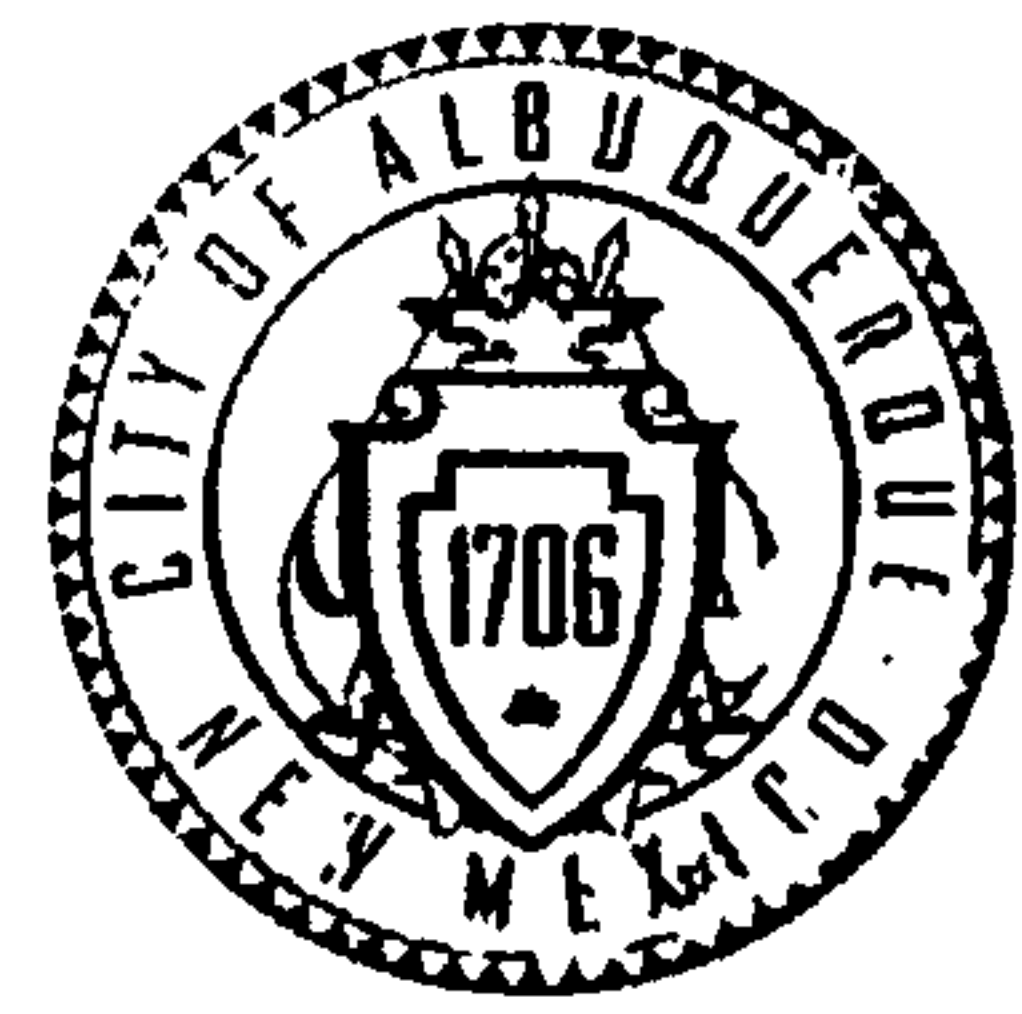


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 10, 2013

John Douglas Heller, RA  
Mullen Heller Architecture, P.C.  
924 Park Avenue SW, Ste. B  
Albuquerque, NM 87102

Re: Certification Submittal for Certificate of Occupancy for  
Casa de la Paz Townhomes, [K-16/D081]  
218 Yale Blvd. SE  
Architect's Stamp Dated 09/09/13

Dear Mr. Heller,

Based upon the information provided in your submittal received 02-12-13, the submittal is **not sufficient for acceptance** by Transportation Development Section for a Permanent Certificate of Occupancy. The following items need to be addressed:

- Per City Engineer approved site plan for Alley Paving Plan, SO-19 Note 1: An excavation permit will be required before beginning any work within City ROW (retro-active).

PO Box 1293

If you have any questions, please contact me at (505)924-3630.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

www.cabq.gov

C: Engineer, Hydrology and CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Casa de la Paz ZONE MAP/DRG. FILE #: K-15-Z 516 D081  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 9, BLOCK 2, UNIVERSITY HEIGHTS, ALBUQUERQUE, BERNALILLO COUNTY, NM  
CITY ADDRESS: 218 Yale Boulevard SE, Albuquerque, NM 87102

ENGINEERING FIRM: Walla Engineering  
ADDRESS: 6100 Indian School Road, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mike Walla  
PHONE: 505-881-3008  
ZIP CODE: 87110

OWNER: United Enterprises, Inc.  
ADDRESS: 116 6th Street NW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Allen Lewis  
PHONE: 505-842-9113  
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture P.C.  
ADDRESS: 924 Park Avenue SW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller  
PHONE: 505-268-4144  
ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying, Inc.  
ADDRESS: 330 Louisiana Boulevard NE  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 505-884-1990  
ZIP CODE: 87108

CONTRACTOR: THS Construction  
ADDRESS: 7 Pine Road  
CITY, STATE: Placitas, NM

CONTACT: Frank Thomas  
PHONE: 505-867-0323  
ZIP CODE: 87043

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

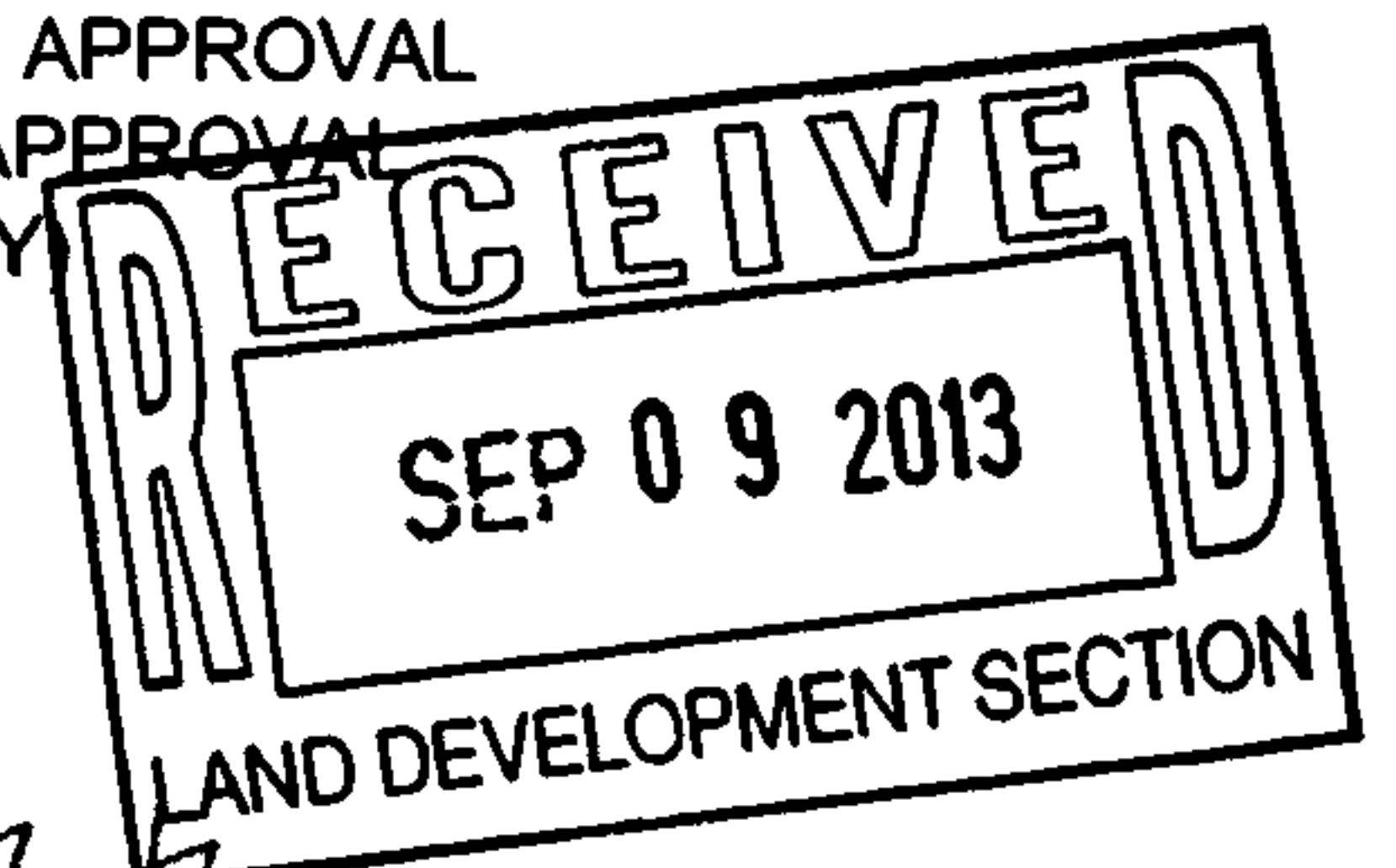
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 9, 2013 BY: Doug Heller

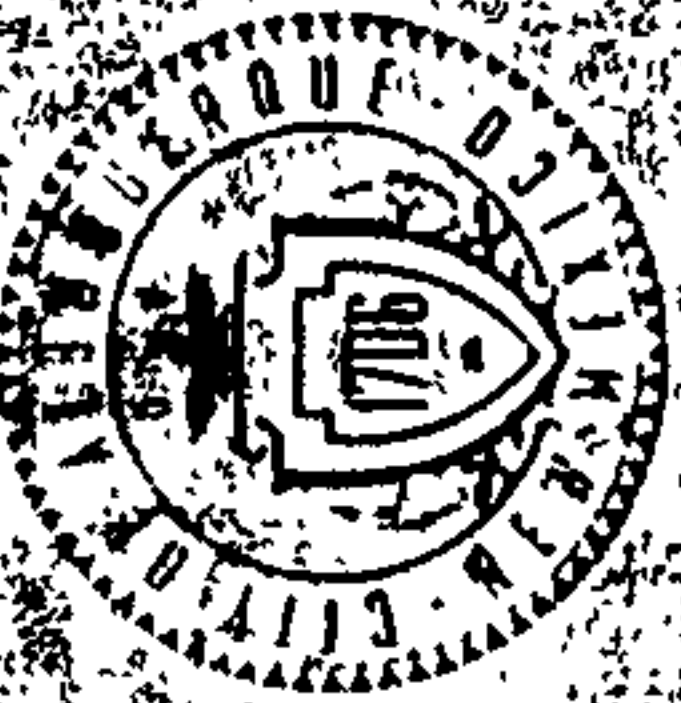


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.




DEPARTMENT OF MUNICIPAL DEVELOPMENT



SIDEWALK, DRIVEPAD, CURB & GUTTER,  
WHEEL CHAIR RAMP & ASPHALT INSPECTION

APPROVED

  
Inspector

Permits: 924-3400 Fax: 924-3408 Insp. Office: 924-3416

Permit # 2013006512

278 Yule SB

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•

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•  
•

# CITY OF ALBUQUERQUE



October 2, 2013

Mike Walla, P.E.  
**Walla Engineering, LTD**  
6501 America's Parkway Ave NE  
Albuquerque, NM 87110

**Re: Casa de la Paz,**  
**218 Yale Blvd SE**  
**Request for Permanent C.O. –Accepted**  
**Engineer's Stamp dated: 4-5-13, (K16D081)**  
**Certification dated: 9-25-13**

Dear Mr. Walla,

Based upon the information provided in the Certification received 9-26-13 and alley asphalt compaction results submitted 10-2-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

