

CITY OF ALBUQUERQUE



July 21, 2016

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**Re: Residential Units
413 Harvard Dr. SE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 12-17-15 (K16D083)
Certification dated: 7-18-16**

Dear Mr. Valdez,

Based on the Certification received 7/20/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293 If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (RFV 09/2015)

Project Title: G&D @ 413 HARVARD DRIVE S.E. Building Permit #: _____ City Drainage #: K16D083
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 18, BLK. 4, UNIVERSITY HEIGHTS ADDITION
City Address: 413 HARVARD DRIVE S.E.
Engineering Firm: LEVI J. VALDEZ, P.E. Contact: LEVI VALDEZ
GEORGE T. RODRIGUEZ, DEVEL. CONSULT. GEORGE RODRIGUEZ
Address: 12800 SAN JUAN N.E., ALBUQUERQUE NEW MEXICO 87123
Phone#: 505-610-0593 Fax#: _____ E-mail: paurod@hotmail.com
Owner: 1ST CHOICE REALTY Contact: FRED RIVERA
Address: LOMAS N.W., CITY
Phone#: 505-244-3800 Fax#: _____ E-mail: _____
Architect: ? Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DATE SUBMITTED: 07-20-16 By: GEORGE T. RODRIGUEZ

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

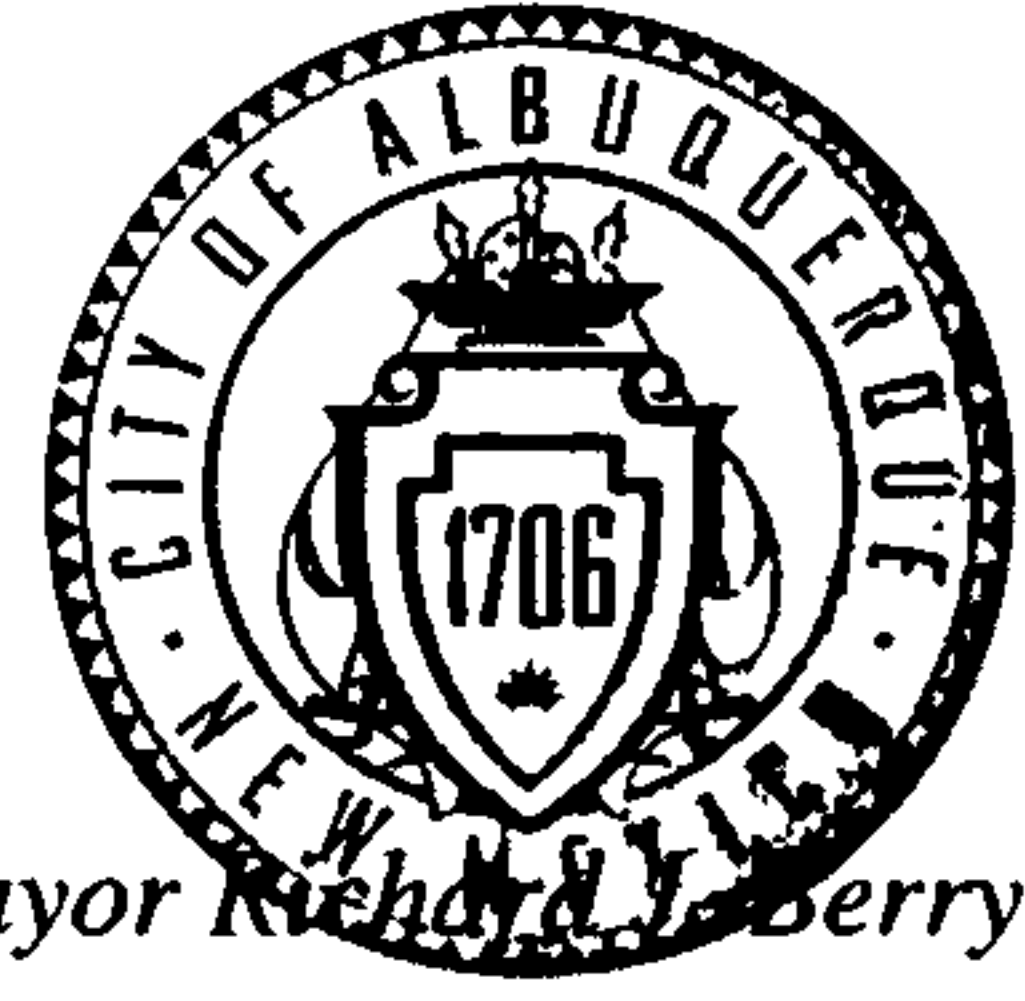
APPROVED
20 2016
SECTION
DEVELOPMENT
PAID \$50.00

