

KEYED NOTES

1. CONTRACTOR SHALL REGRADE/RESHAPE ALLEY SURFACE TO PREVENT DRAINAGE FLOW INTO ADJACENT PROPERTY FOR 25' BEYOND PROPERTY LINE TO THE NORTH

LEGAL DESCRIPTION

LOT NUMBERED NINE (9) IN BLOCK NUMBERED TWO (2) OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 1, 1916.

BENCHMARK

ELEVATIONS ARE BASE ON BENCH MARK ACS STA 5 K16A BRASS DISK SET FLUSH IN NORTH CURB NEAR THE INTERSECTION OF CENTRAL AVENUE AND COLUMBIA DRIVE SE. ELEV. 5174.254 (NAVD 1988)

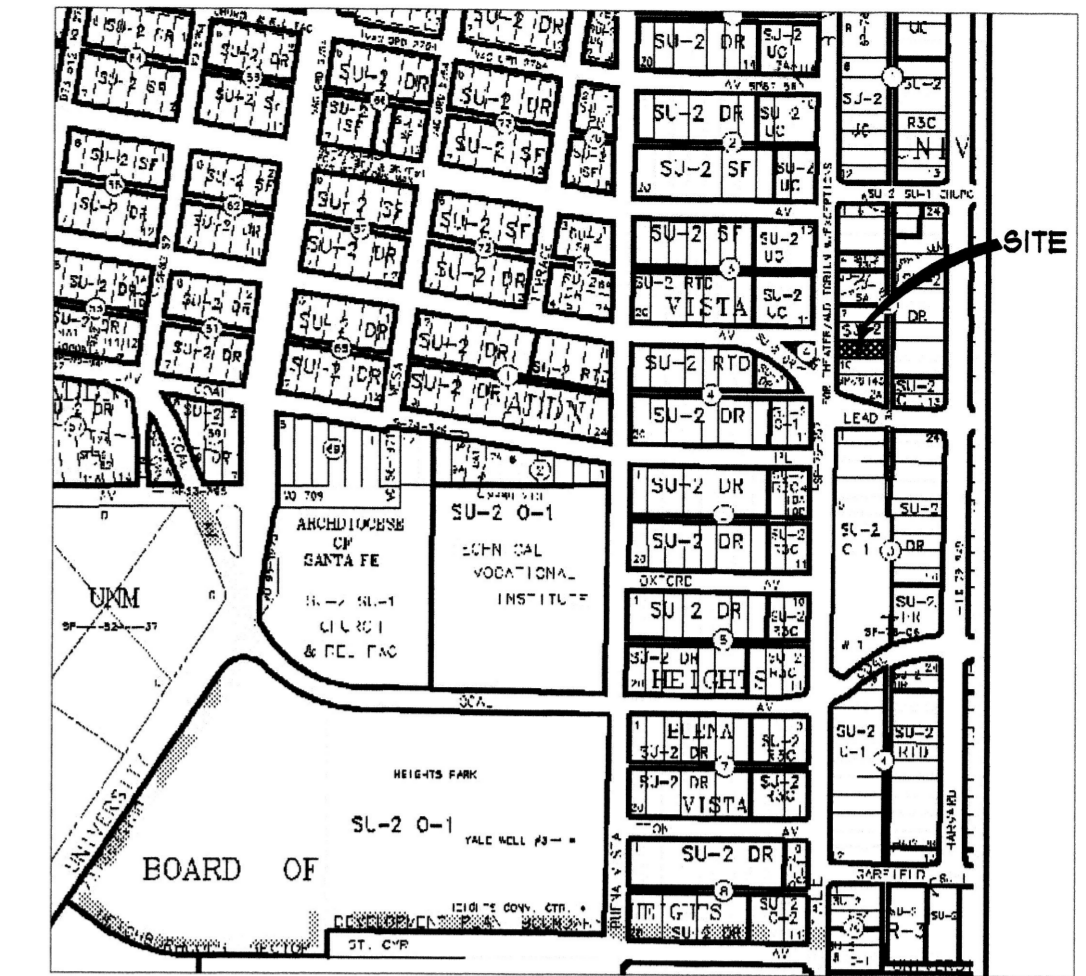
TEMPORARY BENCH MARK 1" x 6" STEEL PIPE AT SOUTHWEST CORNER OF PROPERTY ELEVATION 5162.34

APPROVED

[Signature] 8/28/13

DRAINAGE SUBCOMMITTEE CHAIRMAN DATE

CITY ENGINEER



VICINITY MAP K-15-Z

50-19 NOTES

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL PLAN

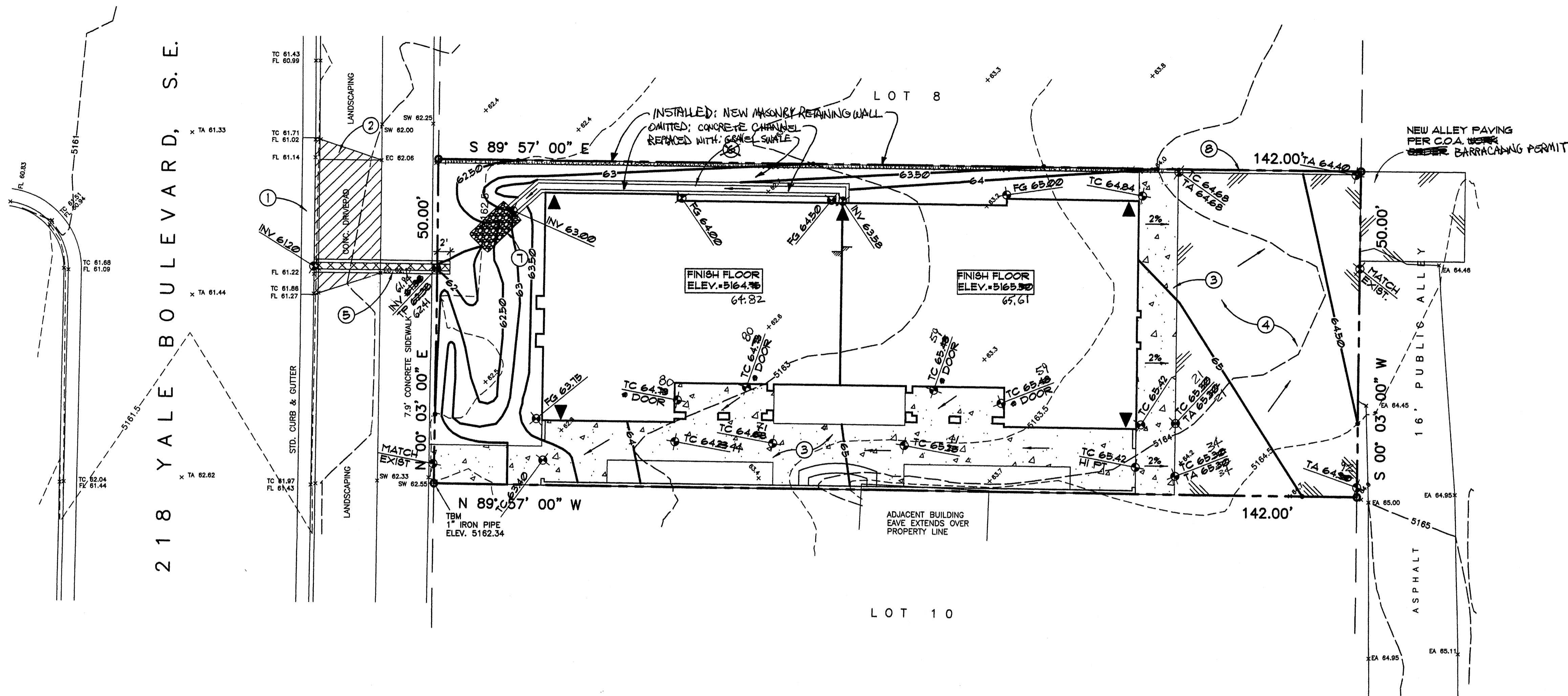
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.



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MH

revision
by
date
rev



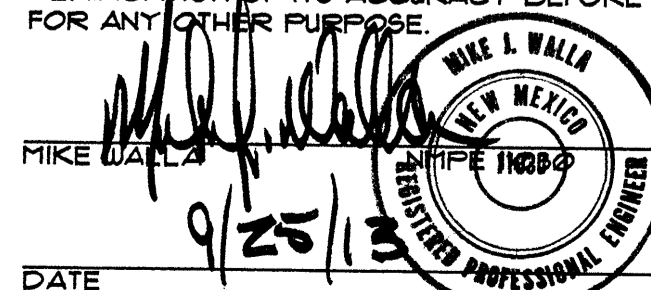
A1 GRADING and DRAINAGE PLAN

KEYED NOTES

- 1 REMOVE AND REPLACE EXISTING CONCRETE GUTTER WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. #2415
- 2 REMOVE EXISTING DRIVE PAD
- 3 NEW 4" CONCRETE WALK PER DETAIL 1/C201
- 4 NEW ASPHALT PAVING PER DETAIL 2/C201
- 5 NEW 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DWG. #2236
- 6 ~~NEW CONCRETE DRAINAGE CHANNEL PER DETAIL 3/C201~~ OMITTED
- 7 GRAVEL LINED SWALE PER DETAIL 4/C201
- 8 CONCRETE CURB PER DETAIL 5/C201

ENGINEER'S CERTIFICATION

I, MIKE WALLA NPE 10230, OF THE FIRM WALLA ENGINEERING LTD, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-15-13. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM THOMAS D. JOHNSTON NMLS 14269. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-25-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DATE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.01	2.35	2.75	3.30	3.95		
EXISTING CONDITIONS									
LAND TRMT	AREA (ACRE)	%	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.000	0%	0.18	228	0.00	0	0	0	0
C	0.163	100%	1.13	314	0.51	669	669	669	669
D	0.000	0%	2.12	4.10	0.00	0	0	0	0
TOTALS	0.163	100%	0.51	669	669	669	669	669	669
PROPOSED CONDITIONS									
LAND TRMT	AREA (ACRE)	%	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.033	20%	0.18	228	0.08	93	93	93	93
C	0.000	0%	1.13	314	0.00	0	0	0	0
D	0.130	80%	2.12	4.10	0.61	1000	1189	1,449	1,795
TOTALS	0.163	100%	0.69	1,093	1,282	1,542	1,848		

LEGEND

---	PROPERTY LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
X 63.3	EXISTING SPOT ELEVATION
64.00	NEW SPOT ELEVATION
---	NEW FLOW DIRECTION ARROW
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE OR CURB
FG	FINISHED GRADE
TU	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOW LINE
TP	TOP OF PLATE
INV	INVERT
---	NEW CONCRETE PAVING
---	NEW AC PAVING
▲	ROOF DRAIN LOCATION
▲	AS-BUILT ELEVATION

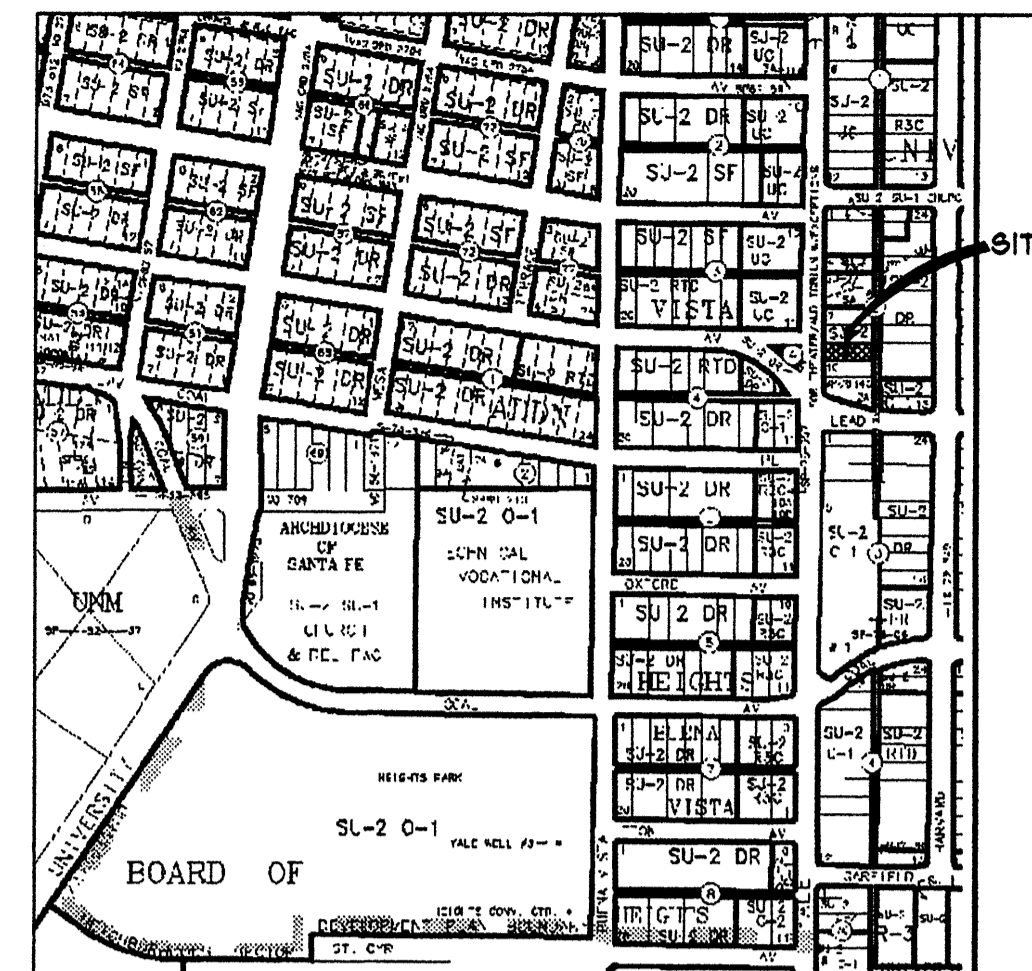
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TEMPORARY BENCH MARK 1" STEEL PIPE AT SOUTHWEST CORNER OF PROPERTY ELEVATION 5162.34