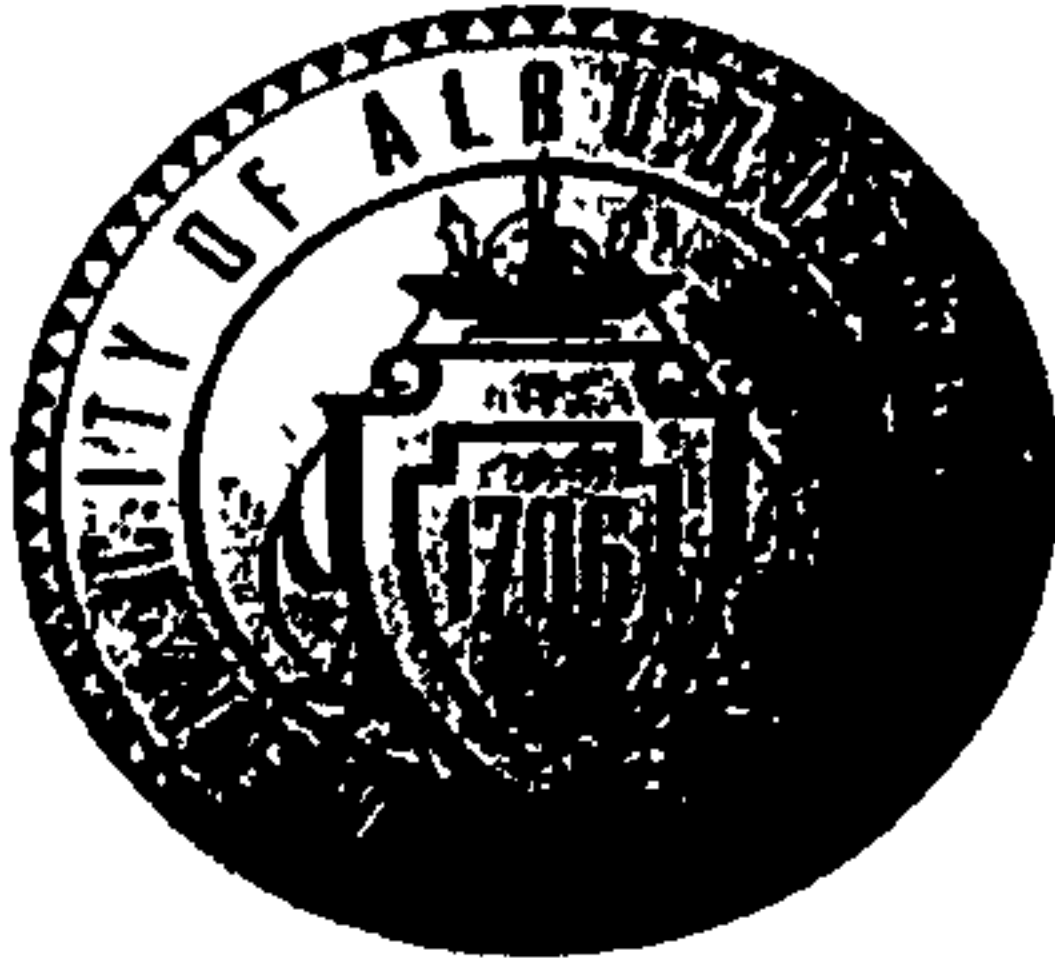
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File  
e-mail



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

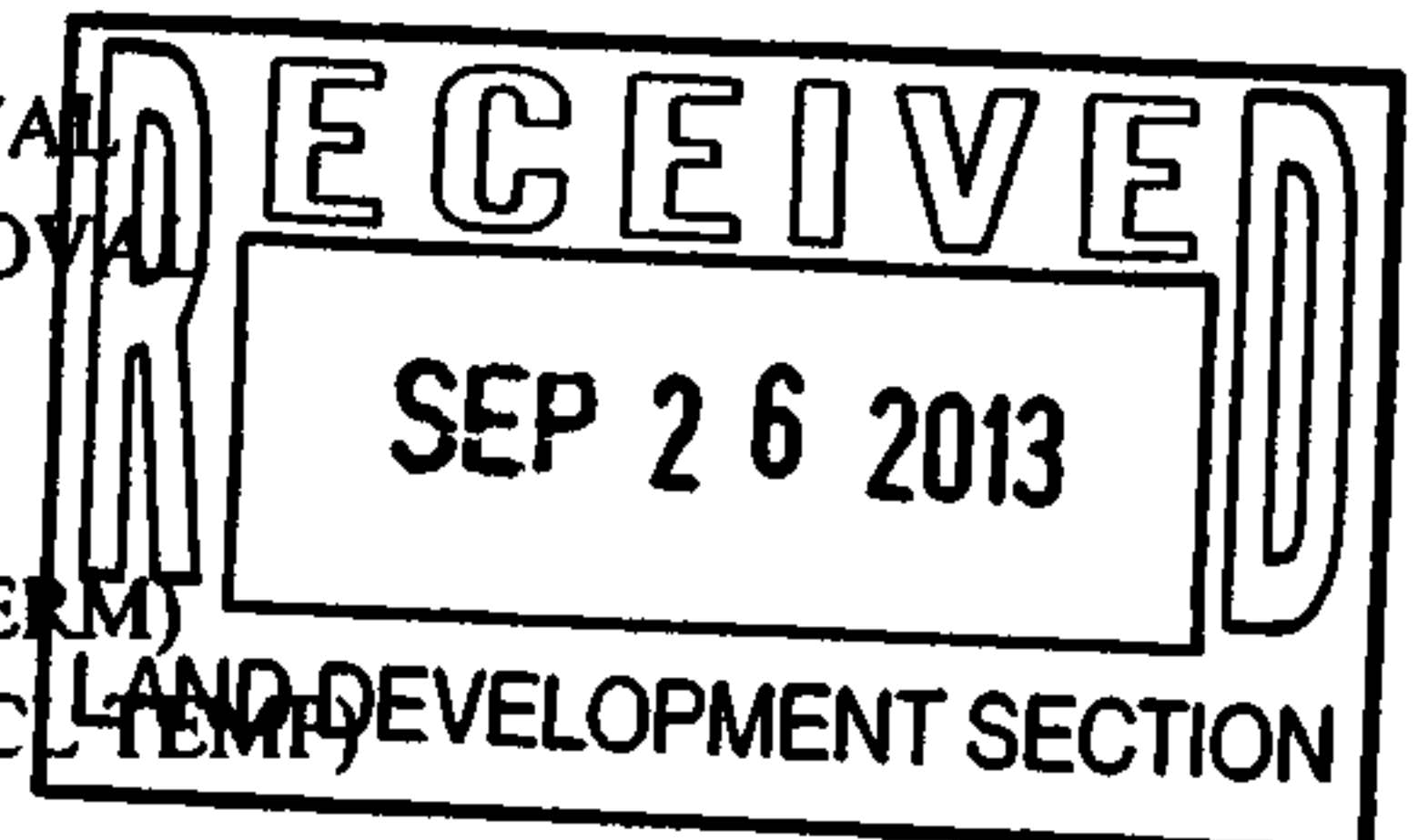
Project Title: CASA DE LA PAZ Building Permit #: K-16 City Drainage #: K160081  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 9, BLOCK 2 UNIVERSITY HEIGHTS ADD'N, ALBUQUERQUE, NM, BERNALILLO COUNTY  
City Address: 218 YALE BLVD. NE  
Engineering Firm: WALLA ENGINEERING, LTD Contact: MIKE WALLA  
Address: 6501 AMERICAS PARKWAY AVE, NE, ALBUQ, NM 87110  
Phone#: 881-3008 Fax#: 881-4025 E-mail: MIKEW@WALLAENGINEERING.COM  
Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: MULLEN-KELLER ARCHITECTURE Contact: DOUG KELLER  
Address: 924 PARK AVE SW SUITE B, ALBUQ, NM 87102  
Phone#: 268-4144 Fax#: \_\_\_\_\_ E-mail: DOUG@MULLENKELLER.COM  
Surveyor: WAY JOHN SURVEYING Contact: TOM JOHNSON  
Address: 330 LOUISIANA BLVD. NE, ALBUQ, NM 87108  
Phone#: 255-2052 Fax#: 255-2887 E-mail: WJO@WAYJOHN.COM  
Contractor: THS CONTRACTING Contact: FRANK THOMAS  
Address: \_\_\_\_\_  
Phone#: 867-0323 Fax#: \_\_\_\_\_ E-mail: THS0323@GMAIL.COM

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 9/26/13

By: \_\_\_\_\_

*[Signature]*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**Cherne, Curtis**

---

**From:** Rodriguez, Jason T.  
**Sent:** Monday, August 26, 2013 11:39 AM  
**To:** Sims, Timothy E.  
**Cc:** Biazar, Shahab  
**Subject:** 218 Yale SE

The sidewalk culvert is built to plan so it's a pass.

Jason C.O.A.

10/2/2013



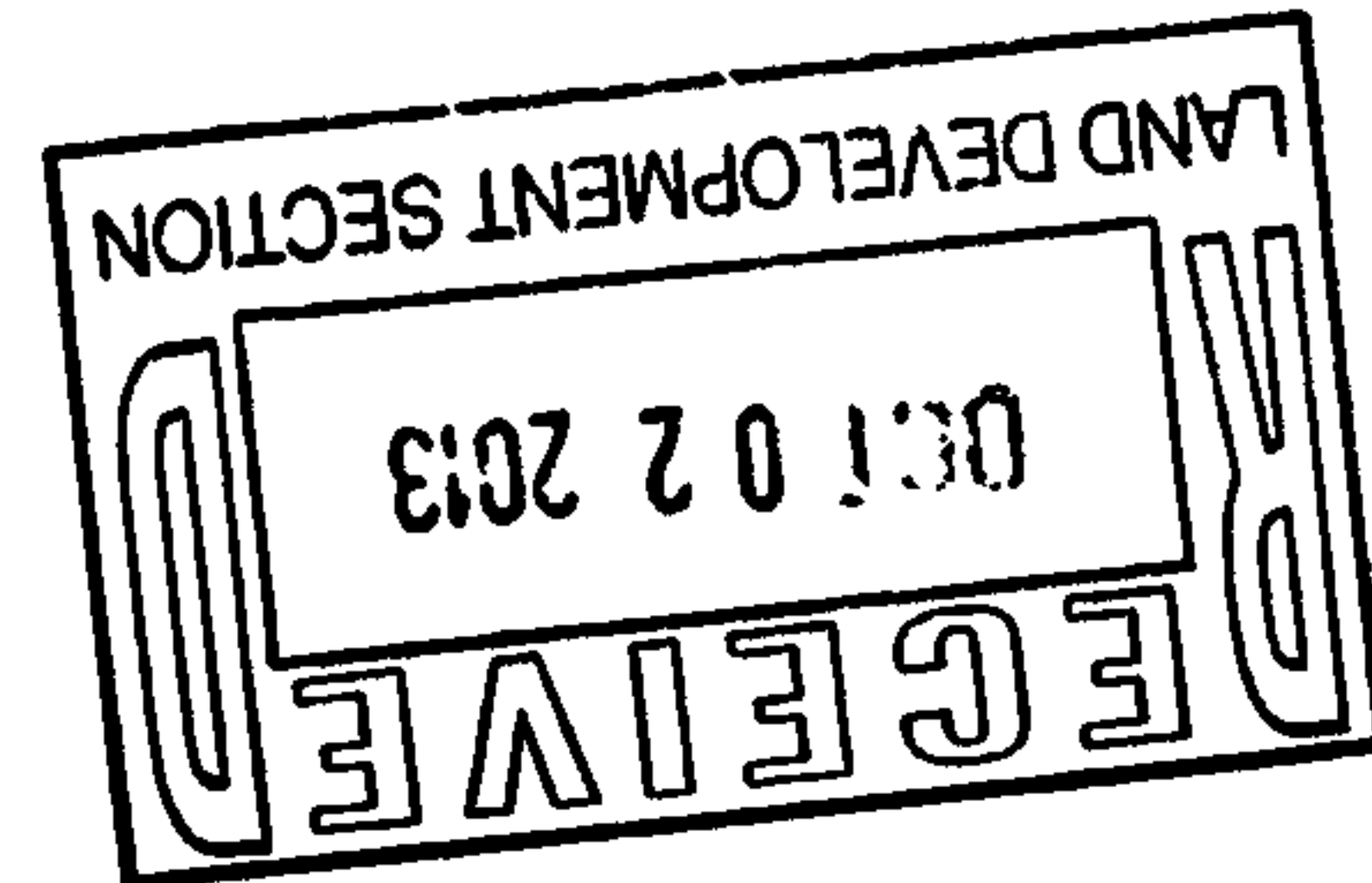
8916-A Adams Street NE  
Albuquerque, New Mexico 87113  
505/797-9743 505/797-9749 FAX  
ContactUs@X8eVinyard.com

October 2, 2013

THS Construction  
#7 Pine Road  
Placitas, NM 87043

Attn: Mr. Frank Thomas

Project: Casa De La Paz Townhomes  
X8eVinyard Project No. 13-2-55



Dear Sir or Madam:

Attached are copies of the Asphaltic Concrete Compaction Test Results for the subject project.

Should you have any questions regarding this data, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read 'Raul Mendoza'.

Raul Mendoza

X8eVinyard

A handwritten signature in black ink, appearing to read 'Robert K. Abeyta'.

Robert K. Abeyta, S.E.T.

Attachment: Report No.: 6

cc: Addressee: (Email)

bm

Geotechnical Engineering \* Materials Testing \* Environmental Engineering

# ASPHALTIC CONCRETE COMPACTION TEST RESULTS

PROJECT : Casa De La Paz Townhomes

CLIENT: THS Construction

TECHNICIAN: Raul Mendoza

PROJECT NO.: 13-2-55 REPORT NO.: 6

DATE: 10/1/13

Densometer Serial No.: 2325

Test No.	Location	Elevation	Maximum Theoretical Density (pcf)	Field Density (PCF)	Relative Compaction (%)	Specified Compaction (%)
27	Reference Support Material Density					
28	Center of alley way	ACSC	150.3	143.4	95.4	93-97
Sample No	Sample Location		Maximum Theoretical Density (pcf)	Date Sampled		
	Maximum theoretical obtained from asphalt mix design supplied by client		150.3			

WEATHER: Clear and warm

EQUIPMENT: None

REMARKS: Contracting personnel were notified of test results.



