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED _____

CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



Mayor Richard J. Berry

October 27, 2015

Levi J. Valdez, PE
George T Rodriguez-Development Consultant
12800 San Juan Rd. SE
Albuquerque, NM 87123

**Re: 413 Harvard Dr. SE
Grading & Drainage Plan
Engineer's Stamp dated: 12-17-15 (K16D083)**

Dear Mr. Valdez,

Based on the information provided in your submittal received 12/21/2015, this plan is approved for building Permit.

PO Box 1293

Please attach a copy of this approved plan, dated 10-26-15, to the construction sets in the permitting process prior to sign-off by Hydrology.

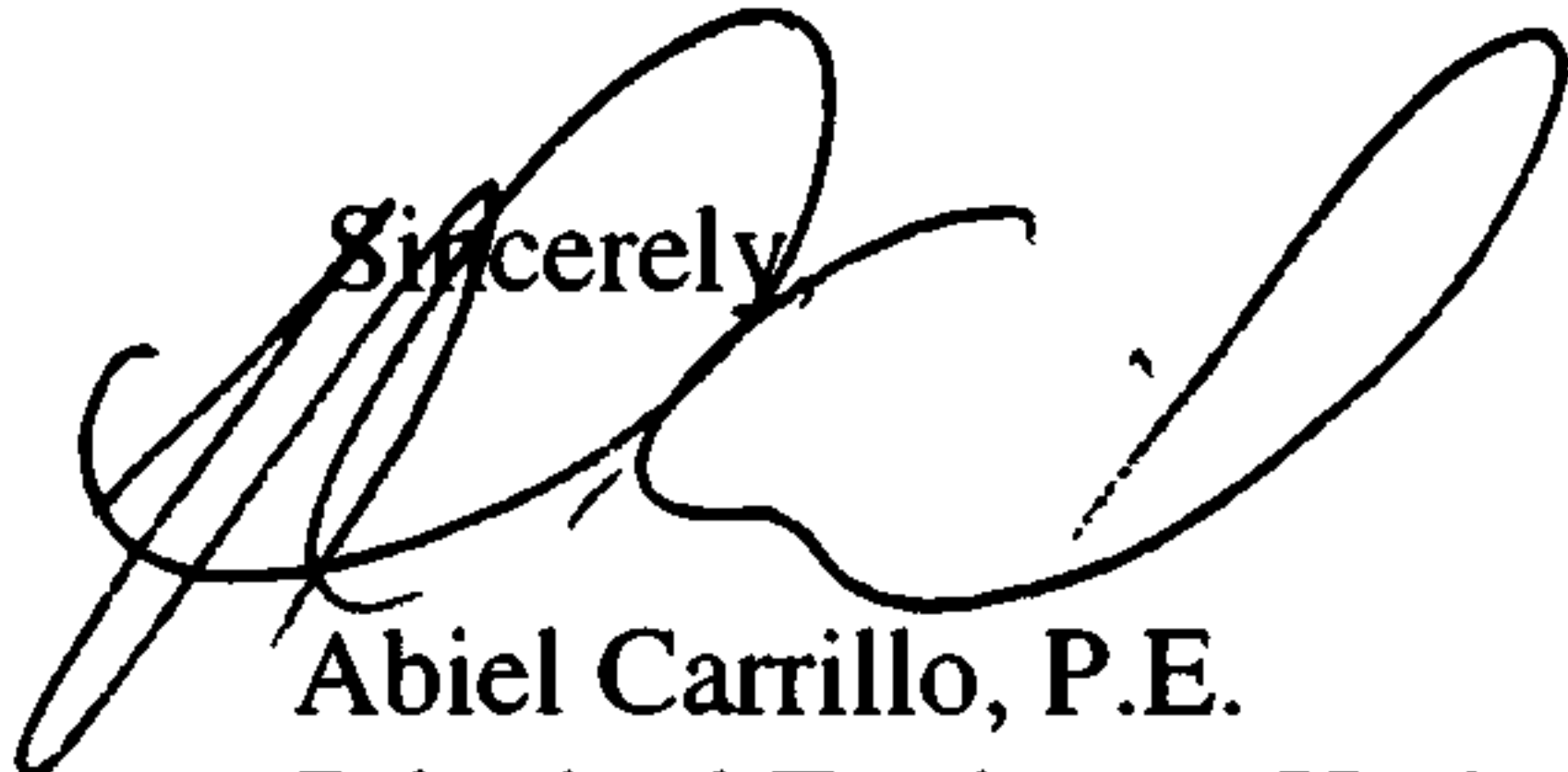
Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