VICINITY MAP K-15-Z

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DESIGN NARRATIVE

THE SUBJECT 0.16 ACRE SITE IS CURRENTLY A PARTIALLY PAVED PARKING LOT. IT WILL BE DEVELOPED INTO A SMALL TOWNHOUSE COMPLEX. THE EXISTING TOPOGRAPHY SLOPES FROM EAST TO WEST CONVEYING STORM RUNOFF TO DOWNSIDE FACILITIES IN YALE BLVD. THE PROPOSED SITE GRADING WILL CONTINUE THIS SCHEME WITH ONLY A SMALL PORTION OF THE SITE FLOWING TO THE PUBLIC ALLEY EAST OF THE PROPERTY. NO EXISTING OFFSITE FLOWS AFFECT THIS SITE AND THE SITE WALL (SOUTH) AND CONCRETE CURB (NORTH) WILL PROTECT AGAINST RUNOFF DEVELOPED ON THE SUBJECT SITE ADVERSELY AFFECTING ADJACENT PROPERTIES. A CONCRETE TRENCH ON THE NORTH SIDE OF THE BUILDING WILL COLLECT BUILDING ROOF RUNOFF TO YALE BLVD. A SIDEWALK CULVERT WILL BE CONSTRUCTED TO PREVENT RUNOFF FLOWING OVER THE SIDEWALK AND THE EXISTING DRIVEPAD ON YALE BLVD. WILL BE REMOVED AS PART OF THIS PROJECT.



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project title

Casa de la Paz
218 Yale Blvd, SE
Albuquerque, New Mexico

sheet:

C101

GRADING & DRAINAGE PLAN

project number 12-22
drawn by LK
project manager JMW
date 02-11-2013

revision

by

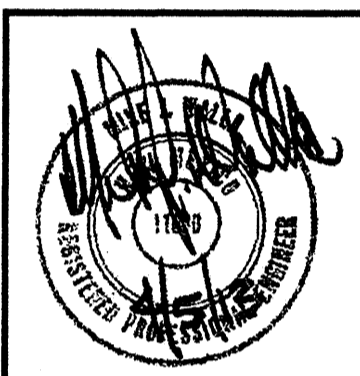
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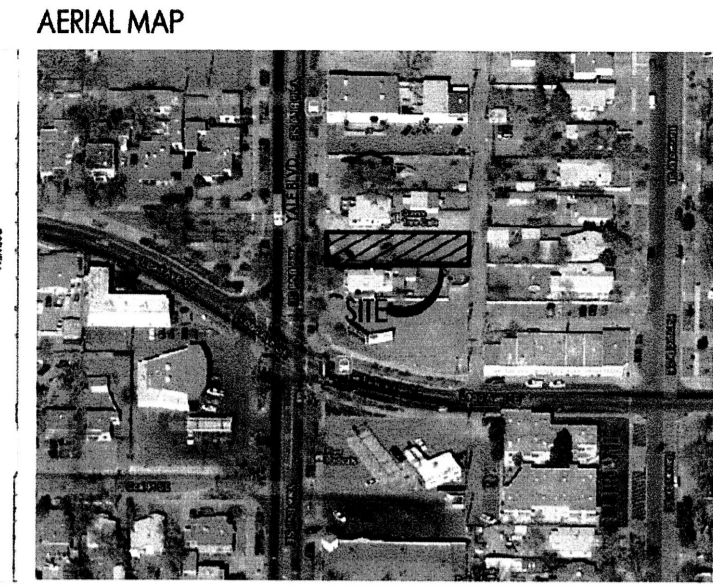
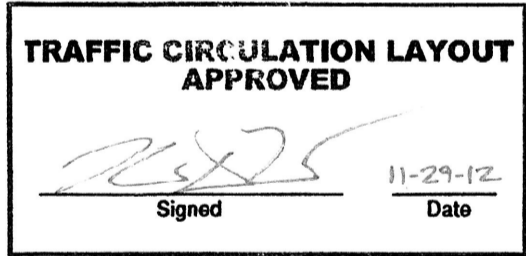
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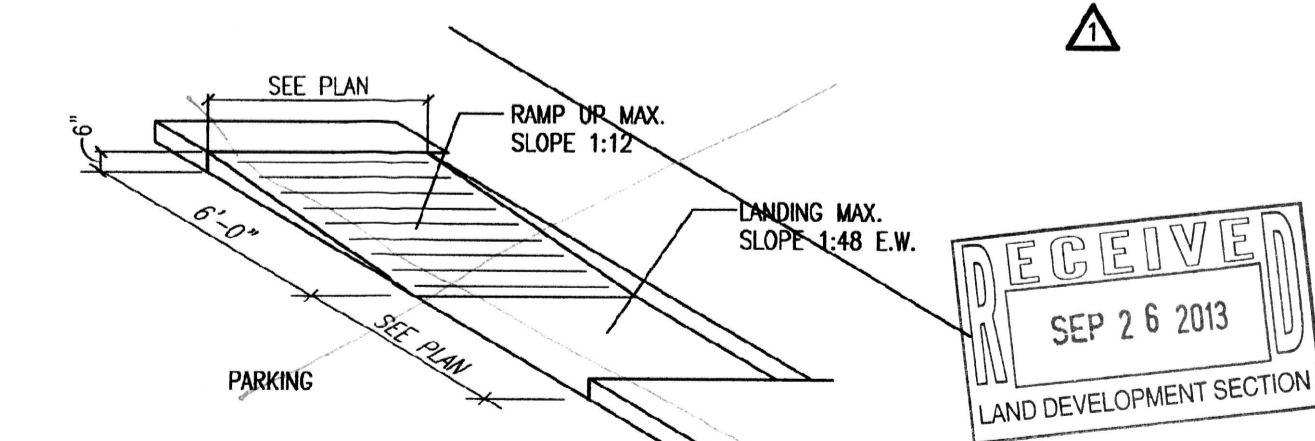
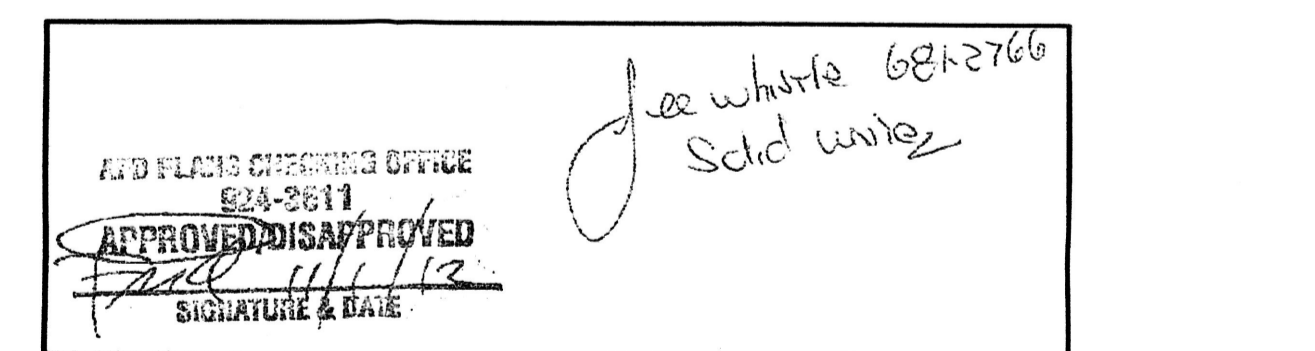
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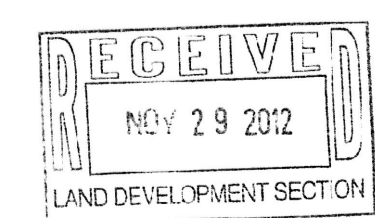




PER CITY OF COMPREHENSIVE ZONING CODE R-2 RESIDENTIAL ZONE (14-16-2-11) (C): "STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PLANE PLACES DRAWN AT 90° FROM CENTERLINE, OR PARALLEL, OR RIGHT-OF-WAY CENTERLINE, TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 26 FEET SHALL BE EXCEPTED FROM THE 45° ANGLE PLANES DRAWN AT 90° FROM CENTERLINE, OR PARALLEL, OR RIGHT-OF-WAY CENTERLINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN § 14-16-3-3 AND § 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES."



2 H.C. Ramp Detail NOT. USED.
Scale: Not To Scale (Isometric) Sm



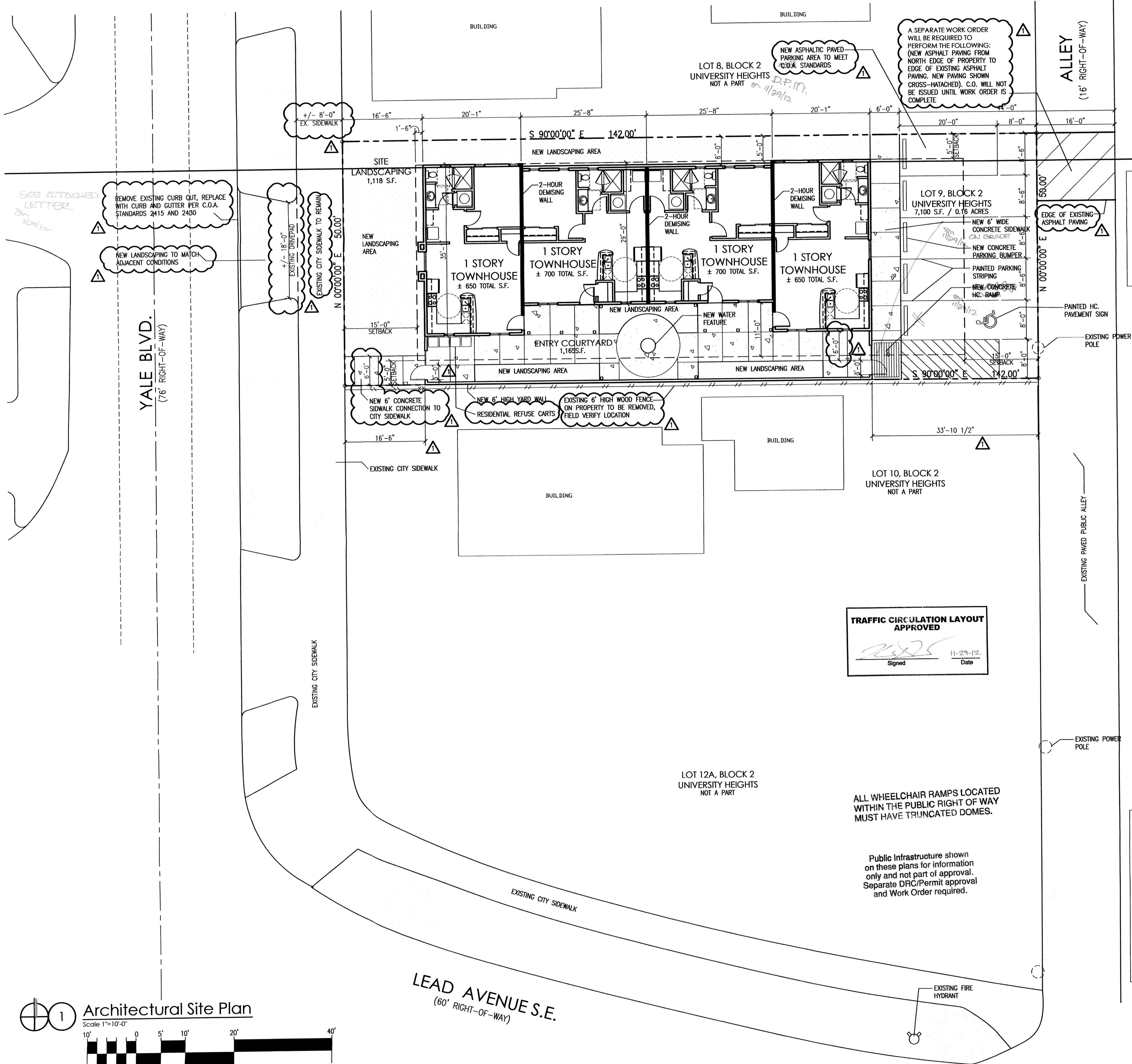
job number	12-22
drawn by	SAM
project manager	Douglas Heller, AIA
date	11/01/12

project title
Yale Courtyards
218 Yale Blvd, SE
Albuquerque, New Mexico

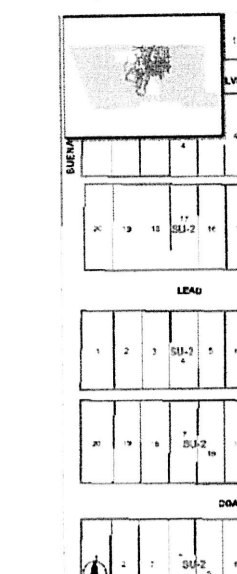
sheet title

Architectural Site Plan

sheet-
A001



VICINITY MAP



AERIAL MAP



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 9, BLOCK 2, UNIVERSITY HEIGHTS, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: 218 YALE BOULEVARD S.E., ALBUQUERQUE, N.M.