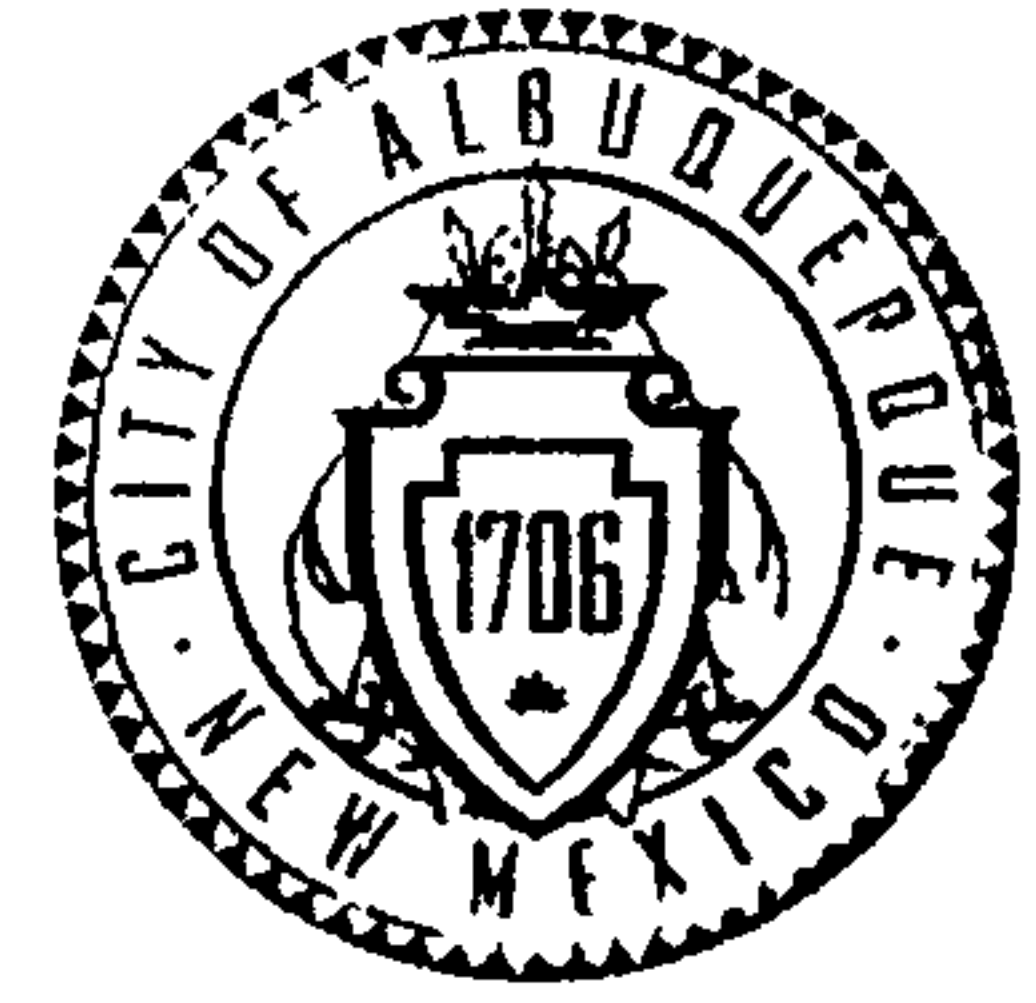








# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 30, 2013

John Douglas Heller, Registered Architect  
Mullen Heller Architecture P.C.  
924 Park Avenue SW, Ste. B  
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Casa de la Paz, K-16 / D081]  
218 Yale Blvd. SE  
Architect's Stamp Dated 09/26/13

Dear Mr. Heller:

Based upon the information provided in your submittal on 09/26/13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy (C.O.)**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy (C.O.)** to be issued by the Building and Safety Division.

If you have any question, please contact me at (505)924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Casa de la Paz ZONE MAP/DRG. FILE #: K-162-D081  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 9, BLOCK 2, UNIVERSITY HEIGHTS, ALBUQUERQUE, BERNALILLO COUNTY, NM  
CITY ADDRESS: 218 Yale Boulevard SE, Albuquerque, NM 87102

ENGINEERING FIRM: Walla Engineering  
ADDRESS: 6100 Indian School Road, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mike Walla  
PHONE: 505-881-3008  
ZIP CODE: 87110

OWNER: United Enterprises, Inc.  
ADDRESS: 116 6th Street NW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Allen Lewis  
PHONE: 505-842-9113  
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture P.C.  
ADDRESS: 924 Park Avenue SW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller  
PHONE: 505-268-4144  
ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying, Inc.  
ADDRESS: 330 Louisiana Boulevard NE  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 505-884-1990  
ZIP CODE: 87108

CONTRACTOR: THS Construction  
ADDRESS: 7 Pine Road  
CITY, STATE: Placitas, NM

CONTACT: Frank Thomas  
PHONE: 505-867-0323  
ZIP CODE: 87043

## CHECK TYPE OF SUBMITTAL:

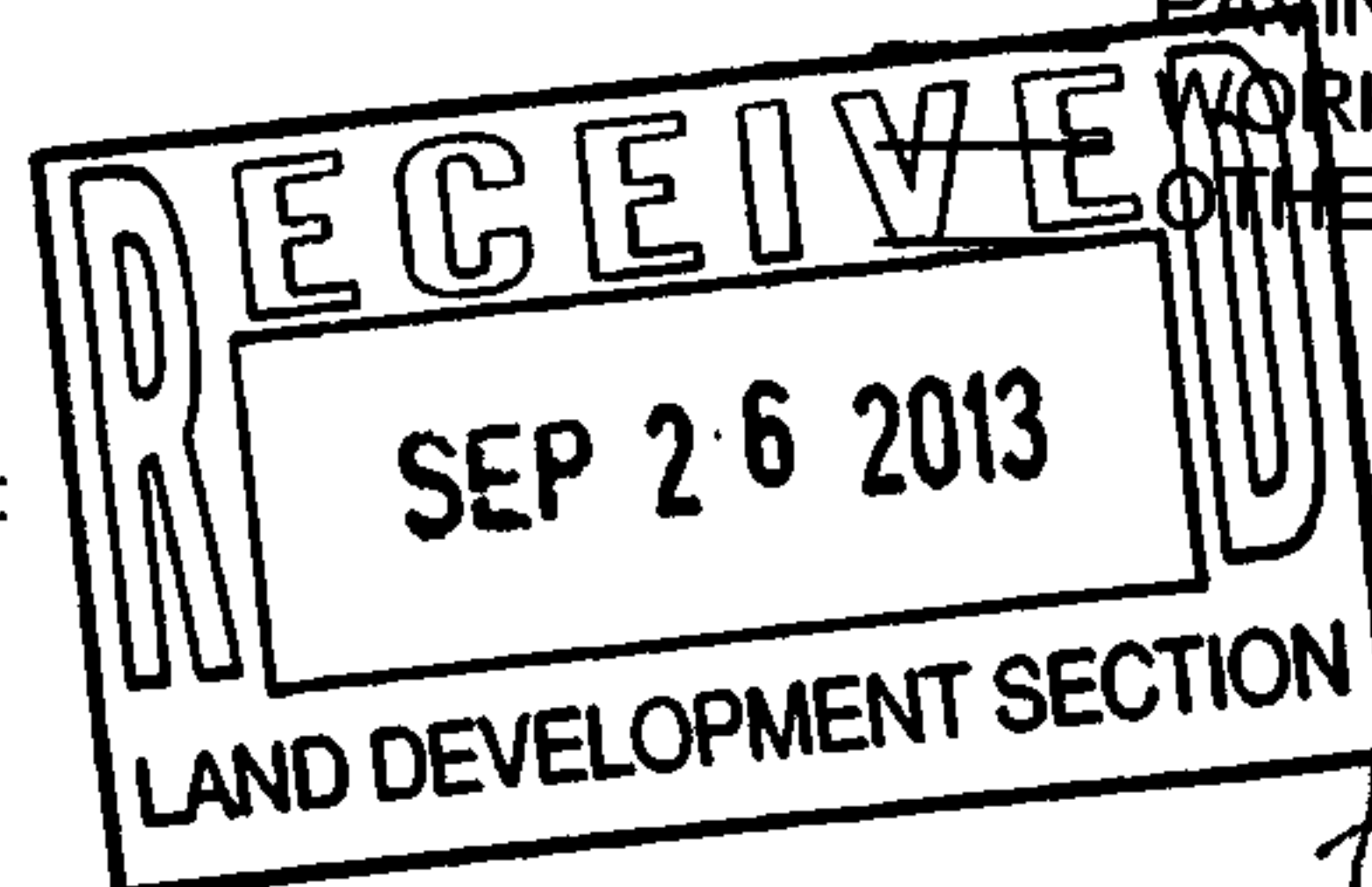
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

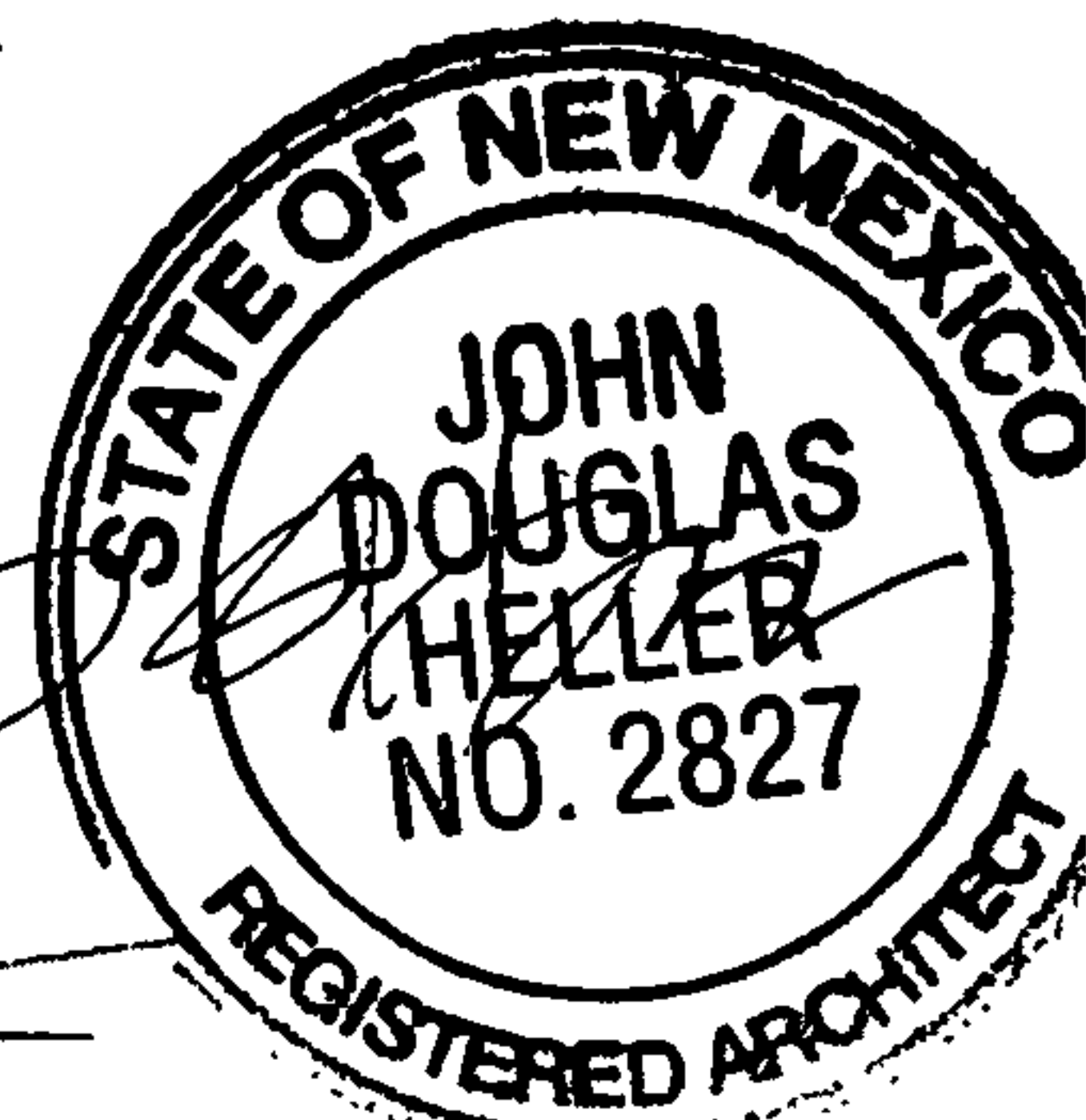
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: September 9, 2013

BY: Doug Heller

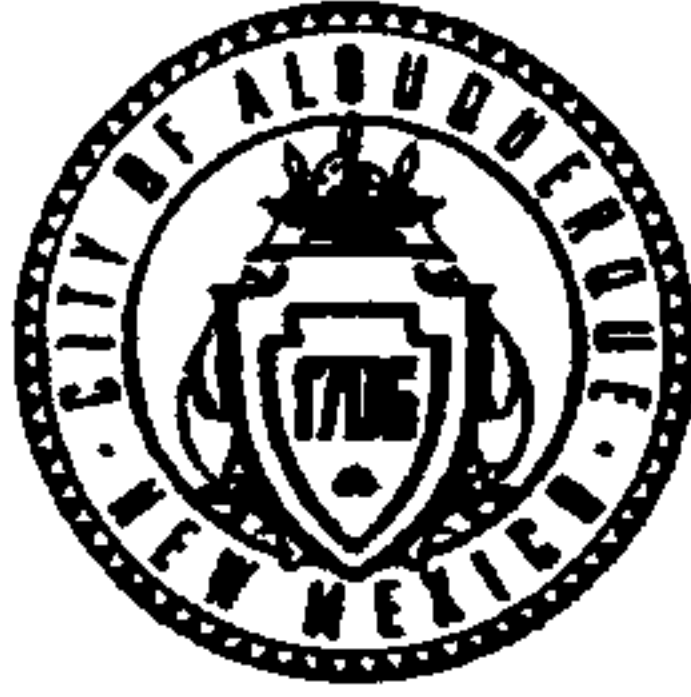


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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.