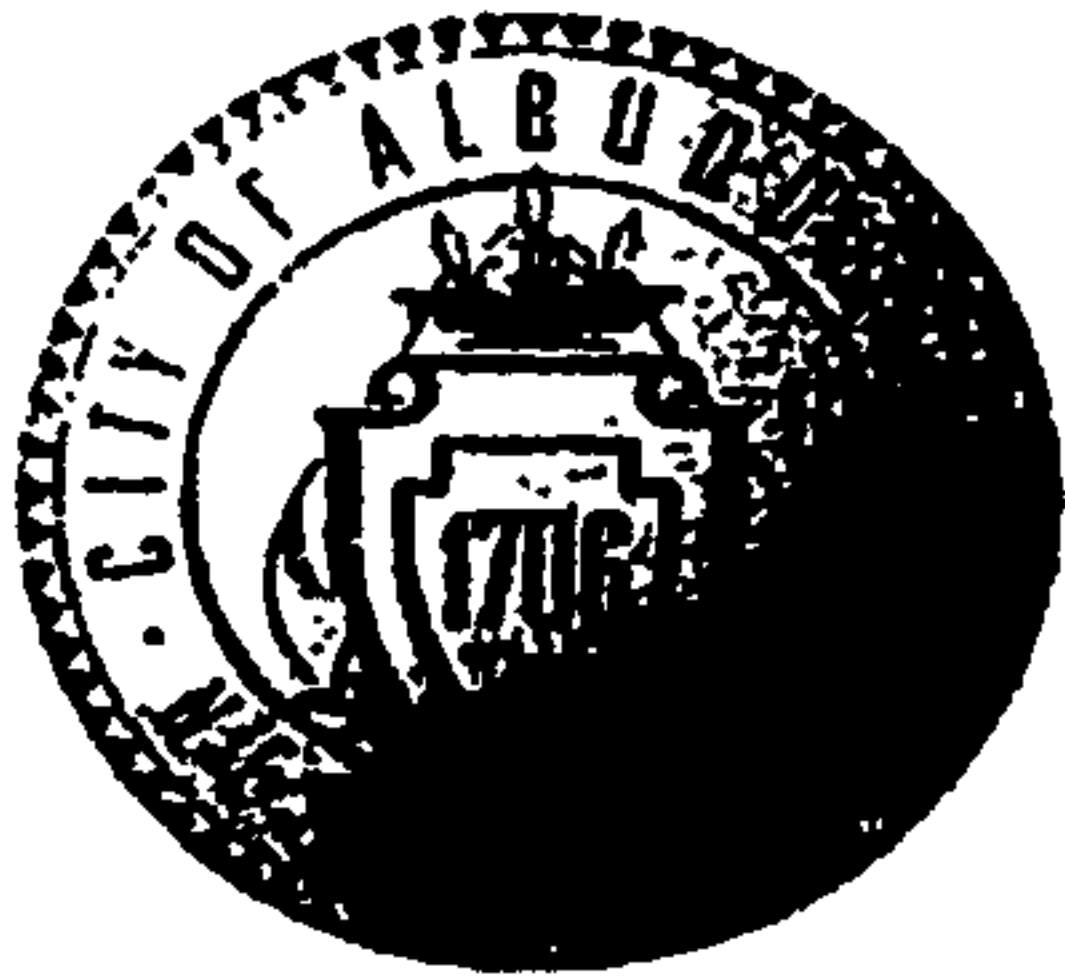
If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,


Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

C: RR/AC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

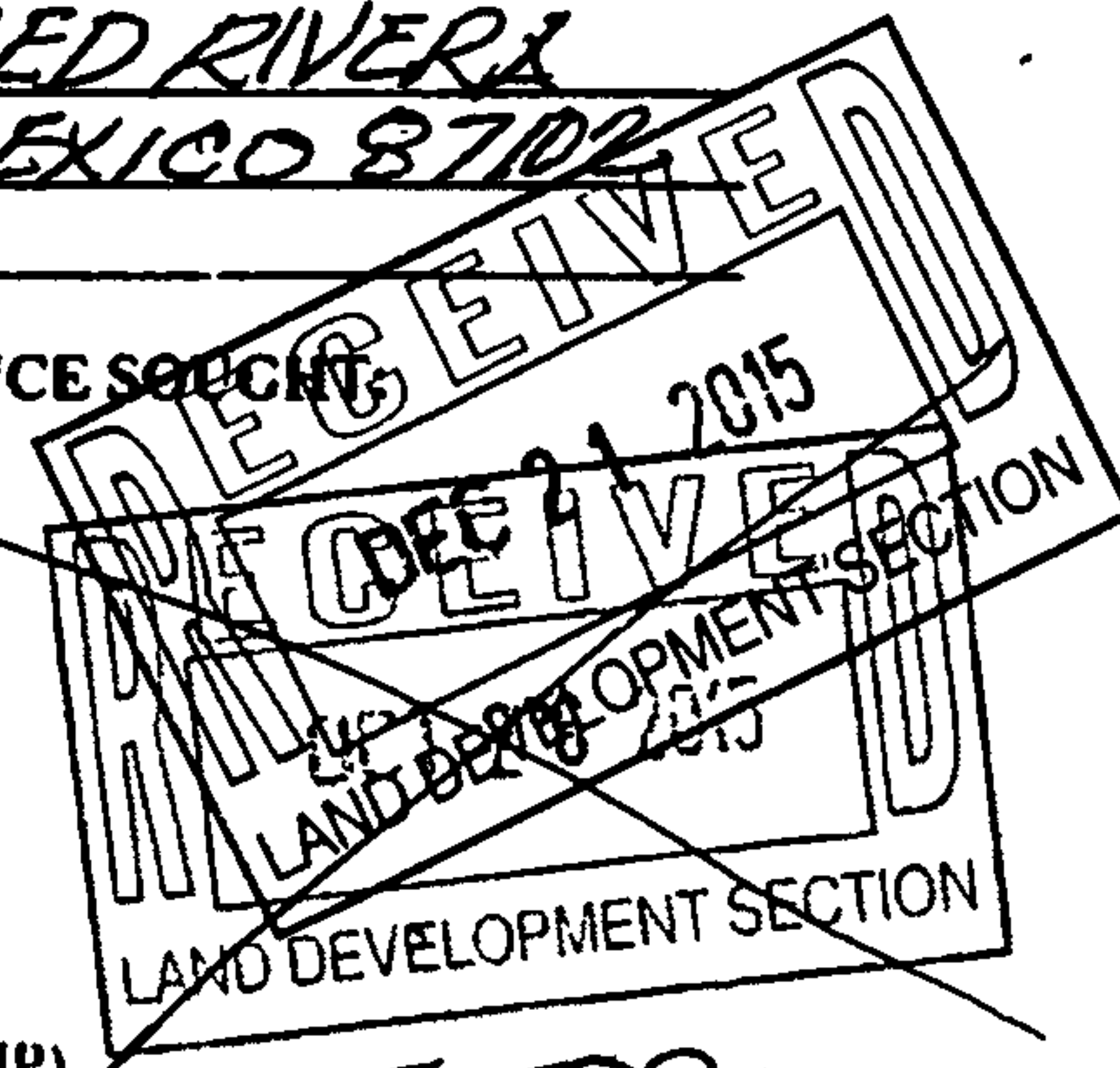
Project Title: 413 HARVARD DRIVE S.E. City Drainage #: K16D083
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 18, BLOCK 4, UNIVERSITY HEIGHTS ADDITION
City Address: 413 HARVARD DRIVE S.E., ALBUQUERQUE, NEW MEXICO 87108
Engineering Firm: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ-DEVELOPMENT CONSULT. Contact: LEVI VALDEZ
Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123
Phone#: 505-610-0593 Fax#: _____ E-mail: prwrod@hotmail.com
Owner: FIRST CHOICE EQUITY BUILDERS, INC. Contact: FRED RIVERA
Address: 1020 LOMAS BLVD. N.W., ALBUQUERQUE, NEW MEXICO 87102
Phone#: 505-244-3800 Fax#: _____ E-mail: _____
Architect: J&F CONCEPTS, JAMES FENTON-DESIGNER Contact: JAMES FENTON
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: CHRISTOPHER J. DEHLER, P.L.S. Contact: _____
Address: 3827 PALACIO DEL RIO GRANDE N.W., ALBUQUERQUE, NEW MEXICO 87107
Phone#: 505-414-8223 Fax#: _____ E-mail: _____
Contractor: FIRST CHOICE EQUITY BUILDERS, INC. Contact: FRED RIVERA
Address: 1020 LOMAS BLVD. N.W., ALBUQUERQUE, NEW MEXICO 87102
Phone#: 505-244-3800 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒

No ☐

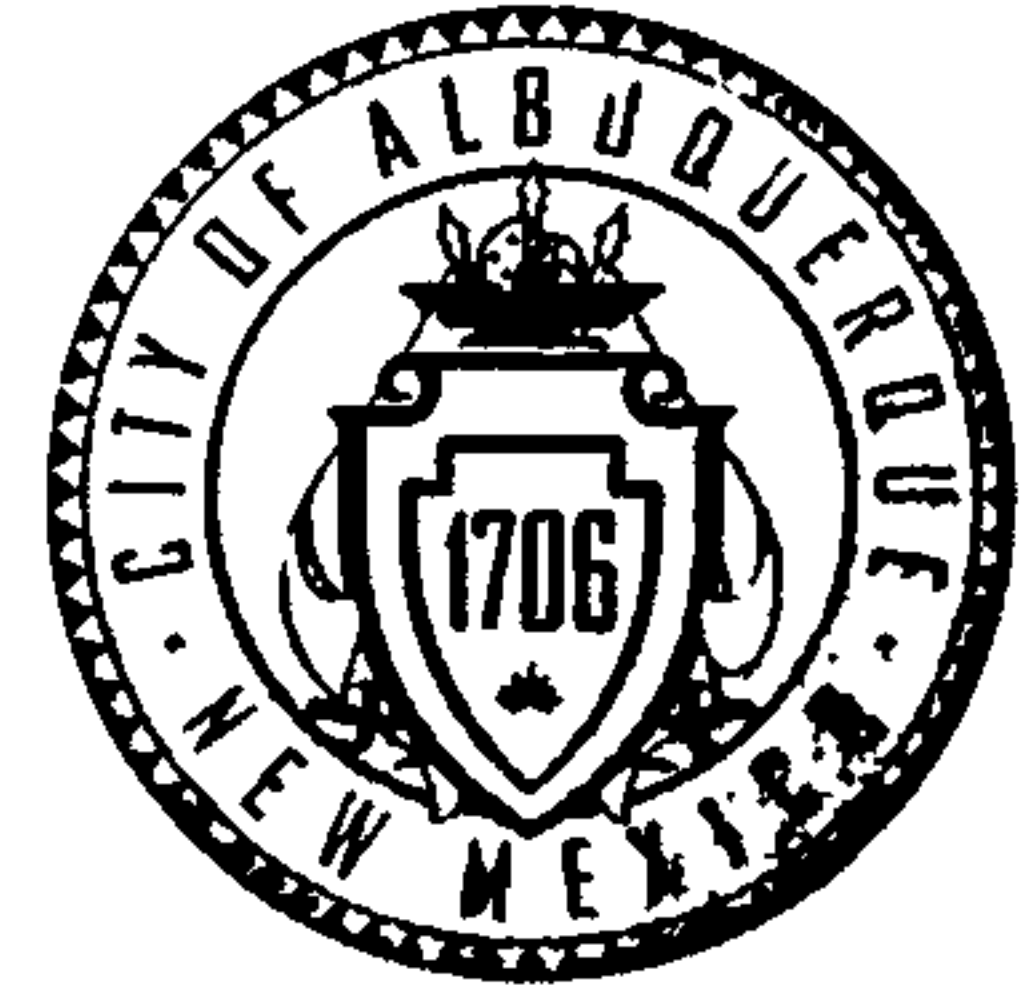
Copy Provided ☐

DATE SUBMITTED: 12-21-15 By: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

CITY OF ALBUQUERQUE



November 30, 2015

Levi Valdez, PE

Levi J. Valdez & George Rodriguez Development Consultant

12800 San Juan, N.E.

Albuquerque, NM 87123

Richard J. Berry, Mayor

RE: 413 Harvard Drive SE (File: K16D083)
Grading and Drainage Plan
Engineer's Stamp Date – 10/19/15

Dear Mr. Valdez:

Based upon the information provided in your submittal received 10-19-15, the above referenced Grading Plan cannot be approved for Building Permit until the following comments are addressed.

- Provide offsite discharge flows to the alley west of the property and to Harvard Dr. east of the property. Drainage patterns for both the alley and Harvard Dr. appear to flow south. Ensure that offsite flows can be captured by downstream inlets and that no properties are adversely affected by discharged flows.
- Provide documentation allowing flows to enter alley west of the property.
- Provide adequate detailed information on the Grading Plan to ensuring no flows enter adjacent properties to the north and south.
- Show limits of concrete removal at the northeast property corner to accommodate First Flush Pond 1.
- Clearly identify and define property lines.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3994.