LAND AREA: 0.16 ACRES (7,100 SQ. FT.)

CURRENT ZONING: SU-2 P3C

PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE

R-T RESIDENTIAL ZONE (14-16-2-9) (D) (2):

4 UNITS x 1760 = 7,040 TOTAL SF.

REQUIRED LOT AREA

LOT AREA: 7,100 TOTAL SF.

K-15-2

BUILDING AREAS: ONE-STORY TOWNHOUSES 650 TOTAL SF.

(2 UNITS) PER UNIT

ONE-STORY TOWNHOUSES 700 TOTAL SF.

(2 UNITS) PER UNIT

TOTAL BUILDING AREA ON THIS SITE = 2,700 SF. MAX.

PARKING CALCULATIONS: PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1) (24) (b): "FOR EACH DWELLING WITH NET LEASEABLE AREA OF LESS THAN 1,000 SF. AND WHICH IS NOT COVERED BY EITHER DIVISIONS (c) OR (d) OF THIS DIVISION (24): ONE SPACE PER BATH BUT NOT LESS THAN ONE AND ONE-HALF SPACES."

4 UNITS (WITH ONE BATH) = 6 SPACES REQUIRED

6 SPACES REQ'D x 10% (BUS ROUTE CREDIT - ROUTE 37) = 5 SPACES REQUIRED

INCLUDING WITH THE PROVIDED SPACES

- 4 REGULAR SPACES

- 1 HANDICAP PARKING SPACE

BUILDING SETBACKS: FRONT: 15'-0"

SIDE: 5'-0"

REAR: 15'-0"

BETWEEN BUILDING: THERE SHALL BE A DISTANCE OF NOT LESS THAN 10 FEET BETWEEN RESIDENTIAL BUILDINGS.

SETBACKS PER: THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN: R3C ZONE

(RESIDENTIAL/TOWNHOUSE/DUPLEX ZONE)

USABLE OPEN SPACE: PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE R-T RESIDENTIAL ZONE (14-16-2-9) (G) (1): "USABLE OPEN SPACE SHALL BE PROVIDED ON-SITE AT...550 SQUARE FEET PER TOWNHOUSE DWELLING UNIT, AND 360 SQUARE FEET PER TOWNHOUSE DWELLING UNIT ON A LOT WITH VEHICLE ACCESS ONLY TO THE REAR YARD FROM AND ALLEY."

4 UNITS x 360 SF. = 1,440 SF.

REQUIRED OPEN SPACE

1,118 SF. (SITE LANDSCAPE) = 1,118 SF.

1,165 SF. (ENTRY COURTYARD) = 1,165 SF.

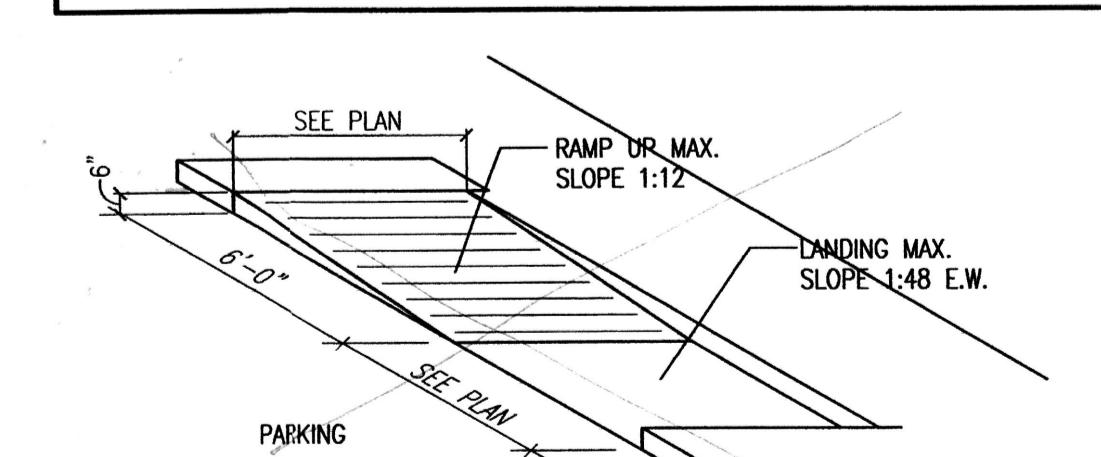
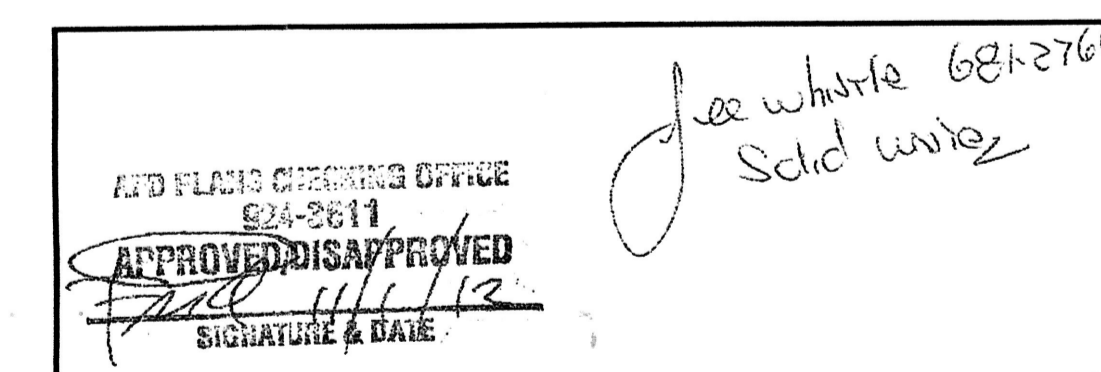
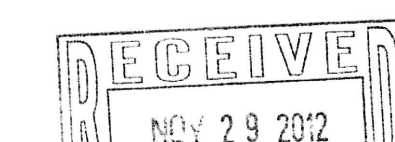
= 2,283 SF TOTAL

PROVIDED OPEN SPACE

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT: 28'-0"

STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: R-2 RESIDENTIAL ZONE (14-16-2-11) (C), AND THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN

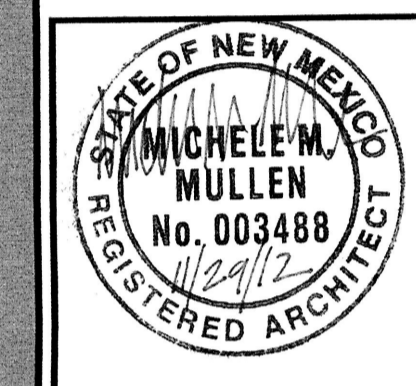
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2 H.C. Ramp Detail
Scale: Not To Scale (Isometric)

rev	by	date	revision	TCL	COMMENTS
1	SAW	11/28/12			

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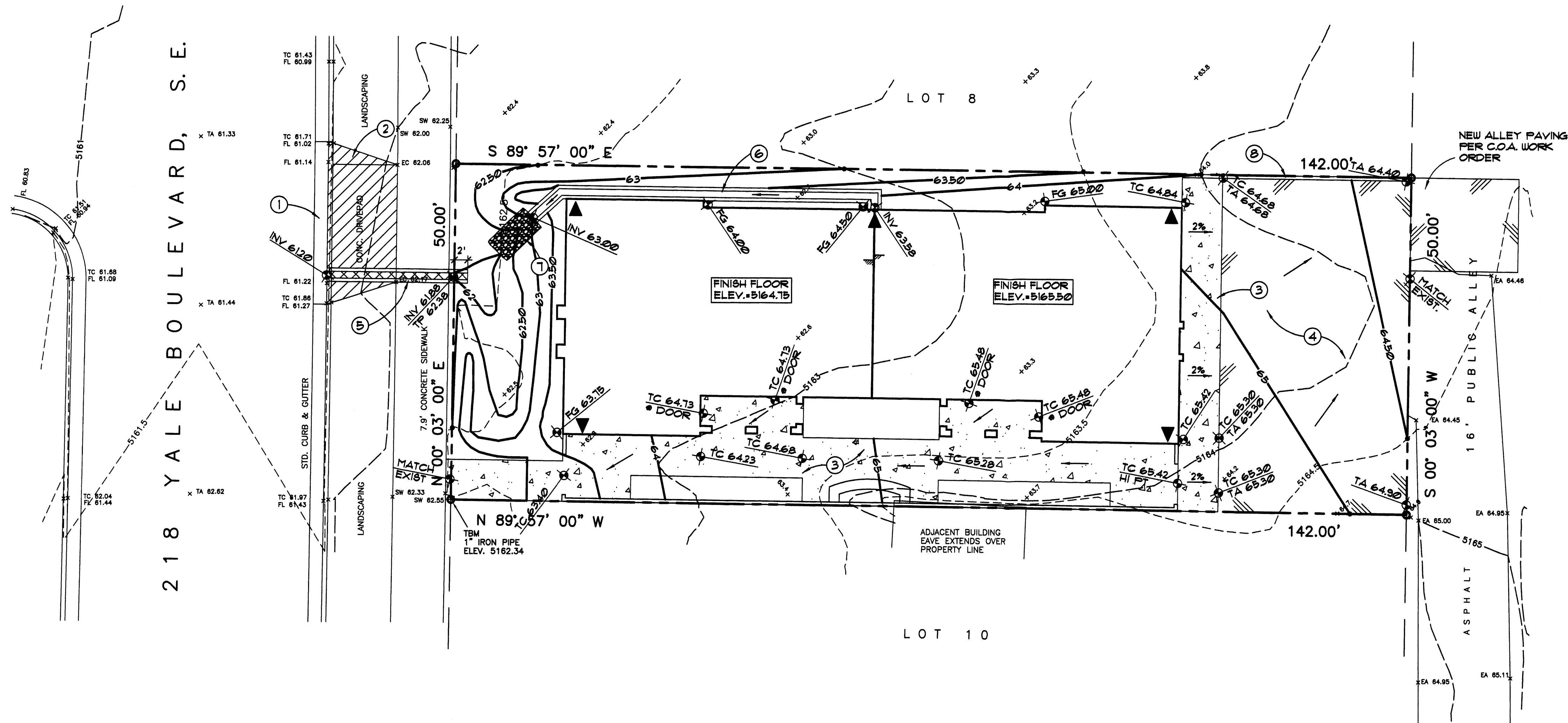


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sheet title
Architectural Site Plan

sheet
A001



A1 GRADING and DRAINAGE PLAN

KEYED NOTES

- REMOVE AND REPLACE EXISTING CONCRETE GUTTER WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. 2415
- REMOVE EXISTING DRIVE PAD
- NEW 4" CONCRETE WALK PER DETAIL 1/C201
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- NEW CONCRETE DRAINAGE CHANNEL PER DETAIL 3/C201
- GRAVEL LINED SWALE PER DETAIL 4/C201
- CONCRETE CURB PER DETAIL 5/C201

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
EXISTING CONDITIONS	AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
LAND TRMT (ACRE)	%	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.18	2.28	0.00	0	0	0	0
C	0.163	100%	1.13	3.14	0.51	6.63	6.63	6.63	6.63
D	0.000	0%	2.12	4.10	0.00	0	0	0	0
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TOTALS	0.163	100%			0.69	1,093	1,282	1,542	1,848

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
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- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FL FLOW LINE
- TP TOP OF PLATE
- INV INVERT
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION

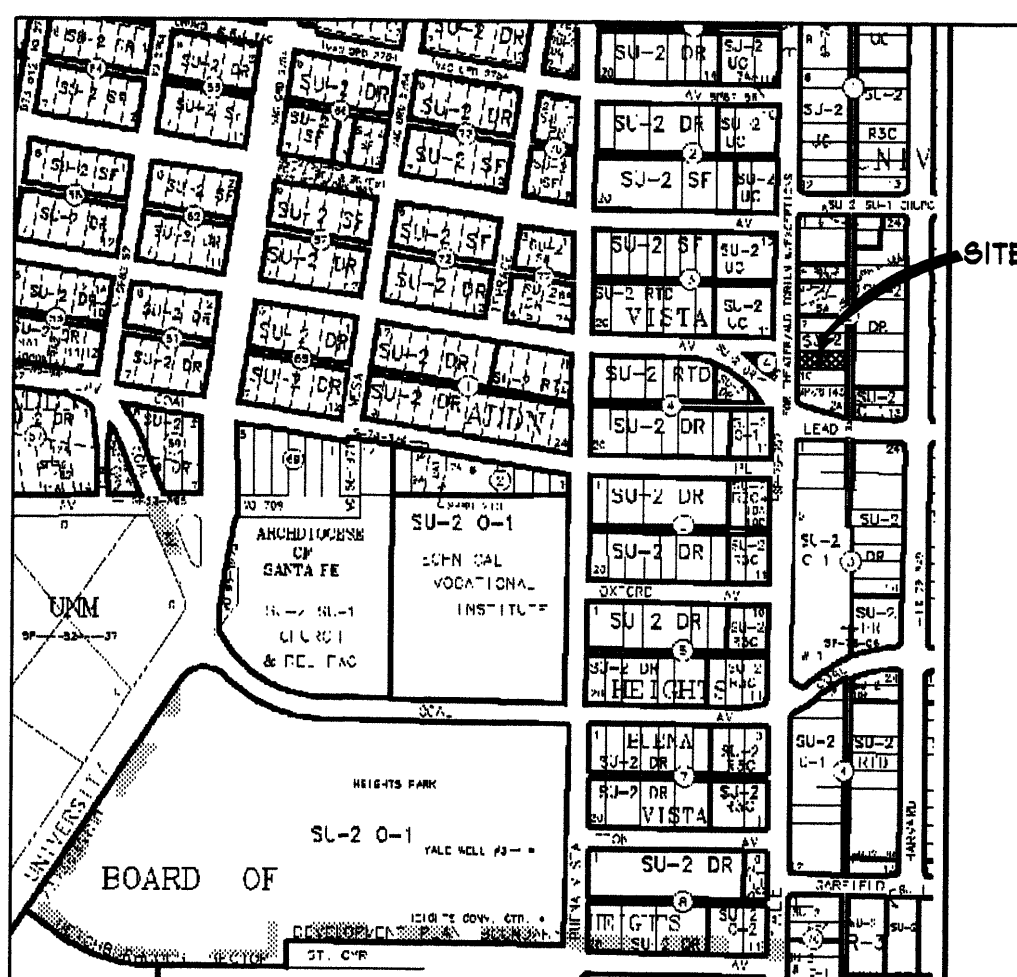
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 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL, COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL PLAN

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DESIGN NARRATIVE

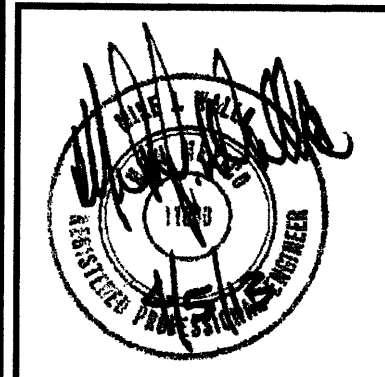
THE SUBJECT 0.16 ACRE SITE IS CURRENTLY A PARTIALLY PAVED PARKING LOT. IT WILL BE DEVELOPED INTO A SMALL TOWNHOUSE COMPLEX. THE EXISTING TOPOGRAPHY SLOPES FROM EAST TO WEST CONVEYING STORM RUNOFF TO DOWNSTREAM FACILITIES IN YALE BLVD. THE PROPOSED SITE GRADING WILL CONTINUE THIS SCHEME WITH ONLY A SMALL PORTION OF THE SITE FLOWING TO THE PUBLIC ALLEY EAST OF THE PROPERTY. NO EXISTING OFFSITE FLOWS AFFECT THIS SITE AND THE SITE WALL (SOUTH) AND CONCRETE CURB (NORTH) WILL PROTECT AGAINST RUNOFF DEVELOPED ON THE SUBJECT SITE ADVERSELY AFFECTING ADJACENT PROPERTIES. A CONCRETE TRENCH ON THE NORTH SIDE OF THE BUILDING WILL COLLECT BUILDING ROOF RUNOFF TO YALE BLVD. A SIDEWALK CULVERT WILL BE CONSTRUCTED TO PREVENT RUNOFF FLOWING OVER THE SIDEWALK AND THE EXISTING DRIVEPAD ON YALE BLVD. WILL BE REMOVED AS PART OF THIS PROJECT.



Project title
Casa de la Paz
218 Yale Blvd, SE
Albuquerque, New Mexico

sheet:
C101

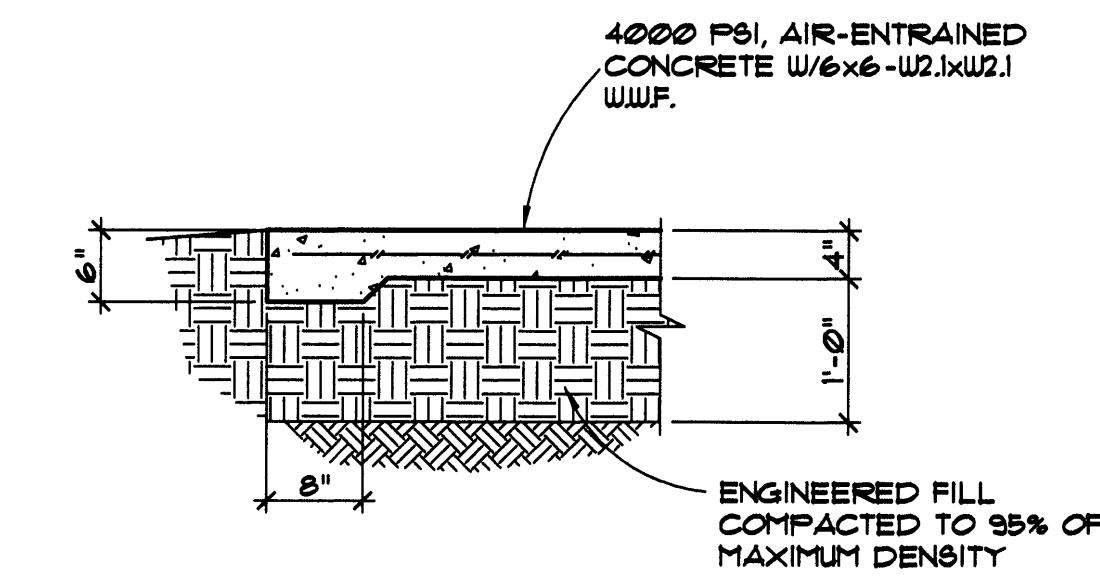
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job number	drawn by	project manager	date



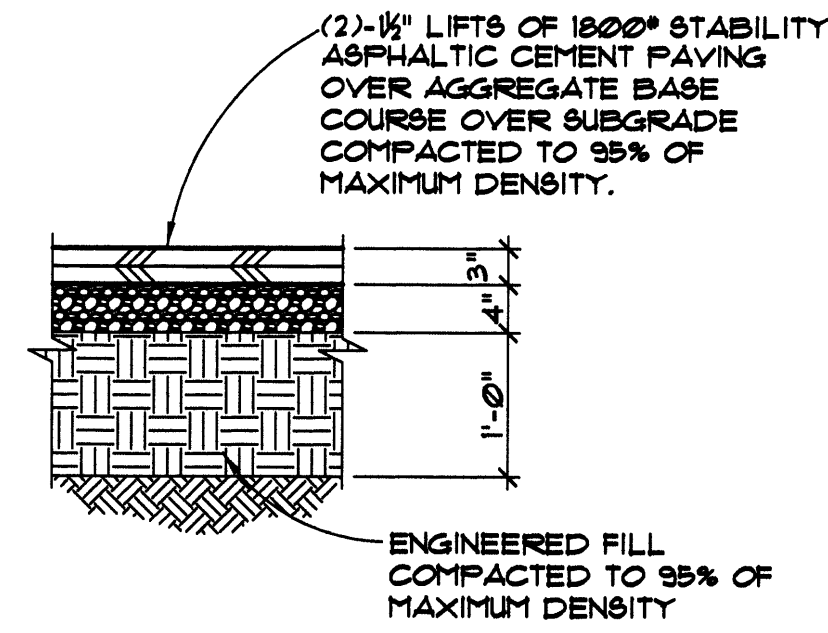
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Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



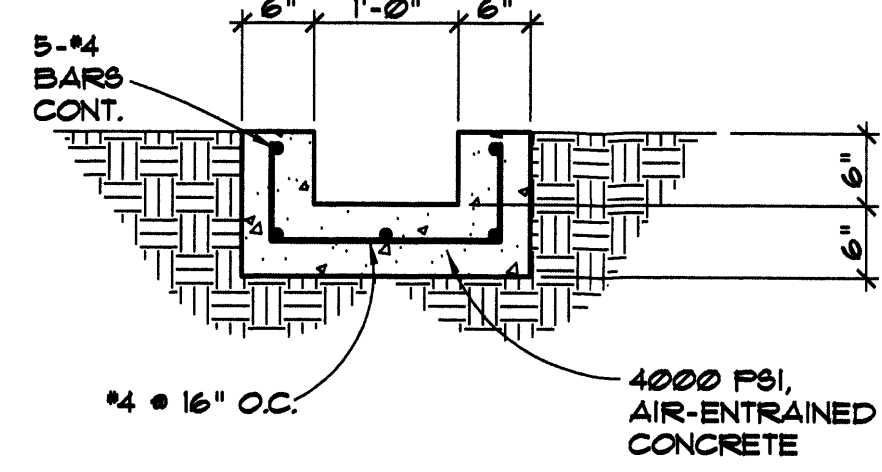
revision	by	date	rev



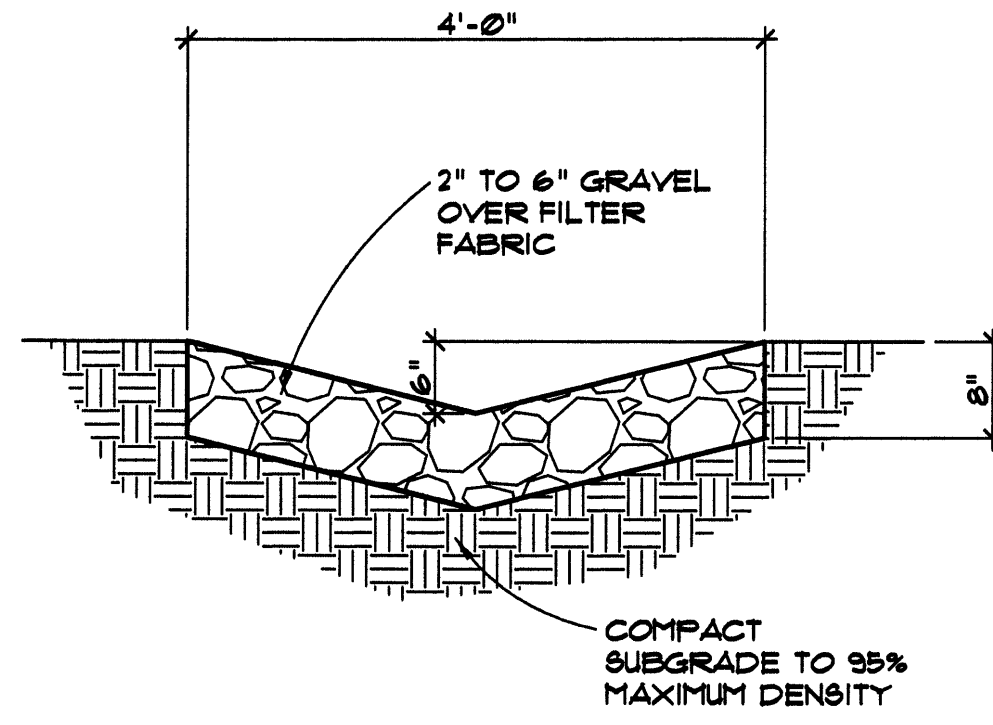
1 TYPICAL CONCRETE SLAB / CONTROL JOINT
3/4" = 1'-0"