NSF.

DEPARTMENT OF MUNICIPAL DEVELOPMENT

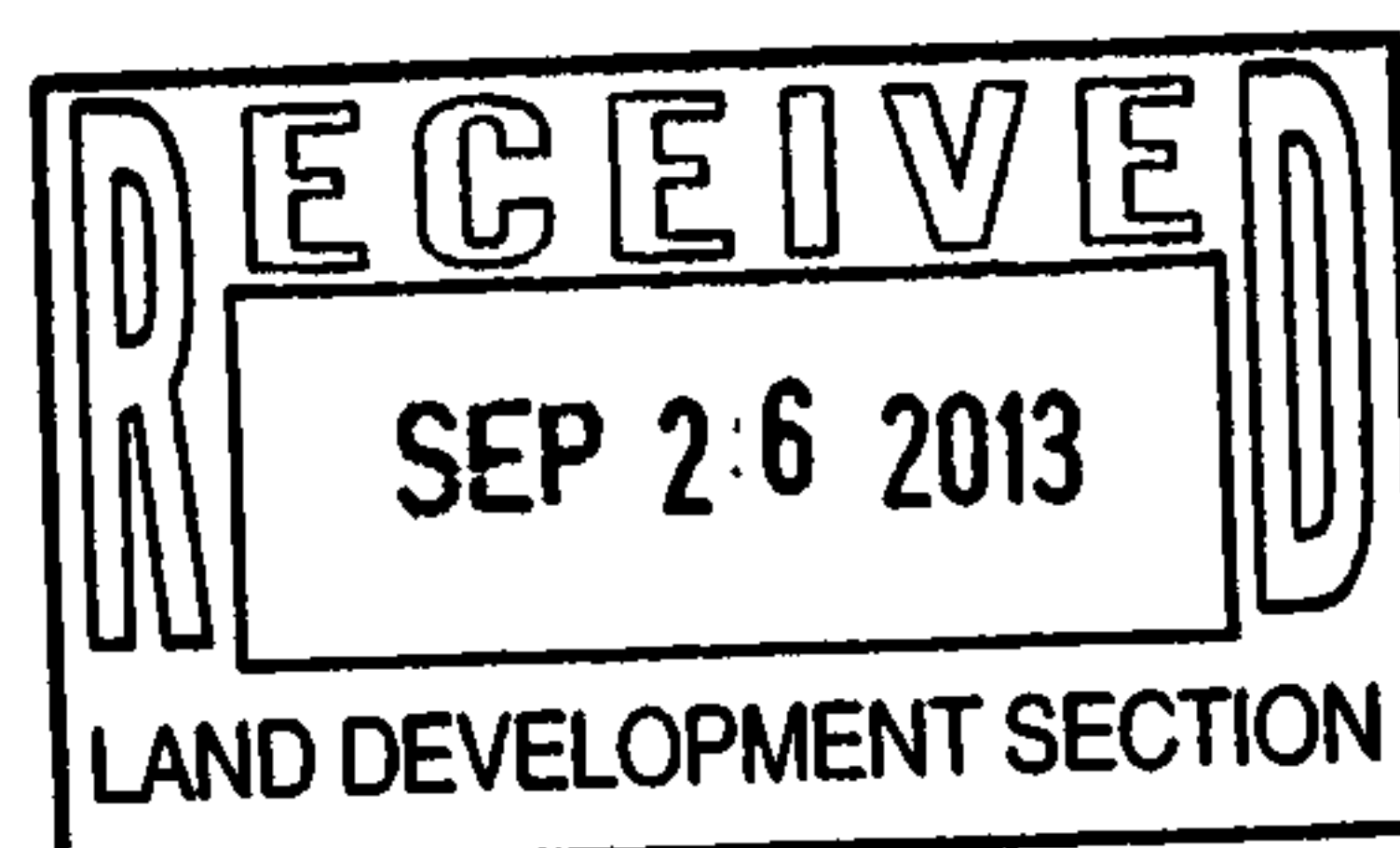


SIDEWALK, DRIVEPAD, CURB & GUTTER,  
WHEEL CHAIR RAMP & ASPHALT INSPECTION

APPROVED

  
Inspector

Permits: 924-3400 Fax: 924-3408 Insp. Office: 924-3416



September 26, 2013

Nilo E. Salgado-Fernandez, PE.  
Senior Traffic Engineer – Transportation Development  
Development and Building Services  
Planning Department  
City of Albuquerque  
600 2nd Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for  
Casa de la Paz Townhomes  
Address: 218 Yale Boulevard, SE, Albuquerque, NM 87106**

Dear Nilo:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Approved TCL Plan approved November 29, 2012.

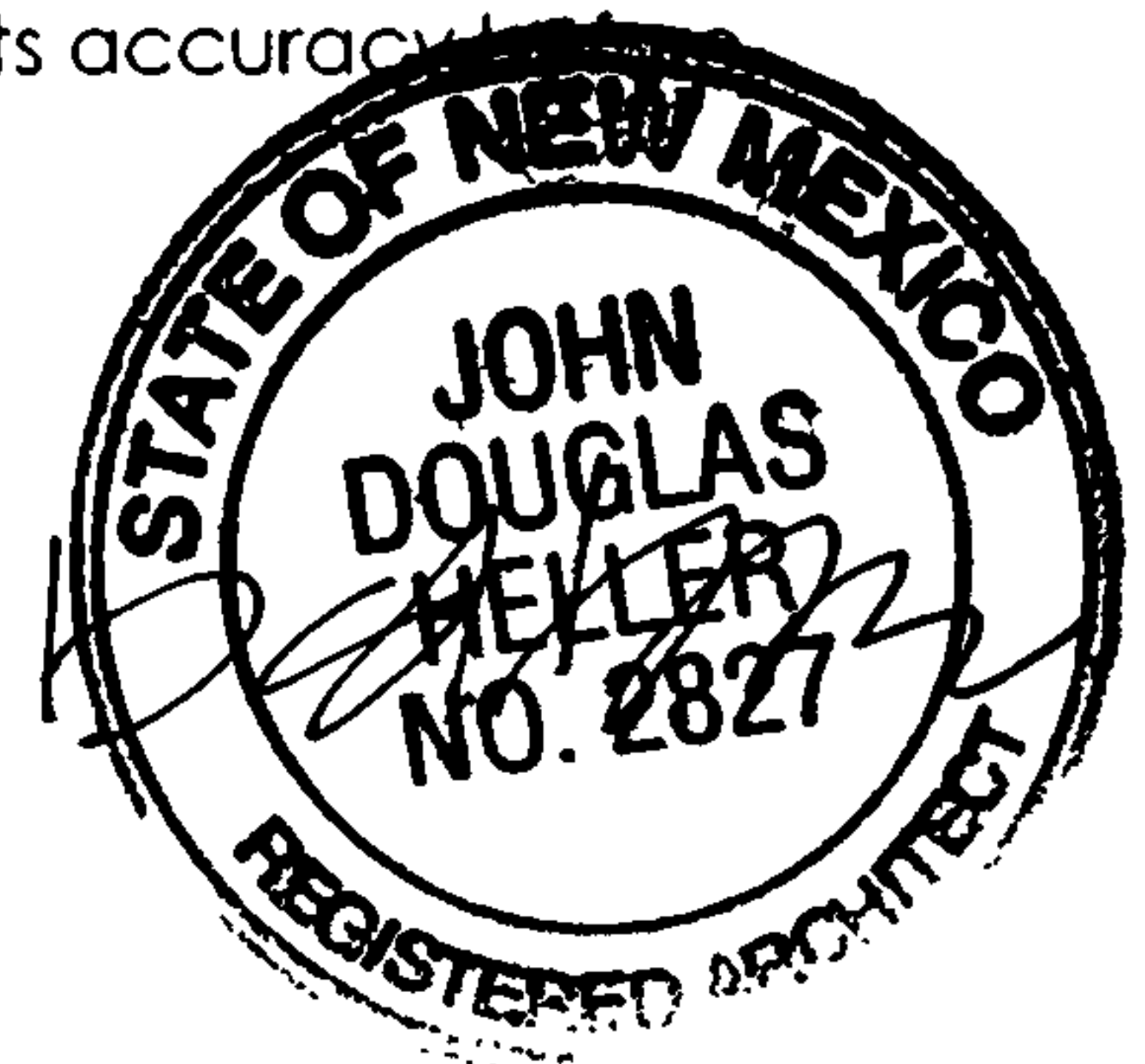
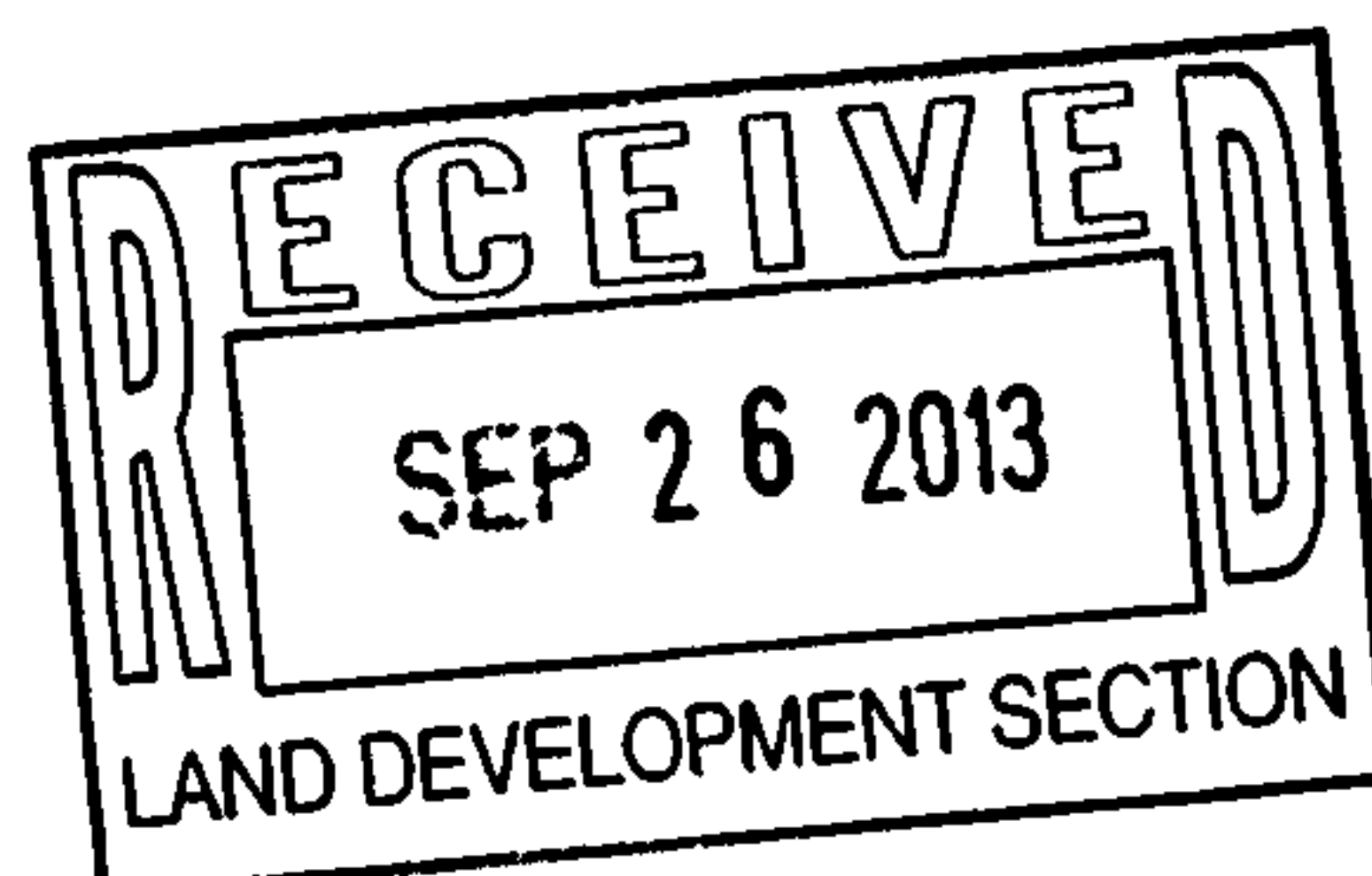
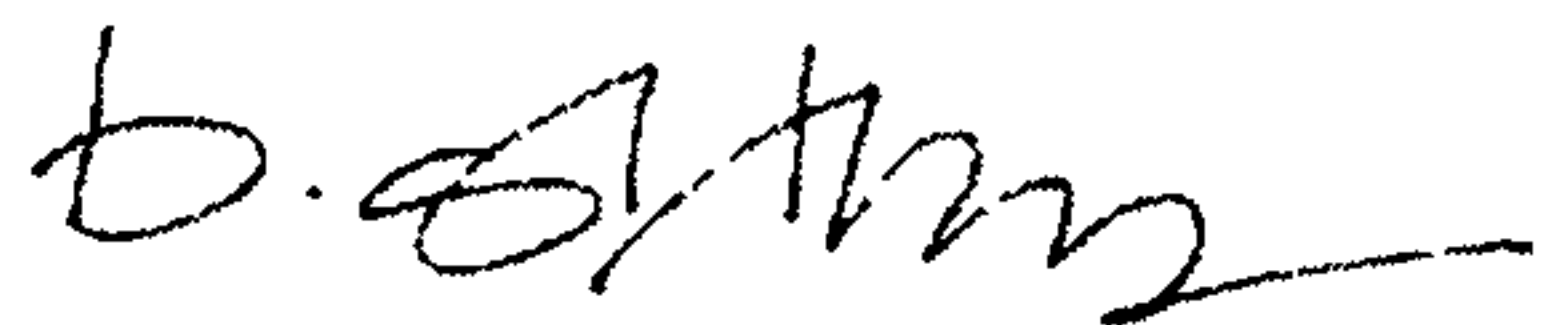
The contractor has removed and replaced the asphalt in the alley Right-of-way. An excavation permit was obtained prior to beginning any work within the City Right-of-way and the work has now been approved by the City Inspector for: "SIDEWALK, DRIVEPAD, CURB AND GUTTER, WHEEL CHAIR RAMP & ASPHALT INSPECTION." I have attached a copy of the approved inspection tag to this email.