www.cabq.gov

Sincerely,

Rudy Archuleta, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

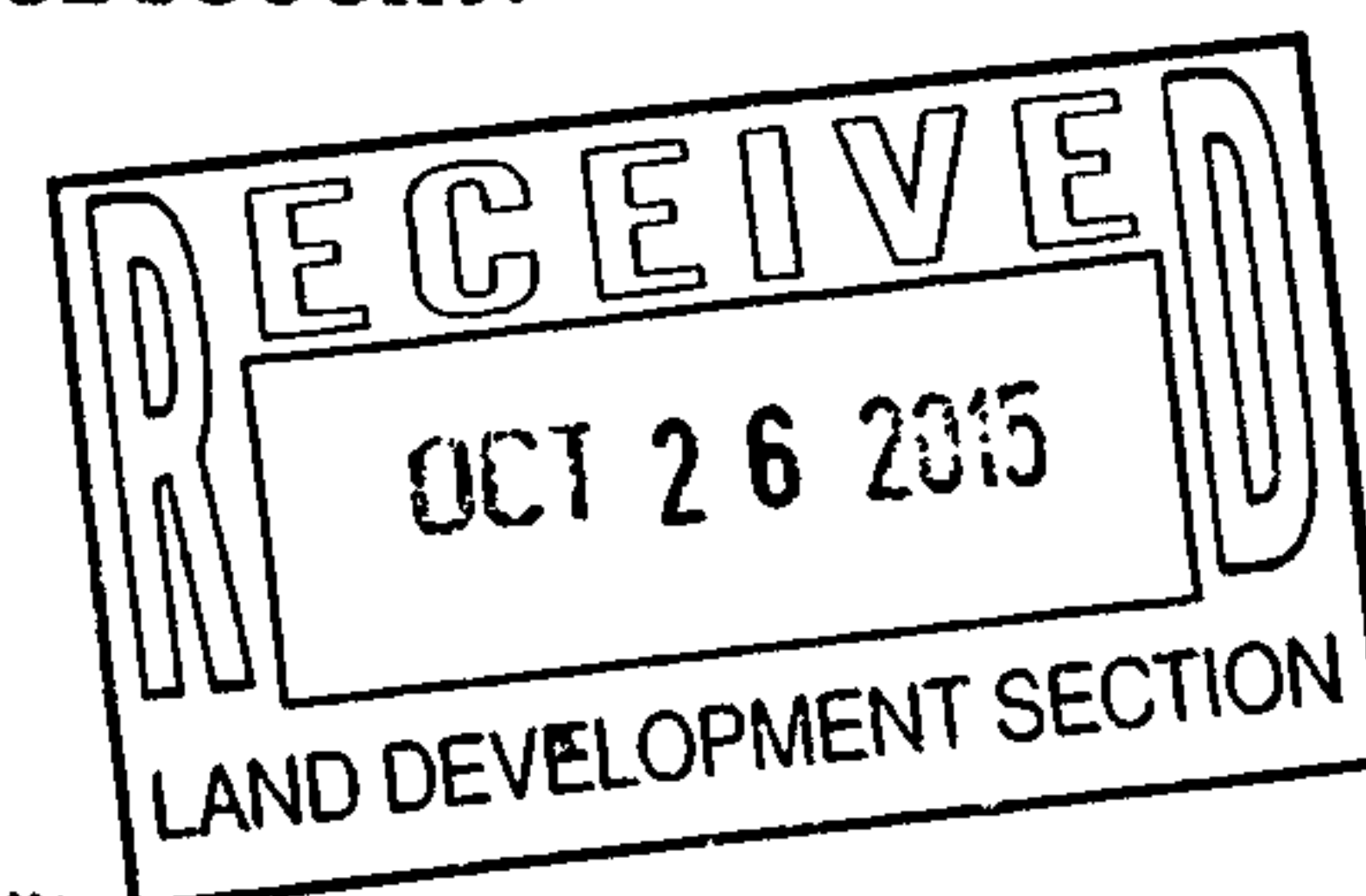
Project Title: 413 HARVARD DRIVE S.E. City Drainage #: K16D083
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 18, BLOCK 4, UNIVERSITY HEIGHTS ADDITION
City Address: 413 HARVARD DRIVE S.E., ALBUQUERQUE, NEW MEXICO 87108
Engineering Firm: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ - DEVELOPMENT CONSULT. Contact: LEVI VALDEZ
GEORGE RODRIGUEZ
Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123
Phone#: 505-610-0593 Fax#: _____ E-mail: prwrod@hotmail.com
Owner: FIRST CHOICE EQUITY BUILDERS, INC. Contact: FRED RIVERA
Address: 1020 LOMAS BLVD. N.W., ALBUQUERQUE, NEW MEXICO 87102
Phone#: 505-244-3800 Fax#: _____ E-mail: _____
Architect: J&F CONCEPTS, JAMES FENTON-DESIGNER Contact: JAMES FENTON
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: CHRISTOPHER J. DEHLER, P.L.S. Contact: _____
Address: 3827 PALACIO DEL RIO GRANDE N.W., ALBUQUERQUE, NEW MEXICO 87107
Phone#: 505-414-8223 Fax#: _____ E-mail: _____
Contractor: FIRST CHOICE EQUITY BUILDERS, INC. Contact: FRED RIVERA
Address: 1020 LOMAS BLVD. N.W., ALBUQUERQUE, NEW MEXICO 87102
Phone#: 505-244-3800 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



\$ 50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐

Copy Provided _____

DATE SUBMITTED: 10-21-15

By: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development