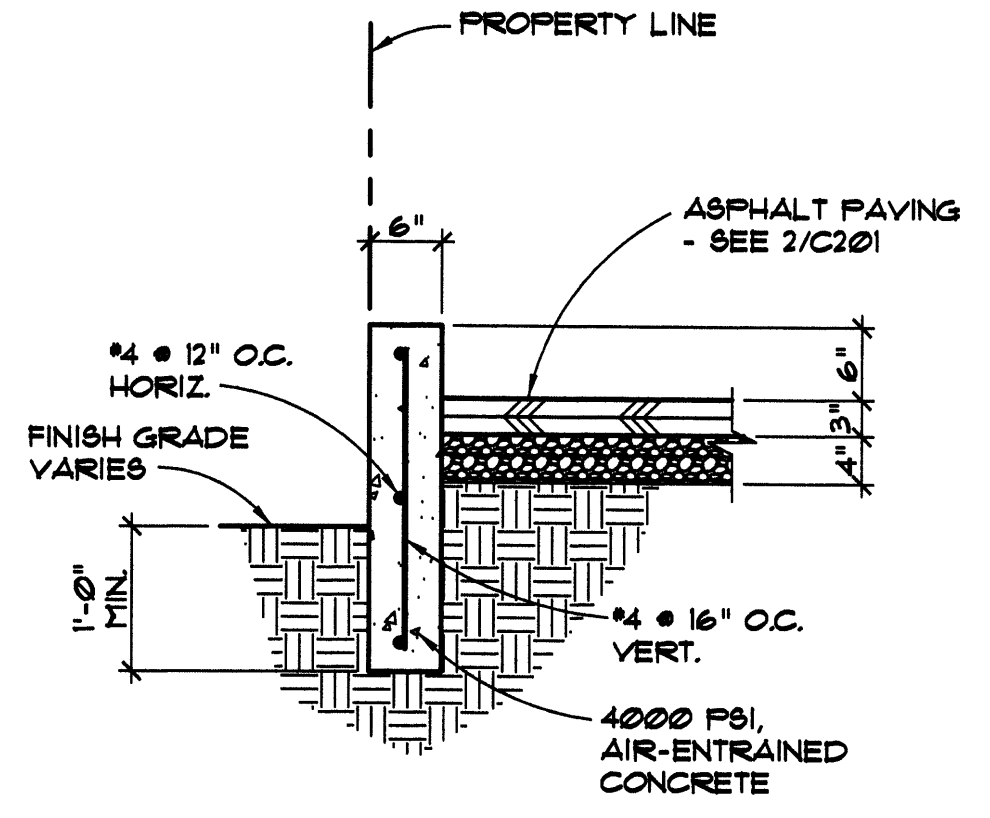
2 TYPICAL PAVING SECTION
3/4" = 1'-0"



3 CONCRETE CHANNEL
3/4" = 1'-0"



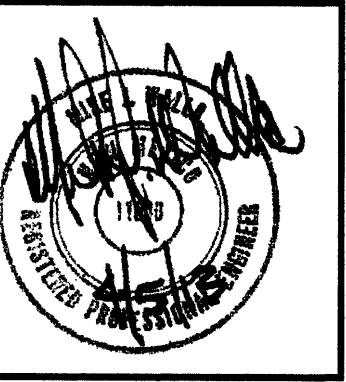
4 GRAVEL SWALE
3/4" = 1'-0"



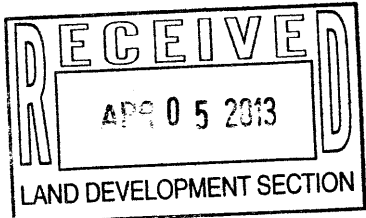
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3/4" = 1'-0"

revision	
by	
date	
rev	Δ Δ Δ Δ Δ

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
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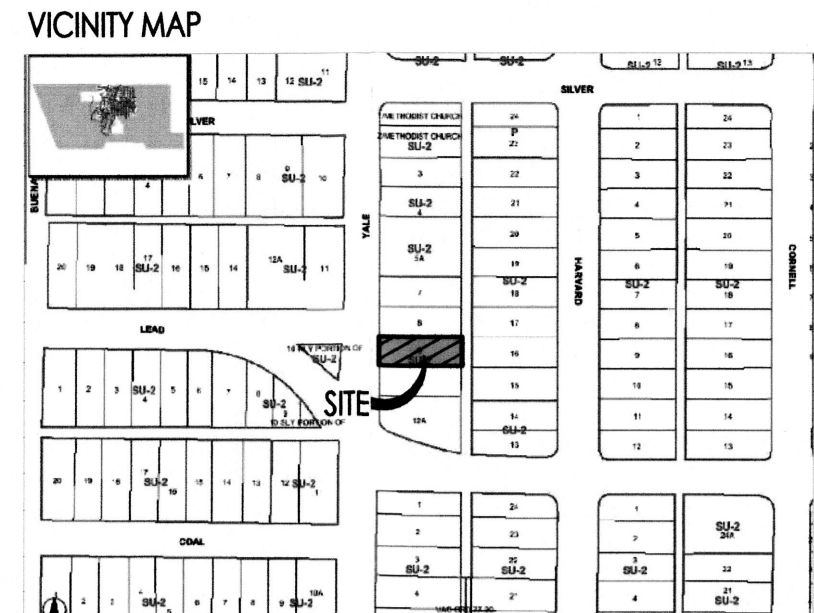
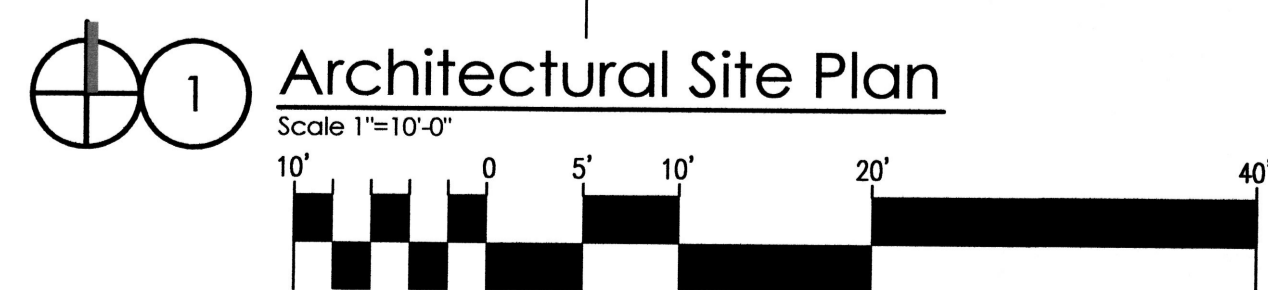
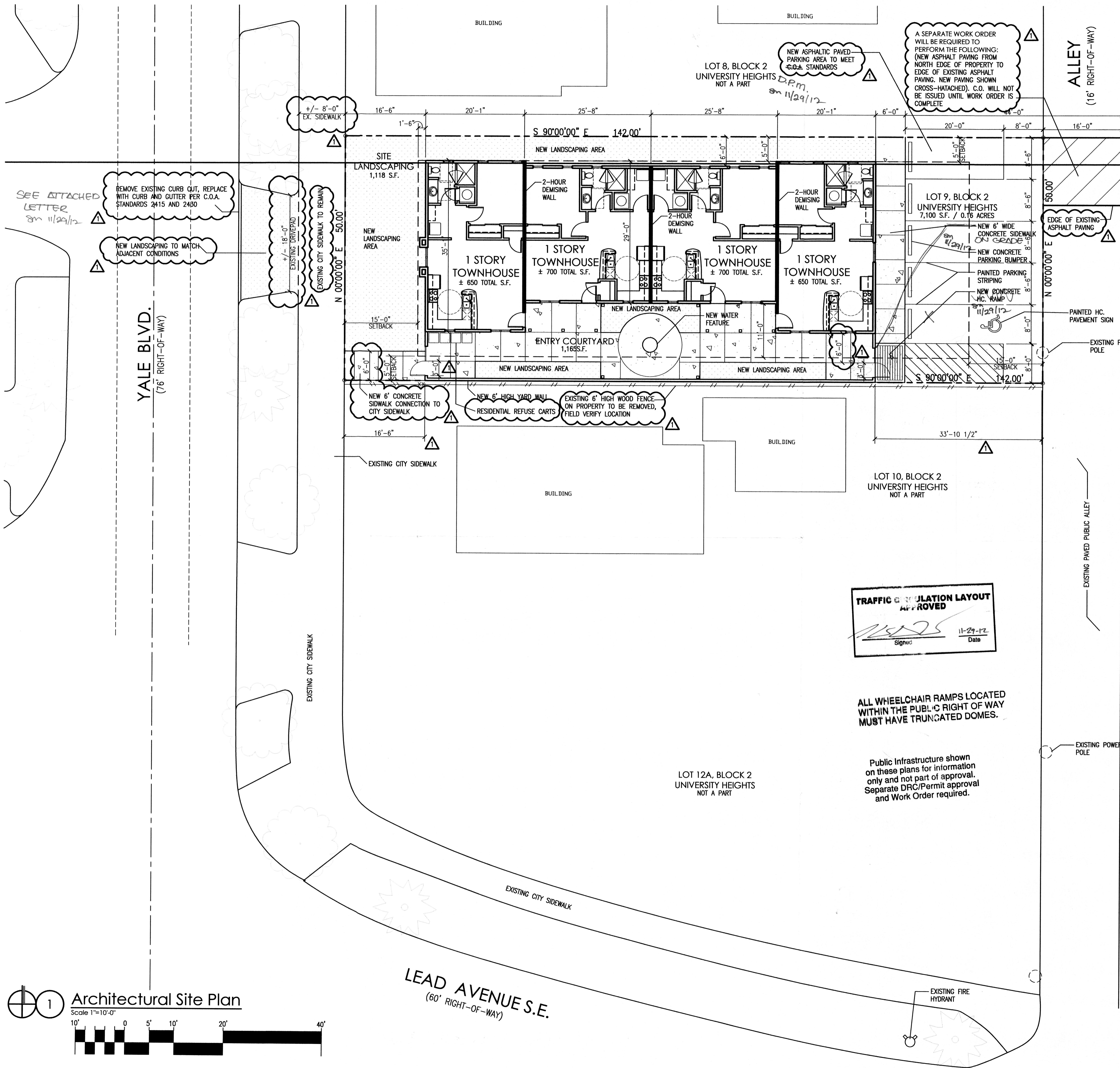
job number	12.22
drawn by	LK
project manager	MW
date	02-11-2013



Walla
ENGINEERING LTD
Structural Engineering
Civil Engineering
4100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110
861-3008 Facsimile 881-4025

project title
Casa de la Paz
218 Yale Blvd, SE
Albuquerque, New Mexico
sheet title
GRADING & DRAINAGE DETAILS

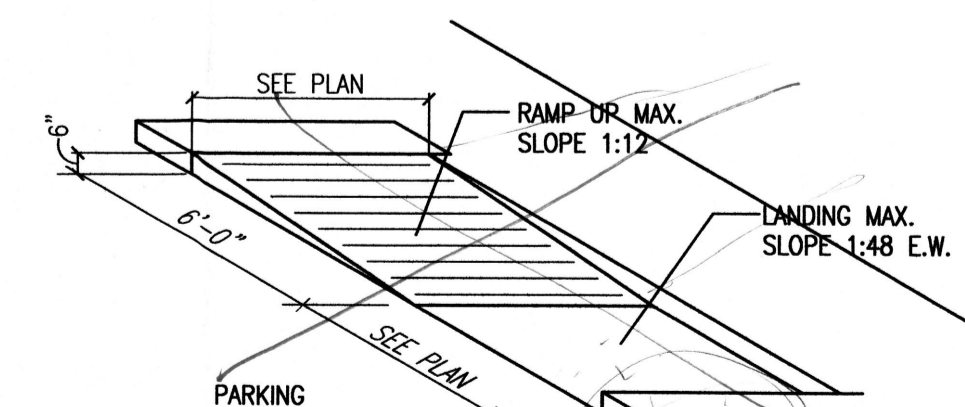
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C201



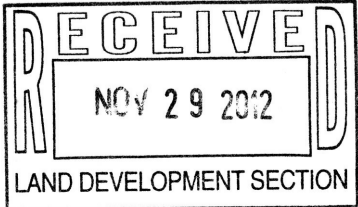
SITE DEVELOPMENT DATA:	
LEGAL DESCRIPTION:	LOT 9, BLOCK 2, UNIVERSITY HEIGHTS, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
BUILDING ADDRESS:	218 YALE BOULEVARD S.E., ALBUQUERQUE, N.M.
LAND AREA:	0.16 ACRES (7,100 SQ. FT.)
CURRENT ZONING:	SU-2 R3C
LOT AREA:	PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE R-2 RESIDENTIAL ZONE (14-16-2-9) (D) (2):
	4 UNITS x 1760 = 7,040 TOTAL SF. REQUIRED LOT AREA
	LOT AREA: 7,100 TOTAL SF.
ZONE ATLAS PAGE:	K-15-2
BUILDING AREAS:	ONE-STORY TOWNHOUSES 650 TOTAL SF. PER UNIT ONE-STORY TOWNHOUSES 700 TOTAL SF. PER UNIT (2 UNITS) TOTAL BUILDING AREA ON THIS SITE = 2,700 SF. MAX.
PARKING CALCULATIONS:	PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1) (24) (b): "FOR EACH DWELLING WITH NET LEASEABLE AREA OF LESS THAN 1,000 SF. AND WHICH IS NOT COVERED BY EITHER DIVISIONS (c) OR (b) OF THIS DIVISION (24): ONE SPACE PER BATH BUT NOT LESS THAN ONE AND ONE-HALF SPACES." 4 UNITS (WITH ONE BATH) = 6 SPACES REQUIRED 6 SPACES REQ'D x 10% (BUS ROUTE CREDIT - ROUTE 97) = 5 SPACES REQUIRED
	INCLUDING WITH THE PROVIDED SPACES - 4 REGULAR SPACES - 1 HANDICAP PARKING SPACE
BUILDING SETBACKS:	FRONT: 15'-0" SIDE: 5'-0" REAR: 15'-0"
USABLE OPEN SPACE:	BETWEEN BUILDING: THERE SHALL BE A DISTANCE OF NOT LESS THAN 10 FEET BETWEEN RESIDENTIAL BUILDINGS. SETBACKS PER: THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN: R3C ZONE (RESIDENTIAL/TOWNHOUSE/DUPLEX ZONE) PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE R-2 RESIDENTIAL ZONE (14-16-2-9) (G) (1): "USABLE OPEN SPACE SHALL BE PROVIDED ON-SITE AT...550 SQUARE FEET PER TOWNHOUSE DWELLING UNIT, AND 360 SQUARE FEET PER TOWNHOUSE DWELLING UNIT ON A LOT WITH VEHICLE ACCESS ONLY TO THE REAR YARD FROM AND ALLEY." 4 UNITS x 360 SF. = 1,440 SF. REQUIRED OPEN SPACE 1,118 SF. (SITE LANDSCAPE) = 1,118 SF. 1,165 SF. (ENTRY COURTYARD) = 1,165 SF. = 2,283 SF TOTAL PROVIDED OPEN SPACE
BUILDING HEIGHT:	MAXIMUM BUILDING HEIGHT: 26'-0"
	STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: R-2 RESIDENTIAL ZONE (14-16-2-11) (C), AND THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN

PER CITY OF COMPREHENSIVE ZONING CODE R-2 RESIDENTIAL ZONE (14-16-2-11) (C): "STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 600 ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN § 14-16-3-3 AND § 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES."