I further certify that I have personally visited the project site on September 25, 2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy, and not using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,  
**Mullen Heller Architecture PC**



Douglas Heller, AIA  
Attachment: Approved TCL, Approved Asphalt Paving Plan, Approved City Inspection





# TRANSMITTAL LETTER

**PROJECT: Casa de la Paz**  
218 Yale Boulevard SE  
Albuquerque, New Mexico 87106

**Project No.: 12-22**  
**Date: 09/26/13**

**TO: City of Albuquerque – Transportation Development**  
**Planning Department**  
**Development & Building Services Division**  
**600 2<sup>nd</sup> Street, NW.**  
**Albuquerque, NM 87102**

**ATTN: Kristal Metro – Traffic Engineer**

**CC: File**

**Phone #: (505) 924-3991**

**SIGNED: Shiree McKenzie**

**WE TRANSMIT:**

- ☒ HEREWITH  
☐ UNDER SEPARATE COVER  
☐ IN ACCORDANCE WITH  
YOUR REQUEST

**FOR YOUR:**

- ☐ APPROVAL  
☒ REVIEW AND COMMENT  
☐ RECORD  
☐ USE

**THE FOLLOWING:**

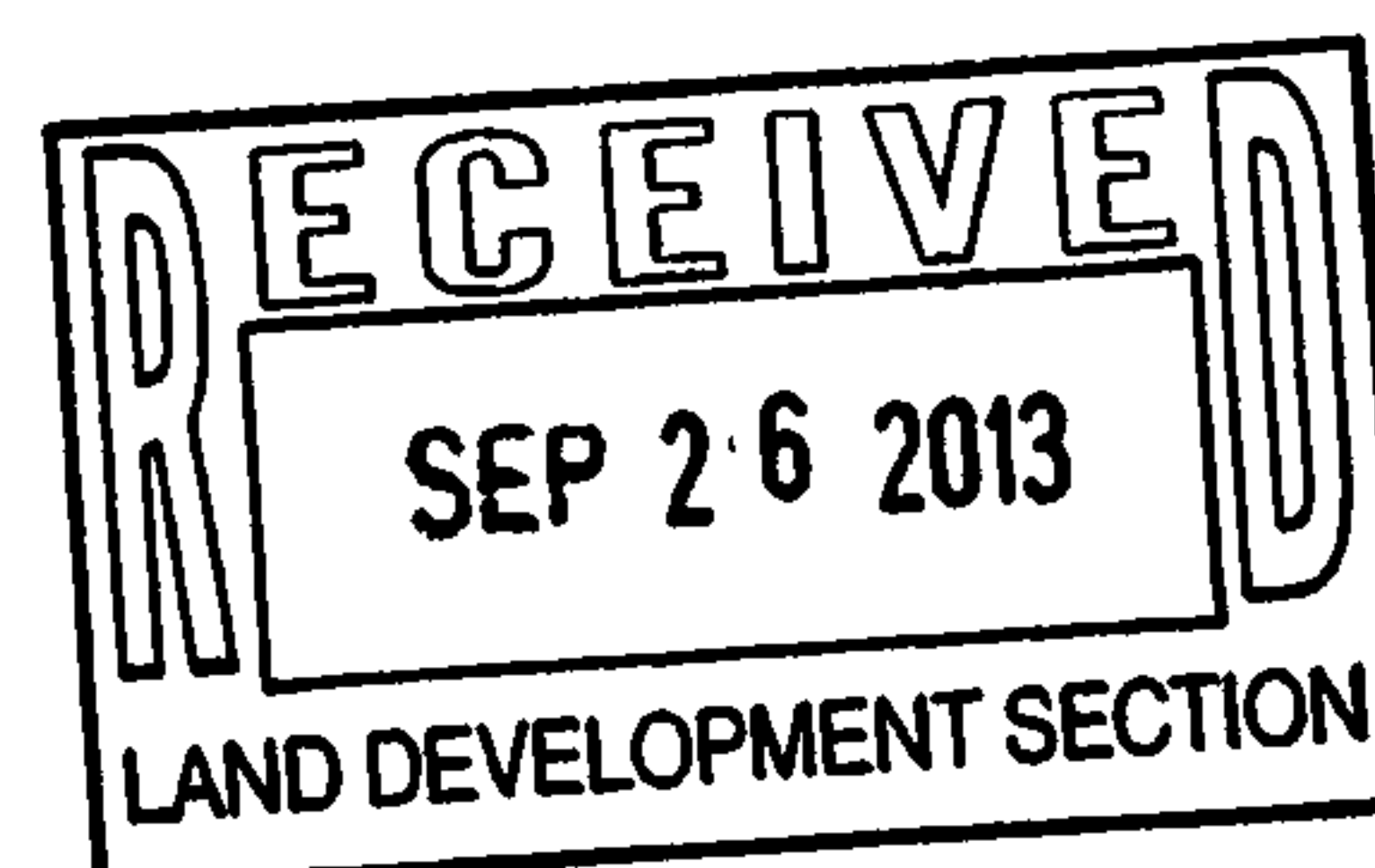
- ☐ DRAWINGS  
☐ LETTER(S)  
☐ SHOP DRAWINGS  
☒ OTHER – **TCL Cert. Submittal**

**VIA:**

- ☐ REGULAR MAIL  
☐ FEDERAL EXPRESS  
☐ FAX  
☒ HAND PICKUP/DELIVERY

COPIES	DATE	DESCRIPTION
1 copy	09/26/13	TCL Approved Plan
1 copy	09/26/13	Approved Asphalt Paving Plan

**REMARKS**



**Mullen Heller Architecture PC**

924 Park Avenue SW Suite B Albuquerque NM 87102  
505 268 4144 [p] 505 268 4244 [f]



# TRANSMITTAL LETTER

**PROJECT: Casa de la Paz**  
218 Yale Boulevard SE  
Albuquerque, New Mexico 87106

**Project No.: 12-22**  
**Date: 09/09/13**

**TO: City of Albuquerque – Transportation Development**  
**Planning Department**  
**Development & Building Services Division**  
**600 2<sup>nd</sup> Street, NW.**  
**Albuquerque, NM 87102**  
**ATTN: Kristal Metro – Traffic Engineer**  
**CC: File**  
**Phone #: (505) 924-3991**  
**SIGNED: Shiree McKenzie**

**WE TRANSMIT:**

- ☒ HEREWITH
- ☐ UNDER SEPARATE COVER
- ☐ IN ACCORDANCE WITH YOUR REQUEST

**FOR YOUR:**

- ☐ APPROVAL
- ☒ REVIEW AND COMMENT
- ☐ RECORD
- ☐ USE

**THE FOLLOWING:**

- ☐ DRAWINGS
- ☐ LETTER(S)
- ☐ SHOP DRAWINGS
- ☒ OTHER – **TCL Cert. Submittal**

**VIA:**

- ☐ REGULAR MAIL
- ☐ FEDERAL EXPRESS
- ☐ FAX
- ☒ HAND PICKUP/DELIVERY

COPIES	DATE	DESCRIPTION
1 copy	09/09/13	TCL Approved Plan

**REMARKS**



Mullen Heller Architecture PC

924 Park Avenue SW Suite B Albuquerque NM 87102  
505 268 4144 [p] 505 268 4244 [f]



September 9, 2013

Nilo E. Salgado-Fernandez, PE.  
Senior Traffic Engineer – Transportation Development  
Development and Building Services  
Planning Department  
City of Albuquerque  
600 2<sup>nd</sup> Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for  
Casa de la Paz Townhomes  
Address: 218 Yale Boulevard, SE, Albuquerque, NM 87106**

Dear Nilo:

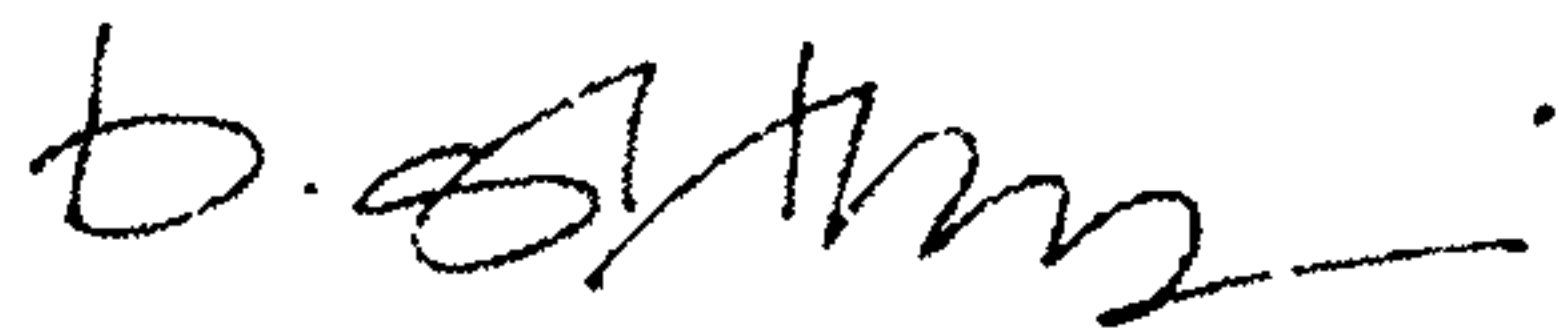
I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Approved TCL Plan approved November 29, 2012.

I further certify that I have personally visited the project site on September 9, 2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification for Permanent Certificate of Occupancy.

