SURVEYING ADDRESS: MOMROE M.E. CITY, STATE: ALBURYIERQUE, ME	FW MEXICO ZIP CODE:
CONTRACTOR: FIRST CATOLOGICAL CALIFORNIA	11 111 PHONE 244-38300
ADDRESS: JULY LONGING BOLDEN	PHONE: FRED RIVERA PHONE: 244-3800 EN MEXICO ZIP CODE: 87102.
CITT, STATE, ACCEPTAGE OF THE	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
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ENGINEER'S CERT (TCL)	GRADING PERMIT APPROVAL
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OTHER	WORK ORDER APPROVAL
	OTHER (SPECIFY)
	JUL 2 3 2012 / 1
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	HYDROLOGY
NO	SECTION
COPY PROVIDED	
SUBMITTED BY: CELREST PORICE	56/6 DATE:
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