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE
Joe White 681-2766
Solid white



2 H.C. Ramp Detail
Scale: Not To Scale (Isometric)
Detail not called out on site plan
NOT USED
on site
thick sidewalk?
on 11/29/12

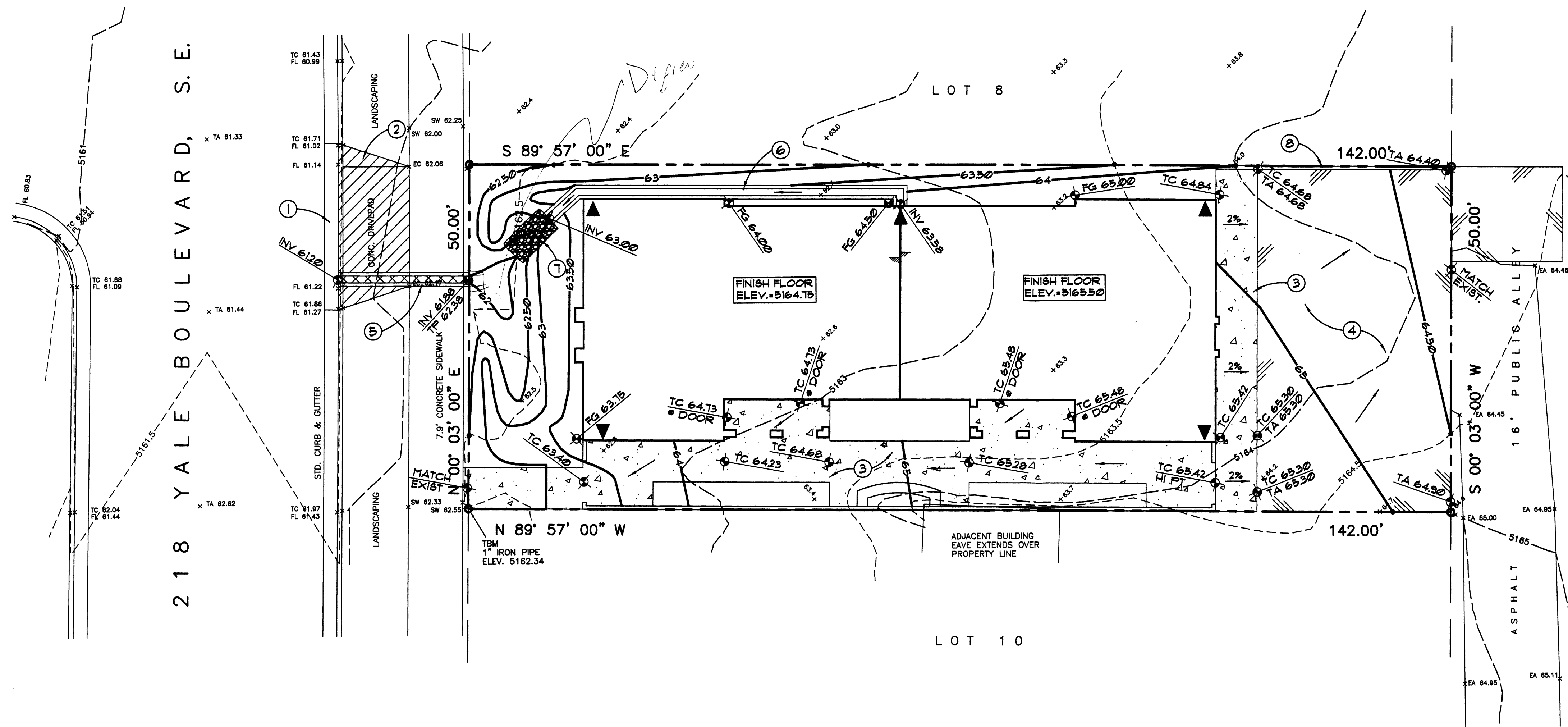


rev	1	2	3	4
date				
by				
revision				
date	11/28/12			
by	SAM			
revision				
comment				

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

STATE OF NEW MEXICO
MICHELE M. MULLEN
No. 003488
11/29/12
REGISTERED ARCHITECT

12-22	SAM
job number	drawn by
project manager	project manager
date	date



A1 GRADING and DRAINAGE PLAN

KEYED NOTES

- REMOVE AND REPLACE EXISTING CONCRETE GUTTER WITH STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. #2419
- REMOVE EXISTING DRIVE PAD
- NEW 4" CONCRETE WALK PER DETAIL 1/C201
- NEW ASPHALT PAVING PER DETAIL 2/C201
- NEW 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DWG. #2236
- NEW CONCRETE DRAINAGE CHANNEL PER DETAIL 3/C201
- GRAVEL LINED SWALE PER DETAIL 4/C201
- CONCRETE CURB PER DETAIL 5/C201

lack weld
Bolts

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.01	2.35	2.75	3.30	3.95		
EXISTING CONDITIONS									
LAND TRT/MNT	AREA (ACRE)	AREA %	P6	Q	Q	V6	V24	V4DAY	V10DAY
			(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.163	100%	1.13	3.14	0.51	6.69	6.69	6.69	6.69
D	0.000	0%	2.12	4.70	0.00	0	0	0	0
TOTALS	0.163	100%		0.51	6.69	6.69	6.69	6.69	6.69
PROPOSED CONDITIONS									
LAND TRT/MNT	AREA (ACRE)	AREA %	P6	Q	Q	V6	V24	V4DAY	V10DAY
			(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.033	20%	0.78	2.28	0.08	93	93	93	93
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.130	80%	2.12	4.70	0.61	1,000	1,095	1,445	1,755
TOTALS	0.163	100%		0.69	1,093	1,282	1,542	1,848	

LEGEND

---	PROPERTY LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
X 63.3	EXISTING SPOT ELEVATION
64.00	NEW SPOT ELEVATION
→	NEW FLOW DIRECTION ARROW
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE OR CURB
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOW LINE
TP	TOP OF PLATE
INV	INVERT
NEW CONCRETE PAVING	
NEW AC PAVING	
▲	ROOF DRAIN LOCATION

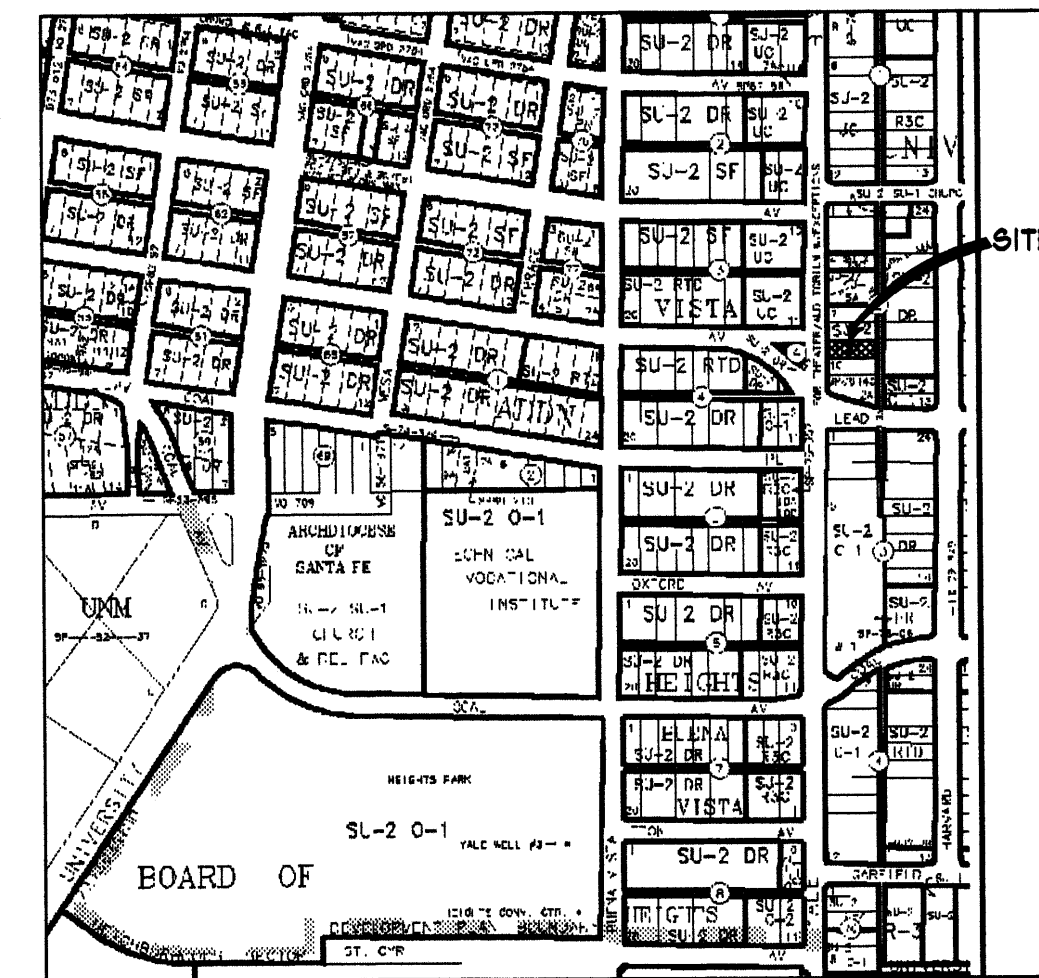
LEGAL DESCRIPTION

LOT NUMBERED NINE (9) IN BLOCK NUMBERED TWO (2) OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 7, 1916.

BENCHMARK

ELEVATIONS ARE BASE ON BENCH MARK AC9 STA 5 K16A BRASS DISK SET FLUSH IN NORTH CURB NEAR THE INTERSECTION OF CENTRAL AVENUE AND COLUMBIA DRIVE SE. ELEV. 5174.254 (NAVD 1988)

TEMPORARY BENCH MARK 1" STEEL PIPE AT SOUTHWEST CORNER OF PROPERTY ELEVATION 5162.24



VICINITY MAP K-15-Z

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

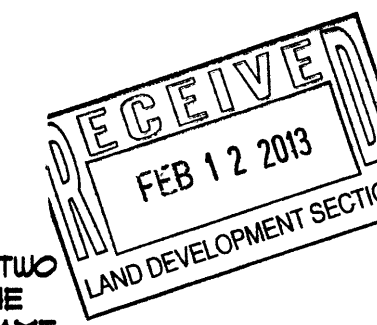
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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EROSION CONTROL PLAN

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DESIGN NARRATIVE

THE SUBJECT 0.16 ACRE SITE IS CURRENTLY A PARTIALLY PAVED PARKING LOT. IT WILL BE DEVELOPED INTO A SMALL TOWNHOUSE COMPLEX. THE EXISTING TOPOGRAPHY SLOPES FROM EAST TO WEST CONVEYING STORM RUNOFF TO DOWNSTREAM FACILITIES IN YALE BLVD. THE PROPOSED SITE GRADING WILL CONTINUE THIS SCHEME WITH ONLY A SMALL PORTION OF THE SITE FLOWING TO THE PUBLIC ALLEY EAST OF THE PROPERTY. NO EXISTING OFFSITE FLOWS AFFECT THIS SITE AND THE SITE WALL (SOUTH) AND CONCRETE CURB (NORTH) WILL PROTECT AGAINST RUNOFF DEVELOPED ON THE SUBJECT SITE ADVERSELY AFFECTING ADJACENT PROPERTIES. A CONCRETE TRENCH ON THE NORTH SIDE OF THE BUILDING WILL COLLECT BUILDING ROOF RUNOFF TO YALE BLVD. A SIDEWALK CULVERT WILL BE CONSTRUCTED TO PREVENT RUNOFF FLOWING OVER THE SIDEWALK AND THE EXISTING DRIVEPAD ON YALE BLVD. WILL BE REMOVED AS PART OF THIS PROJECT.