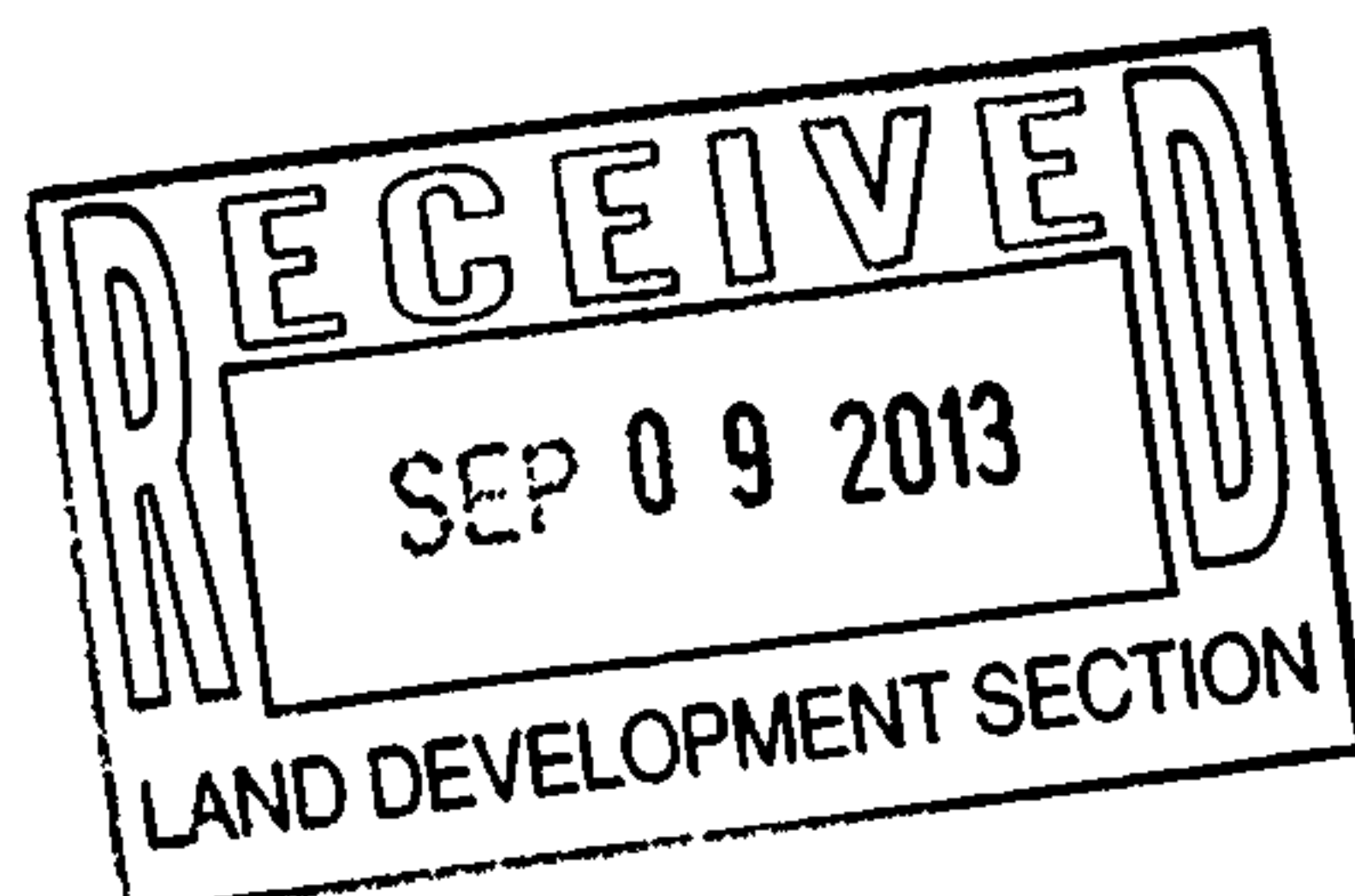
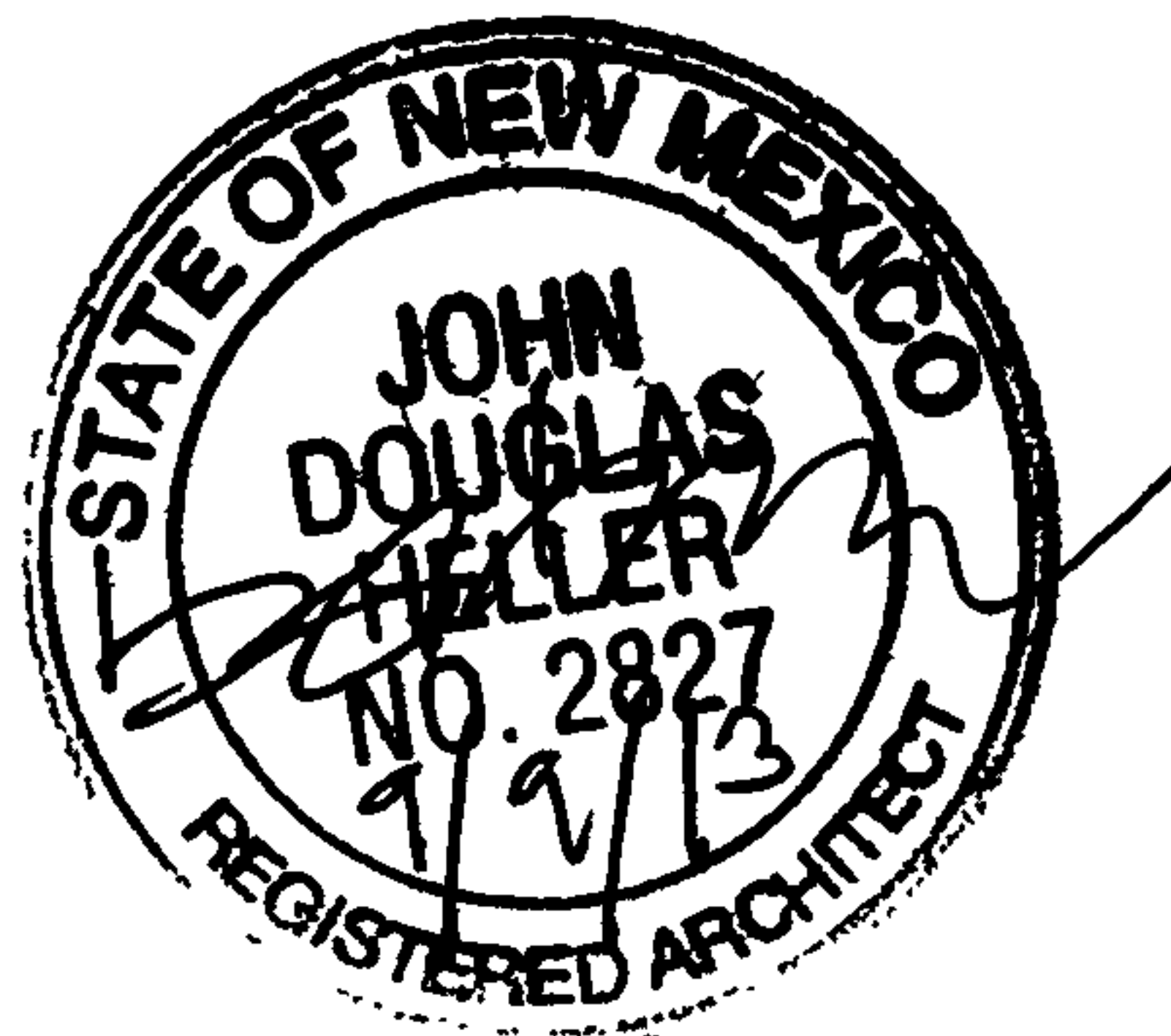
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,  
**Mullen Heller Architecture PC**



Douglas Heller, AIA  
Attachment: Approved TCL





# CITY OF ALBUQUERQUE



April 5, 2013

Mike J. Walla,  
Walla Engineering LTD.  
6100 Indian School Rd. NE Suite 210  
Albuquerque, NM 87110

**Re: Casa De La Paz, 218 Yale SE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 04-05-2013 (K-16/D081)**

Dear Mr. Walla,

Based upon the information provided in your submittal received 04-05-13, the above referenced plan is approved for Building Permit and SO-19 Permit. Please hand write a note on the plans that will be submitted for building permit stating that the bolts on the steel plate for the sidewalk culvert are to be tack welded.

A separate permit (SO-19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a permanent Certificate of Occupancy, the sidewalk culvert in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 235-8016, to schedule an inspection.

Please attach a copy of this approved plan to the construction sets when submitting for a building permit. If the approved plan is not attached to the construction set, Hydrology will reject the construction set for building permit. The alleyway will need to be approved through Work Order and will need to be both constructed and approved prior to Certificate of Occupancy release. Also prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: email



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: CASA DE LA PAZ

1216 D081  
ZONE MAP/DRG. FILE #: K-13

DRB #:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION:

LOT NUMBERED NINE (9) IN BLOCK NUMBERED TWO (2) OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 7, 1916.

CITY ADDRESS: 219 YALE BLVD SE, ALBUQ. NM

ENGINEERING FIRM: WALLA ENGINEERING

ADDRESS: 6100 INDIAN SCHOOL RD NE

CITY, STATE: ALBUQ. NM

CONTACT: MIKE

PHONE: 881-3008

ZIP CODE: 87110

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: MULLEN HELLER ARCHITECTURE

ADDRESS: 924 PARK AVE S.W. SUITE B

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DOUG HELLER

PHONE: 268-4144

ZIP CODE: 87102

SURVEYOR: WAY JOHN SURVEYING

ADDRESS: 330 LOUISIANA BLVD NE

CITY, STATE: ALBUQ. NM

CONTACT: THOMAS JOHNSTON

PHONE: 255-2052

ZIP CODE: 87108

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMP/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

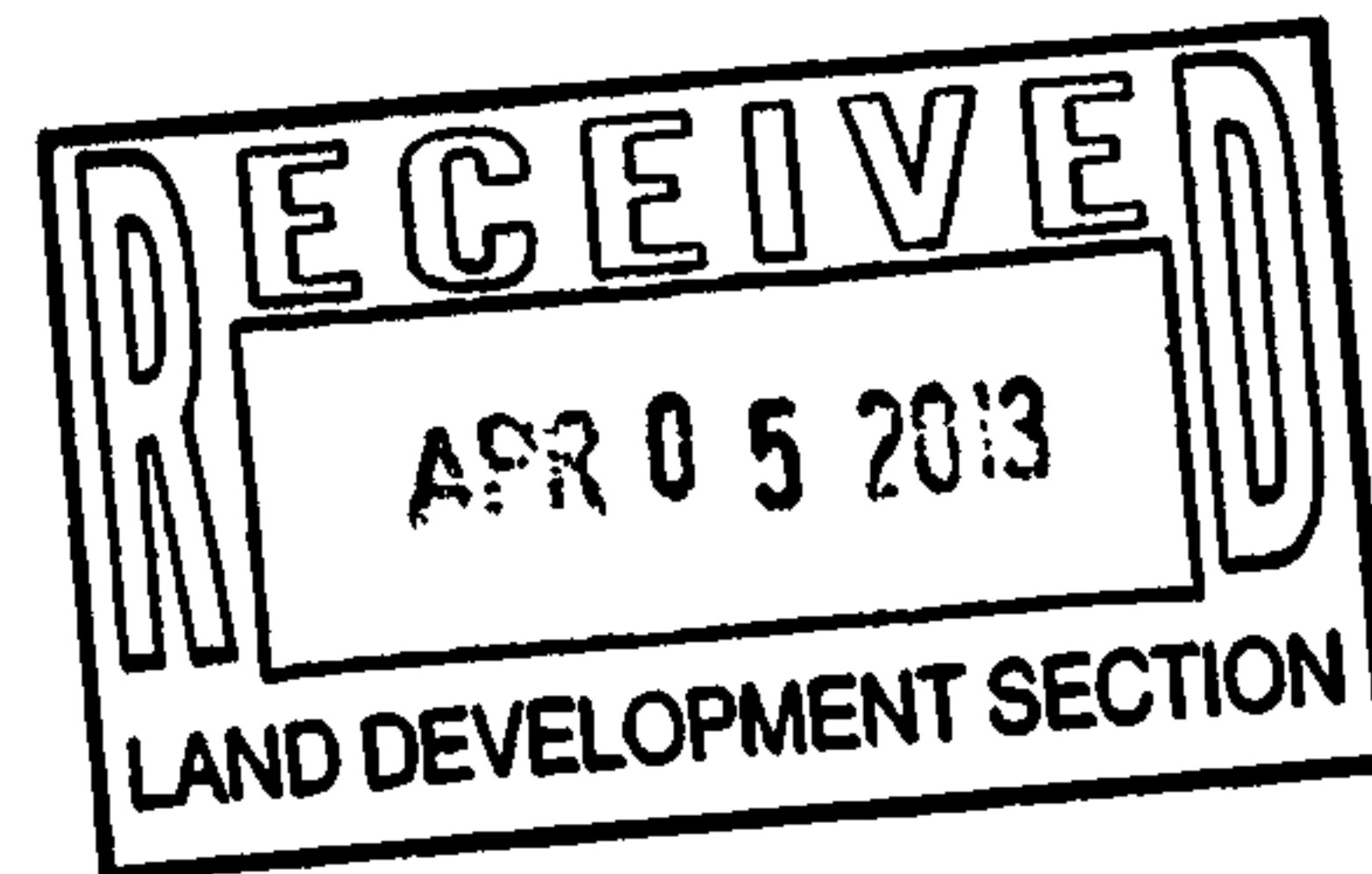
**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED:

BY:

4/5/13



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



November 29, 2012

Michelle Mullen, R.A.  
Mullen Heller Architecture P.C.  
924 Park Avenue SW, Suite 210  
Albuquerque, NM 87114

**Re: Yale Courtyards, 218 Yale Boulevard SE, Traffic Circulation Layout  
Architect's Stamp dated 11-29-12 (K16-D081)**

Dear Ms. Mullen,

The TCL submittal received 11-29-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation: Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

**Please note that, prior to any certificate of occupancy approval, the work order for the alleyway paving improvements must be completed and closed out.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File





November 26, 2012

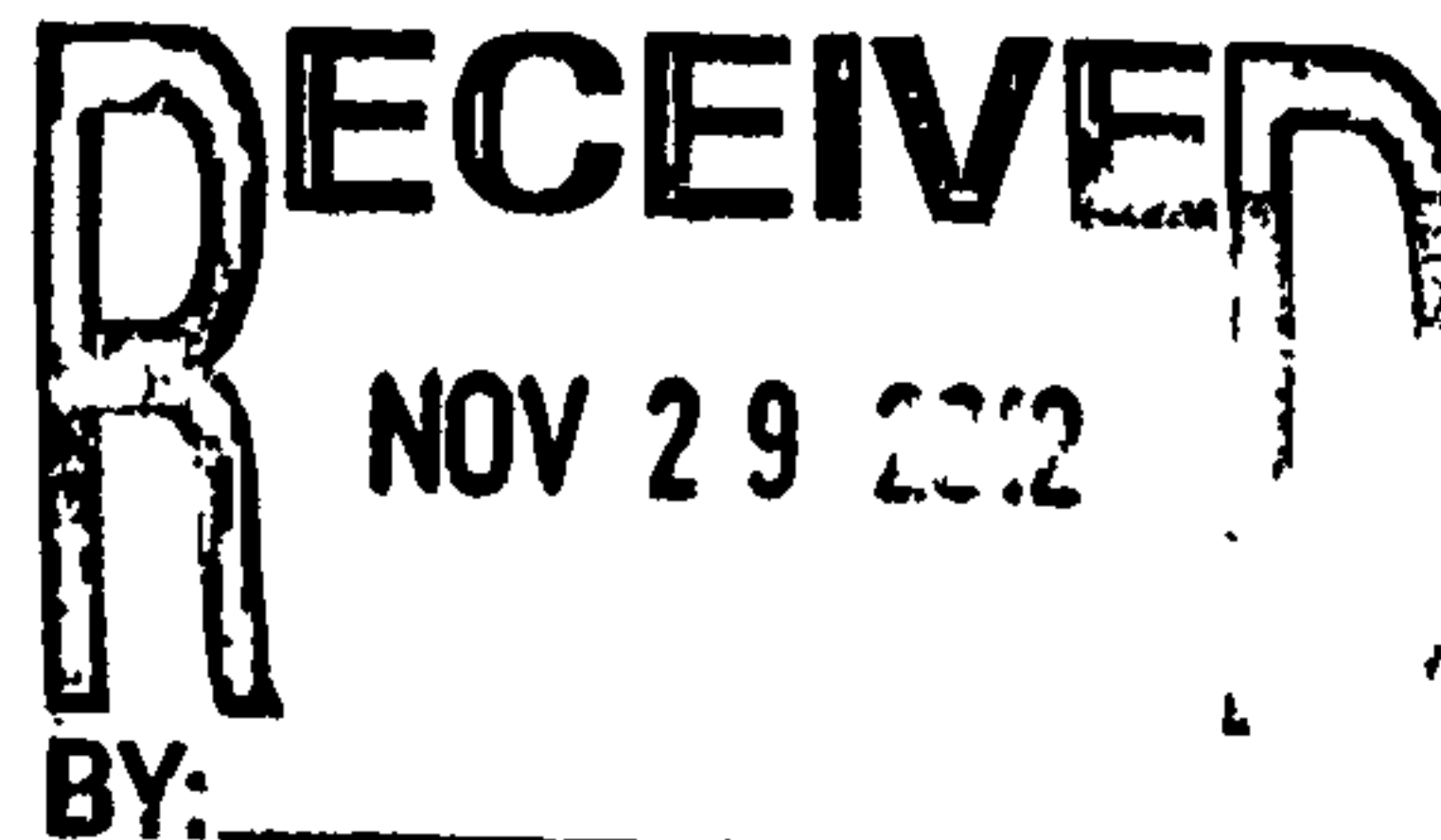
Mr. Joe Chavez  
7114 Isleta Blvd. SW  
Albuquerque, NM 87105

Dear Mr. Chavez,

My name is Allen Lewis and my company United Enterprises, Inc. owns the property directly to the south of your property on Yale Blvd. SE. If you might remember we spoke this spring. It is our intent to have open communications with our neighbors, so as a courtesy I wanted to take this opportunity to make you aware, that we are finalizing drawings to build a 4-plex on our property and plan to start construction right after the first of the year. If at any time during construction, should you have any questions or concerns, please feel free to contact me at 505-980-2301 or [abqpark@swcp.com](mailto:abqpark@swcp.com).

Sincerely,

Allen L Lewis  
United Enterprises, Inc.





# CITY OF ALBUQUERQUE



February 20, 2013

Mike J. Walla,  
Walla Engineering LTD.  
6100 Indian School Rd. NE Suite 210  
Albuquerque, NM 87110

**Re: Casa De La Paz, 218 Yale SE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 2-11-13 (K-16/D081)**

Dear Mr. Walla,

Based upon the information provided in your submittal received 2-12-13, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

- We would like to see the flows leave the site through the west via the sidewalk culvert and not exit through the public alley. It appears the flows will leave your site and enter the site immediately to the north.
- Extend the sidewalk culvert 2 feet passed the property line and add a note to tack weld all bolts.
  - What is the box in the alley with 50.00' in it?
  - The alley must be entirely paved.
  - A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. Add the SO-19 notes to this plan.
- Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

RER/SB  
C: email



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: CASA DE LA PAZ ZONE MAP/DRG. FILE #: K-16/1081  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT NUMBERED NINE (9) IN BLOCK NUMBERED TWO (2) OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 7, 1916.  
CITY ADDRESS: 218 VALE BLVD SE, ALBUQ. NM

ENGINEERING FIRM: WALLA ENGINEERING  
ADDRESS: 6100 INDIAN SCHOOL RD NE  
CITY, STATE: ALBUQ., NM

CONTACT: MIKE  
PHONE: 881-3008  
ZIP CODE: 87110

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: MULLEN HELLER ARCHITECTURE  
ADDRESS: 924 PARK AVE S.W. SUITE B  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: DOUG HELLER  
PHONE: 268-4144  
ZIP CODE: 87102

SURVEYOR: WAY JOHN SURVEYING  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQ. NM

CONTACT: THOMAS JOHNSTON  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

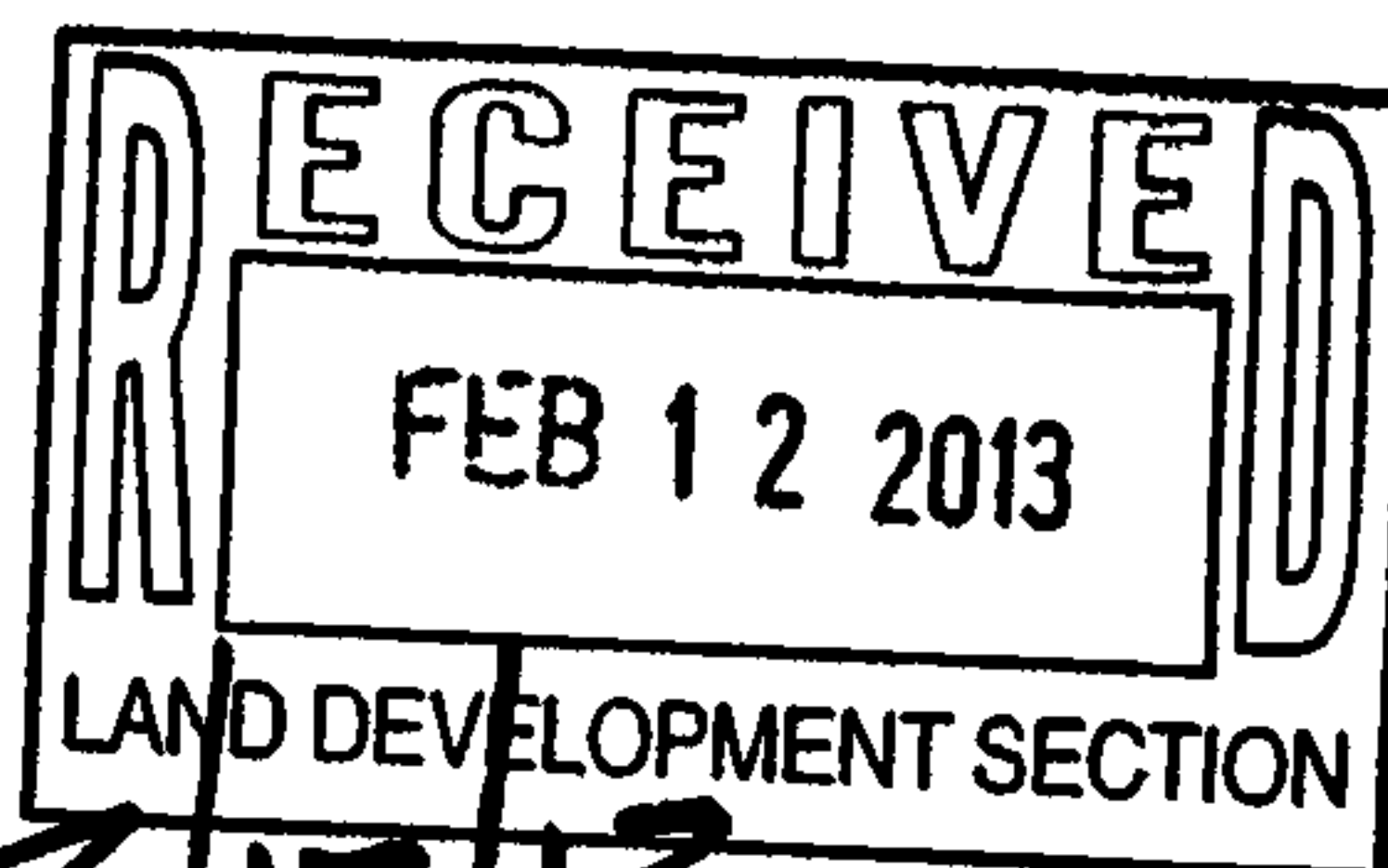
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: [Signature] BY: 2/12/13