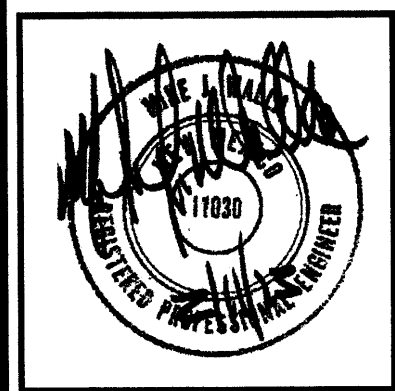
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Casa de la Paz
218 Yale Blvd, SE
Albuquerque, New Mexico

sheet title
GRADING & DRAINAGE PLAN

revision
by
date
rev

MH
Mullen Heller
Architecture P.C.

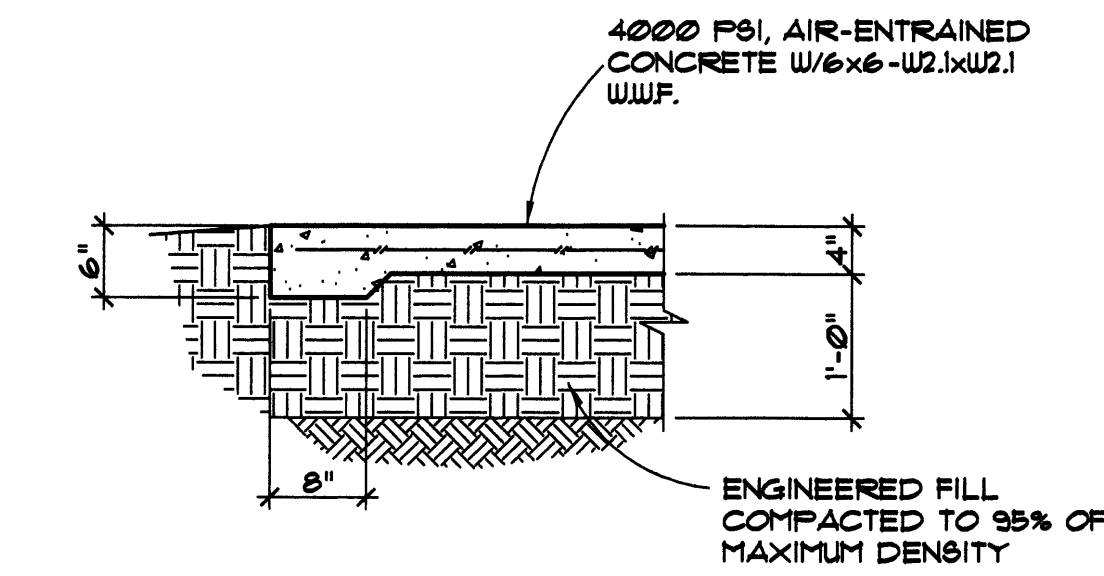
924 Park Avenue SW
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505 268 4144 [p]
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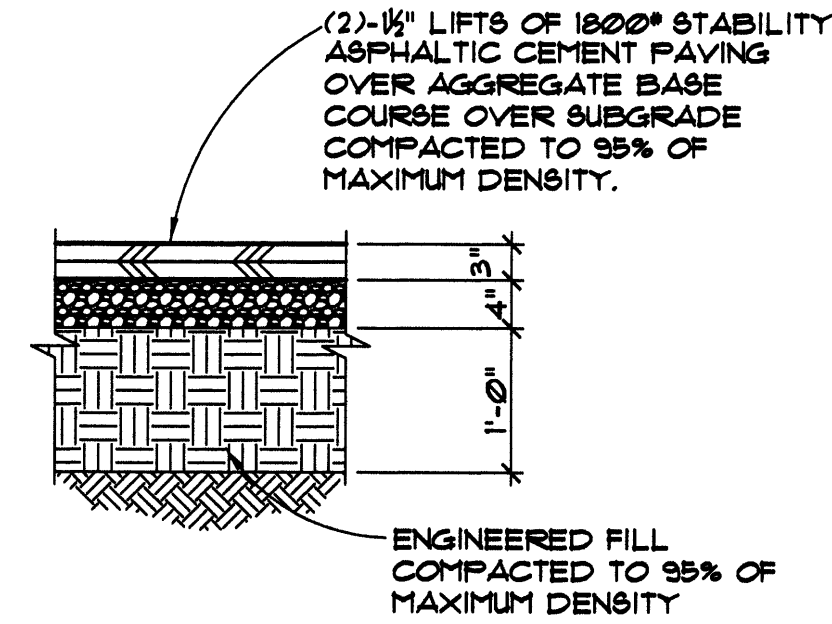
job number
12-22
drawn by
LK
project manager
MW
date
02-11-2013

Walla
Structural Engineering
Civil Engineering
6100 Indian School Road NE Suite 240
Albuquerque, New Mexico 87110
505-3008 Facsimile 505-4025

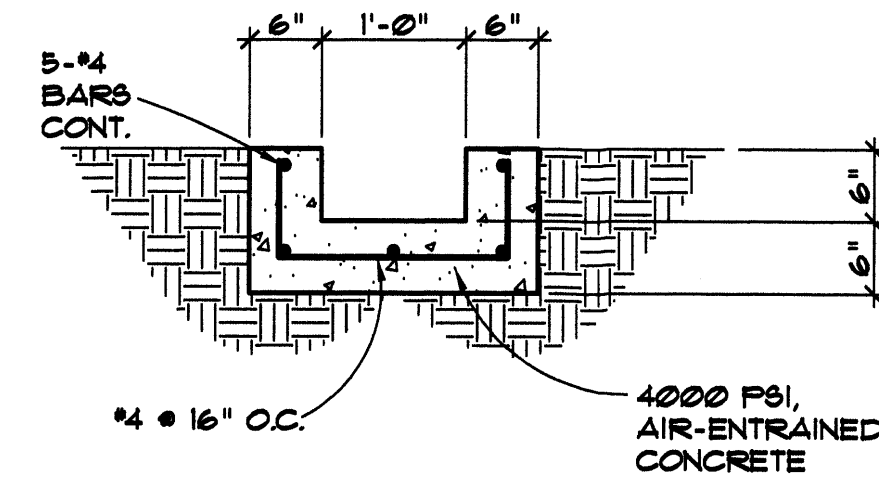
sheet
C101



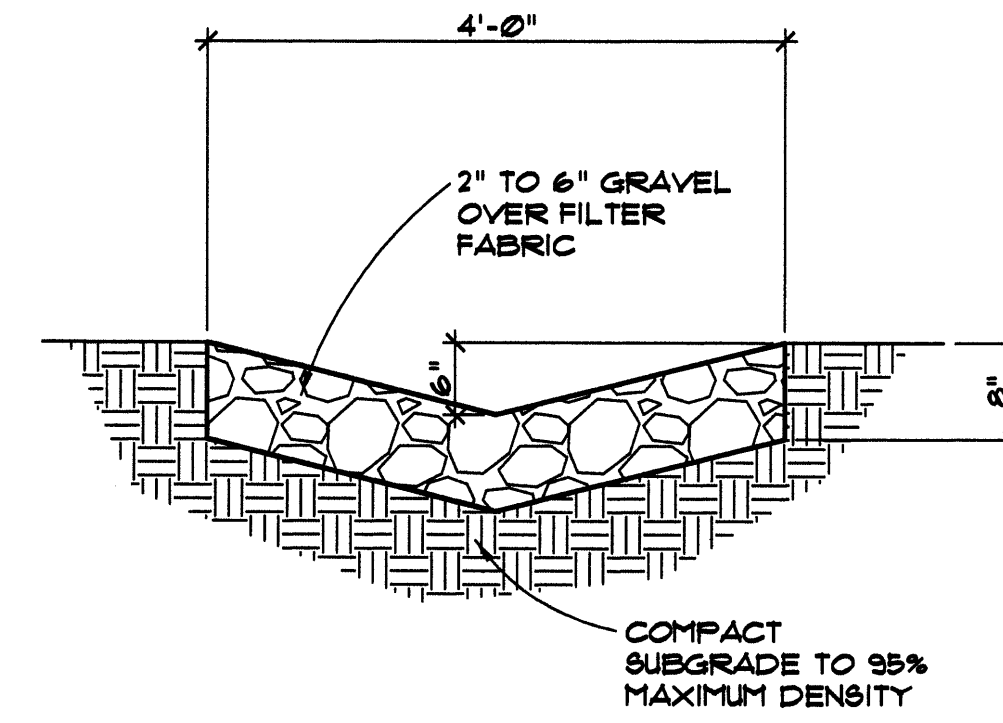
1 TYPICAL CONCRETE SLAB / CONTROL JOINT
3/4" = 1'-0"



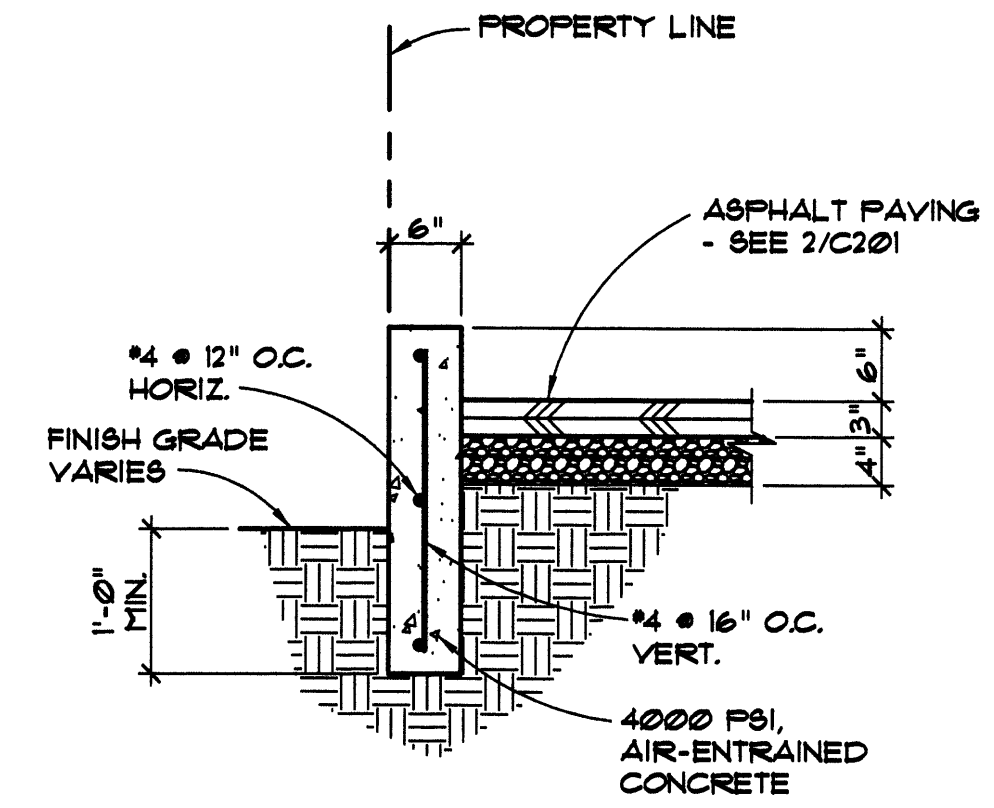
2 TYPICAL PAVING SECTION
3/4" = 1'-0"



3 CONCRETE CHANNEL
3/4" = 1'-0"



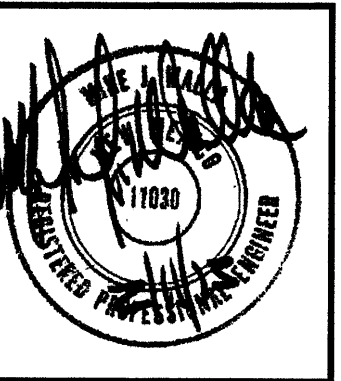
4 GRAVEL SWALE
3/4" = 1'-0"



5
3/4" = 1'-0"

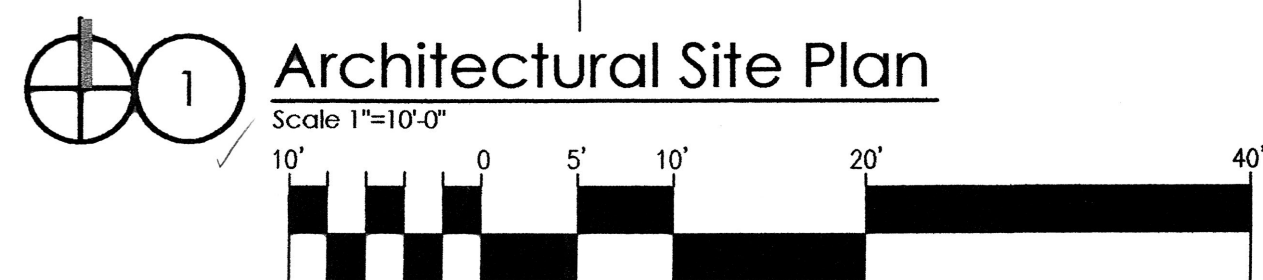
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MH
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924 Park Avenue SW
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job number	12-22
drawn by	LK
project manager	MW
date	02-11-2013

project title
Casa de la Paz
218 Yale Blvd, SE
Albuquerque, New Mexico
sheet title
GRADING & DRAINAGE DETAILS