\$5000

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# TRANSMITTAL LETTER

**PROJECT: 218 Yale Courtyards**  
**TCL Resubmittal**

**Project No.: 12-22**  
**Date: 28-Nov-12**

**TO: City of Albuquerque**

**ATTN: Kristal Metro**  
**CC: Cynthia Beck**

**SIGNED: Shiree McKenzie**

**WE TRANSMIT:**

- ☒ HEREWITH
- ☐ UNDER SEPARATE COVER
- ☐ IN ACCORDANCE WITH  
YOUR REQUEST

**FOR YOUR:**

- ☐ APPROVAL
- ☐ REVIEW AND COMMENT
- ☐ RECORD
- ☒ USE

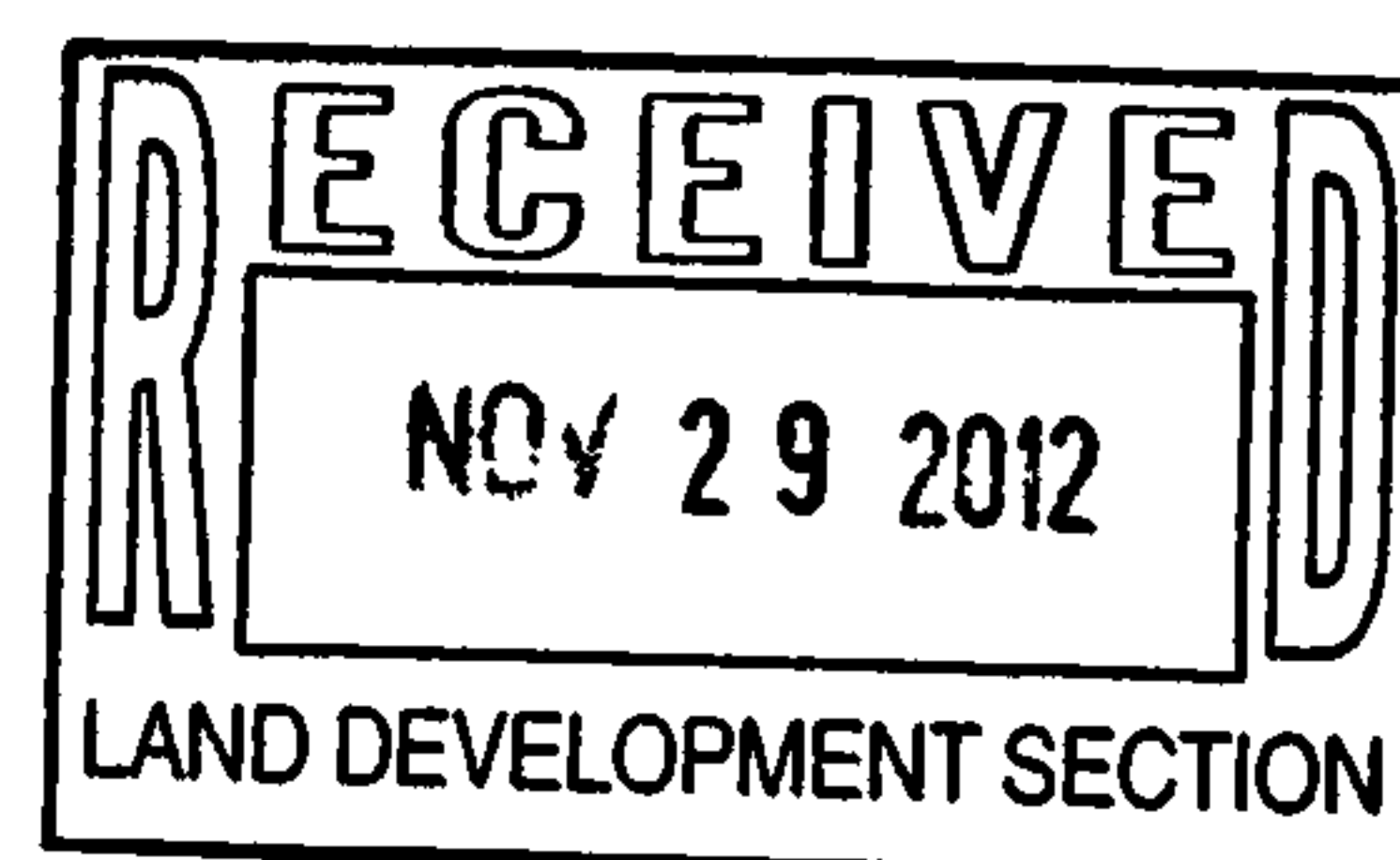
**THE FOLLOWING:**

- ☒ DRAWINGS
- ☐ LETTER(S)
- ☐ SHOP DRAWINGS
- ☐ OTHER

**VIA:**

- ☐ REGULAR MAIL
- ☐ FEDERAL EXPRESS
- ☐ AIRBORNE EXPRESS
- ☒ HAND PICKUP/DELIVERY

COPIES	DATE	DESCRIPTION
2 copy	11/28/12	218 Yale Courtyards, TCL Resubmittal



**REMARKS**

Kristal,  
Please find the resubmitted drawings for the TCL at 218 Yale SE. Please feel free to call me with any questions.  
Thank you,  
Shiree

Mullen Heller Architecture PC

924 Park Avenue SW, Suite B Albuquerque NM 87102  
505 268 4144 [p] 505 268 4244 [f]





November 26, 2012

Mr. Joe Chavez  
7114 Isleta Blvd. SW  
Albuquerque, NM 87105

Dear Mr. Chavez,

My name is Allen Lewis and my company United Enterprises, Inc. owns the property directly to the south of your property on Yale Blvd. SE. If you might remember we spoke this spring. It is our intent to have open communications with our neighbors, so as a courtesy I wanted to take this opportunity to make you aware, that we are finalizing drawings to build a 4-plex on our property and plan to start construction right after the first of the year. If at any time during construction, should you have any questions or concerns, please feel free to contact me at 505-980-2301 or [abqpark@swcp.com](mailto:abqpark@swcp.com).

Sincerely,

Allen L Lewis  
United Enterprises, Inc.



# CITY OF ALBUQUERQUE



November 9, 2012

John D. Heller, R.A.  
Mullen Heller Architecture P.C.  
924 Park Avenue SW, Suite 210  
Albuquerque, NM 87114

**Re: Yale Courtyards, 218 Yale Boulevard SE, Traffic Circulation Layout  
Architect's Stamp dated 11-01-12 (K16-D081)**

Dear Mr. Heller,

Based upon the information provided in your submittal received 11-06-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show the location of the nearest driveway on the adjacent lot. Based on a recent site visit, the adjacent property to the north shares a common driveway with this site accessing Yale. The adjacent lot also appears to have parking crossing over lot lines into the proposed site. Please clarify. Are there any existing cross access agreements?
2. List the width of the existing driveways.
3. The TCL proposes to remove the existing curb cut on Yale and replace with landscaping. Per the *Development Process Manual (DPM)*, Chapter 23, Section 6, Part B.17, "Any driveways that are abandoned must be replaced with sidewalk, curb and gutter by the property owner." Please revise your build notes accordingly (example: "Remove existing curb cut, replace with sidewalk and standard curb and gutter per CoA Standards 2415 and 2430").
4. Please place the proposed sidewalk at the property line, not the back of curb.
5. Remove the fire line; it is similar to the property line and may cause confusion.
6. Please refer to all applicable city standards.
7. Define width of the existing sidewalk.
8. The pedestrian gates must be a minimum of 3 feet in width.
9. Please show refuse location and provide COA Solid Waste approval, contact Lee Whistle (924-3631) from Solid Waste.
10. Define the surface material area of the parking area. Please note that the *Development Process Manual* requires a minimum of 2 inches of asphaltic concrete or equal.
11. Label Lead on the TCL.
12. Clearly show the limits of all fencing. Verify that the fencing will not interfere with clear sight.

P.O. Box 1293

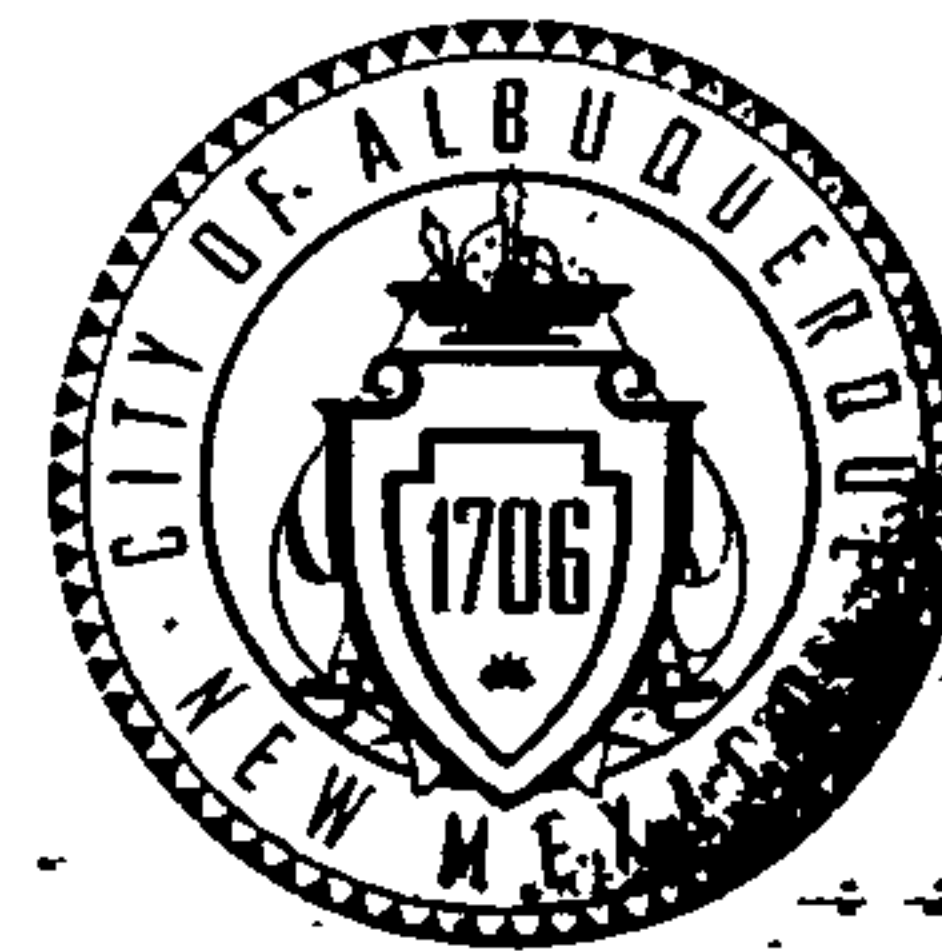
Albuquerque

NM 87103

www.cabq.gov



# CITY OF ALBUQUERQUE



13. A 6-foot wide, ADA accessible, pedestrian pathway is required from the ADA parking to the building.

14. Is the existing alley paved? If the alley is not paved, it must be paved at this time. A separate work order will be required for the alley pavement.

15. A 6-foot wide, ADA accessible, pedestrian pathway is required from the roadway to the building.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)







# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Yale Courtyards ZONE MAP/DRG. FILE #: K-15-Z  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: N/A

LEGAL DESCRIPTION: Lot 9, Block 2, University Heights  
CITY ADDRESS: 218 Yale Boulevard SE, Albuquerque, NM 87114

ENGINEERING FIRM: Walla Engineering  
ADDRESS: 6100 Indian School Road NE, Suite 210  
CITY, STATE: Albuquerque, NM

CONTACT: Jeremy Randall  
PHONE: 505-881-3008  
ZIP CODE: 87110

OWNER: Allen Lewis  
ADDRESS: 924 Park Avenue SW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Allen Lewis  
PHONE: 505-268-4144  
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture P.C  
ADDRESS: 924 Park Avenue SW, Suite B  
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller  
PHONE: 505-268-4144  
ZIP CODE: 87102

SURVEYOR: N/A  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ GLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

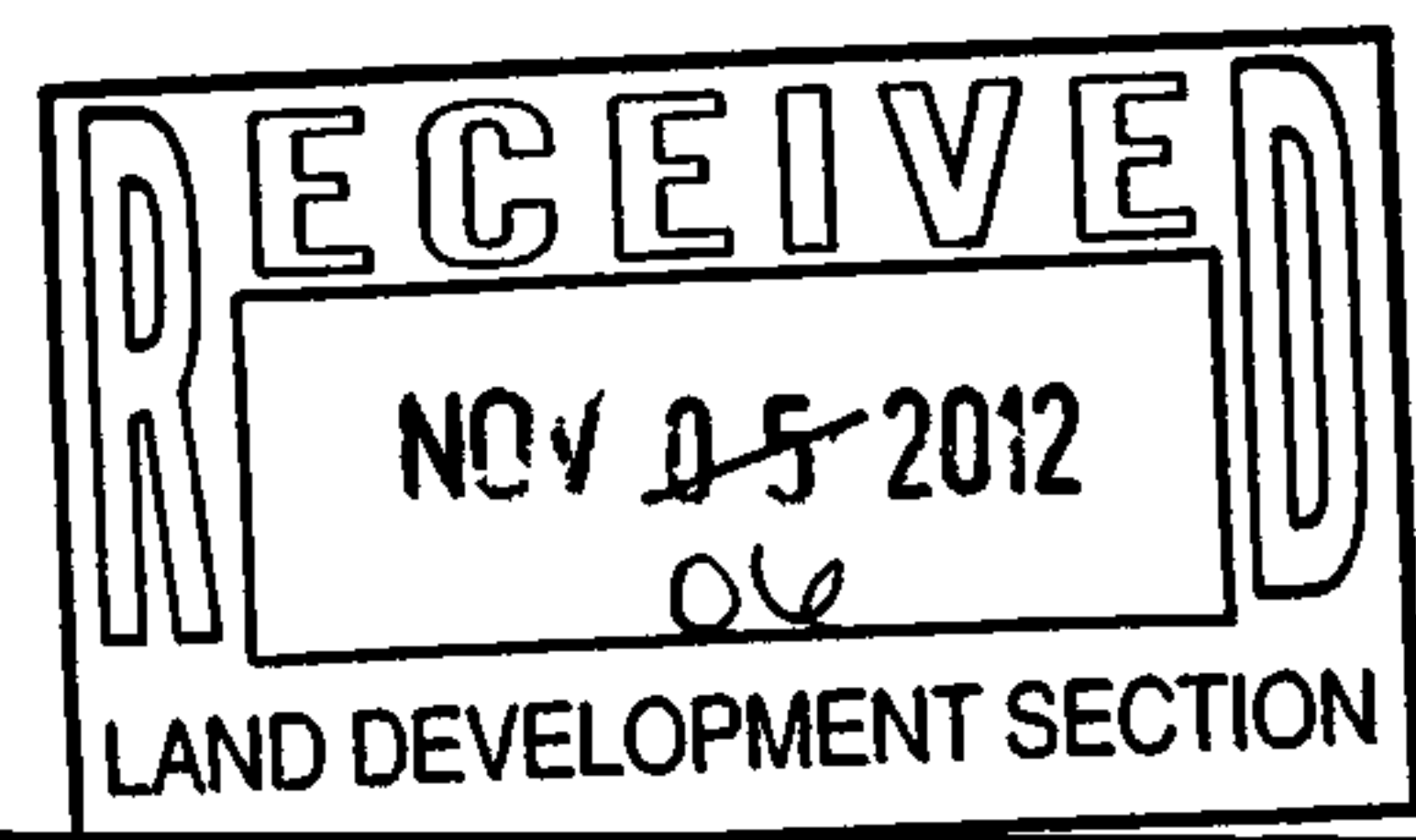
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: November 5, 2012 BY: Doug Heller



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.