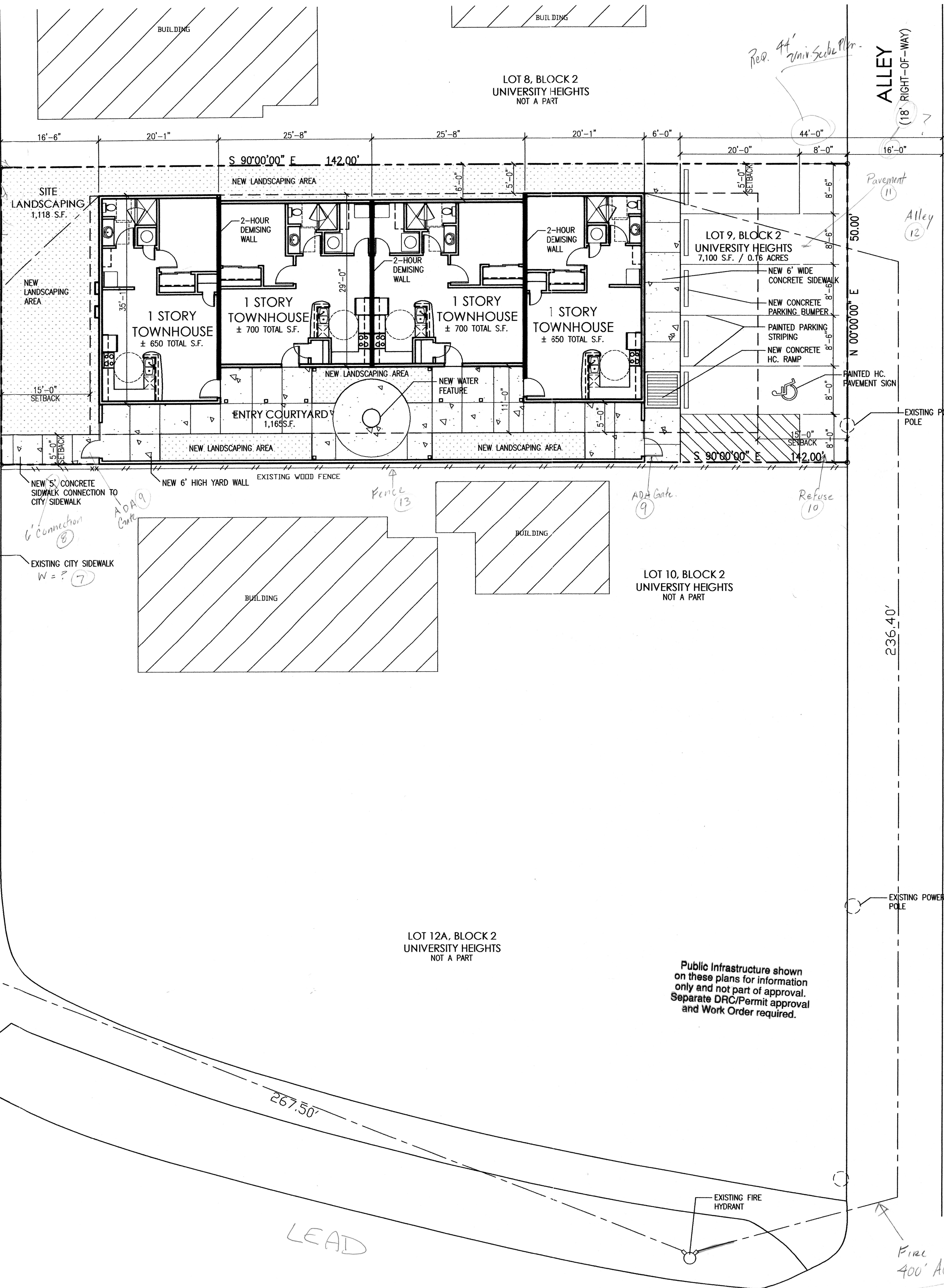


YALE BLVD.
(76' RIGHT-OF-WAY)

EXISTING CURB CUT TO BE
REMOVED AND REPLACED
WITH LANDSCAPING.

②
③
④
⑤
⑥

N 00°00'00" E 50.00'



Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

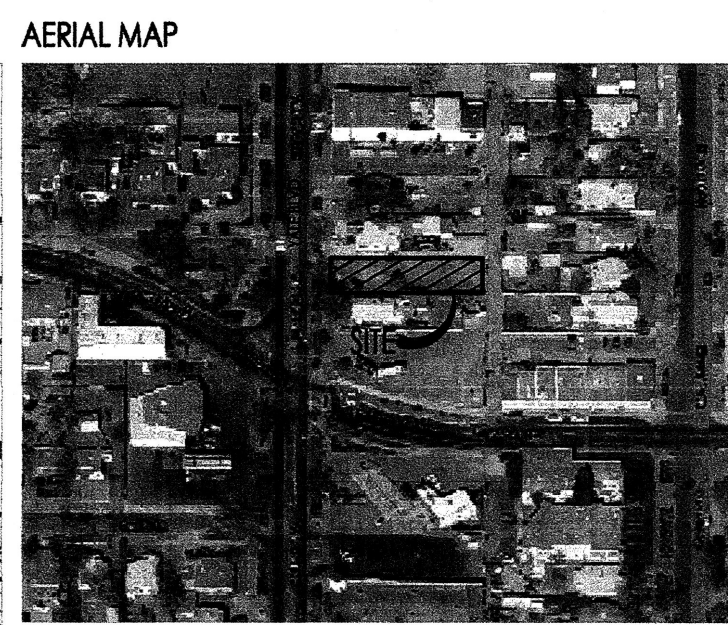
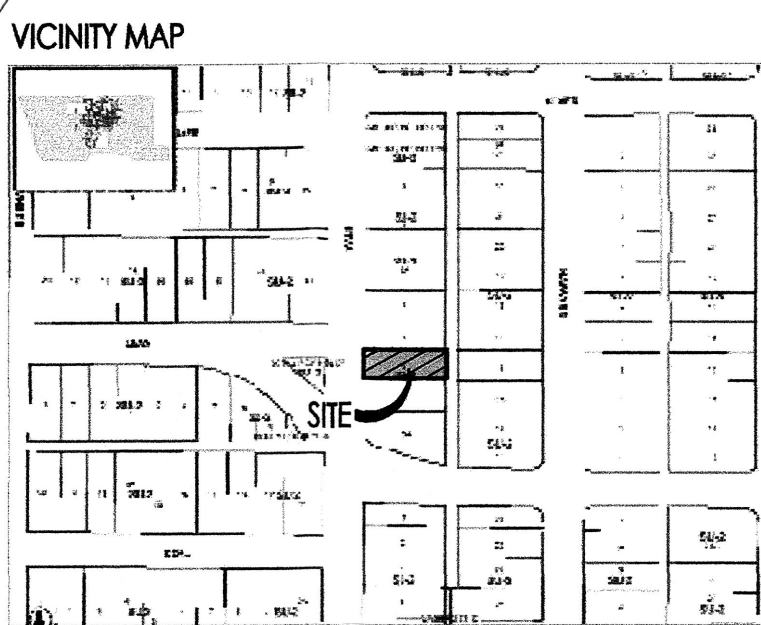
EXISTING POWER
POLE

236'-40"

S 90°00'00" E 142.00'

Alley
12

ALLEY
(18' RIGHT-OF-WAY)



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 9, BLOCK 2, UNIVERSITY HEIGHTS, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO ✓
BUILDING ADDRESS: 218 YALE BOULEVARD S.E., ALBUQUERQUE, N.M.
LAND AREA: 0.16 ACRES (7,100 SQ. FT.)
CURRENT ZONING: SU-2 R3C
LOT AREA: PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE R-1 RESIDENTIAL ZONE (14-16-2-9) (D) (2):

4 UNITS x 1760 =	= 7,040 TOTAL SF.
REQUIRED LOT AREA	= 7,100 TOTAL SF.

LOT AREA: K-15-Z
ZONE ATLAS PAGE: K-15-Z
BUILDING AREAS: ONE-STORY TOWNHOUSES 650 TOTAL SF. (2 UNITS) PER UNIT
ONE-STORY TOWNHOUSES 700 TOTAL SF. (2 UNITS) PER UNIT
TOTAL BUILDING AREA ON THIS SITE = 2,700 SF. MAX.

PARKING CALCULATIONS: PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1) (24) (b): "FOR EACH DWELLING WITH NET LEASEABLE AREA OF LESS THAN 1,000 SF. AND WHICH IS NOT COVERED BY EITHER DIVISIONS (c) OR (b) OF THIS DIVISION (24): ONE SPACE PER BATH BUT NOT LESS THAN ONE AND ONE-HALF SPACES."
4 UNITS (WITH ONE BATH) = 6 SPACES REQUIRED
6 SPACES REQ'D x 10% (BUS ROUTE CREDIT - ROUTE 97) = 5 SPACES REQUIRED

INCLUDING WITH THE PROVIDED SPACES
- 4 REGULAR SPACES
- 1 HANDICAP PARKING SPACE

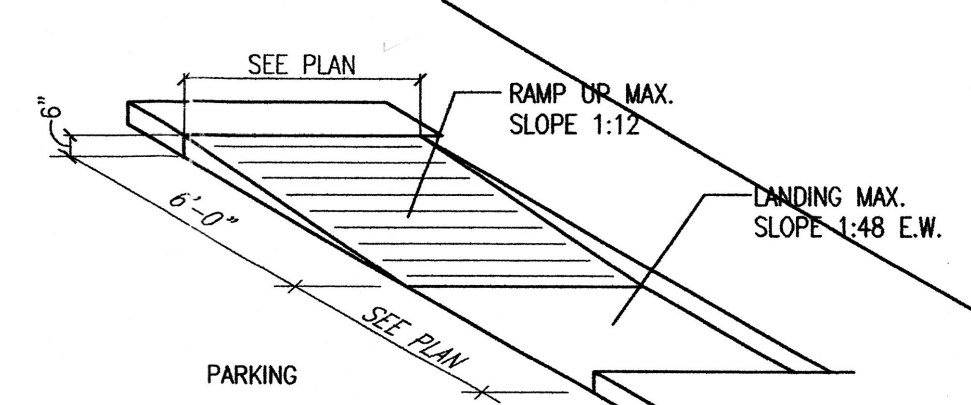
BUILDING SETBACKS: FRONT: 15'-0"
SIDE: 5'-0"
REAR: 15'-0"

USABLE OPEN SPACE: BETWEEN BUILDING: THERE SHALL BE A DISTANCE OF NOT LESS THAN 10 FEET BETWEEN RESIDENTIAL BUILDINGS.
SETBACKS PER: THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN: R3C ZONE (RESIDENTIAL/TOWNHOUSE/DUPLEX ZONE)
PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE R-1 RESIDENTIAL ZONE (14-16-2-9) (C) (1): "USABLE OPEN SPACE SHALL BE PROVIDED ON-SITE AT...550 SQUARE FEET PER TOWNHOUSE DWELLING UNIT, AND 360 SQUARE FEET PER TOWNHOUSE DWELLING UNIT ON A LOT WITH VEHICLE ACCESS ONLY TO THE REAR YARD FROM AND ALLEY."
4 UNITS x 360 SF. = 1,440 SF
REQUIRED OPEN SPACE
1,118 SF. (SITE LANDSCAPE) = 1,118 SF.
1,163 SF. (ENTRY COURTYARD) = 1,163 SF.
= 2,283 SF TOTAL
PROVIDED OPEN SPACE

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT: 26'-0"
STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: R-2 RESIDENTIAL ZONE (14-16-2-11) (C), AND THE UNIVERSITY NEIGHBORHOOD SECTOR DEVELOPMENT PLAN

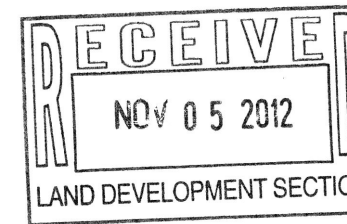
PER CITY OF COMPREHENSIVE ZONING CODE R-2 RESIDENTIAL ZONE (14-16-2-11) (C): "STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 600 ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN § 14-16-3-3 AND § 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES."

AND PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
Signature & Date



2 H.C. Ramp Detail
Scale: Not To Scale (Isometric)

Reviewed Ck3
11/7/12
Referenced on plans
Correspond to Comment
Letter. etc.



revision
by
date
rev

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STATE OF NEW MEXICO
JOHN DOUGLAS
HELLER
NO. 2827
REGISTERED ARCHITECT

12-22
SAM
AIA
Douglas Heller, AIA
11/01/12

job number
drawn by
project manager
date

Project title
Yale Courtyards
218 Yale Blvd, SE
Albuquerque, New Mexico

sheet title
Architectural Site Plan

sheet-
A001