

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 12, 2021

Treveston R. Elliot
Treveston Elliot Architect
811 12th St NW
Albuquerque, NM

Re: 424/422 Stanford
424/422 Stanford Dr. SE 87106
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 01-30-2020 (K16D084)
Certification dated 3-10-21

Dear Mr. Elliot

PO Box 1293

Based upon the information provided in your submittal received 3-10-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

CODE DATA
 2015 International Building Code
 2015 Uniform Plumbing Code
 2015 Uniform Mechanical Code
 2017 National Electrical Code
 2009 International Energy Conservation Code
 2015 International FIRE Code

TRAFFIC CIRCULATION LAYOUT APPROVED
 Signed: *[Signature]* Date: 1-31-20

City of Albuquerque Location: 422 / 424 Stanford Dr. SE Albuquerque, New Mexico 87106
 Zoning: R-ML / R-T
 Zoning Atlas Page: G-16
 Setbacks:
 15' Front R-T
 15' Rear R-T
 5' Side R-T
 15' Front R-ML
 15' Rear R-ML
 5' Side Interior R-ML
 10' Side Corner R-ML
 Height:
 26' Max R-T
 35' Max R-ML
 Parking:
 1 Space per 2 BR DU
Total Spaces required = 10
Total Spaces provided = 10
 Usable Open Space 250 sq.ft. per two bedroom R-ML NA per R-T
 Bld. Area: Building A = 5,250 sq.ft. (1,050 sq.ft. per unit)
 Building B = 5,250 sq.ft. (1,050 sq.ft. per unit)
 Total = 10,500 sq.ft.
 Occupancy: R-3
 Construction Type: Type Vb
 Separation: 1 Hour Btwn Units
 Seismic: C
 Sprinkler: NOT REQUIRED
 Wind Speed: 115 3 second gust

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

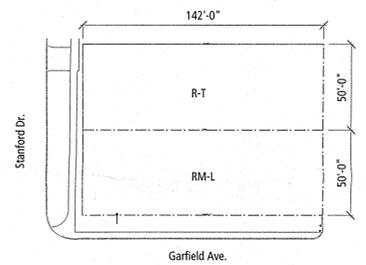
TREVESTON ELLIOTT ARCHITECT
 811 17TH ST. NW ALBUQUERQUE, NEW MEXICO 87102
 C 505.259.4617 treveston@architect.com www.trevestonarchitect.com

RECEIVED
 JAN 30 2020
 LAND DEVELOPMENT SECTION

CITY OF ALBUQUERQUE
 "SOLID WASTE" MANAGEMENT DEPARTMENT
 APPROVED H.G. 01/31/20

422 / 424 Stanford Dr. SE ALBUQUERQUE, NEW MEXICO 87106

Construct two new residential townhouse buildings with five units in each on single lot.



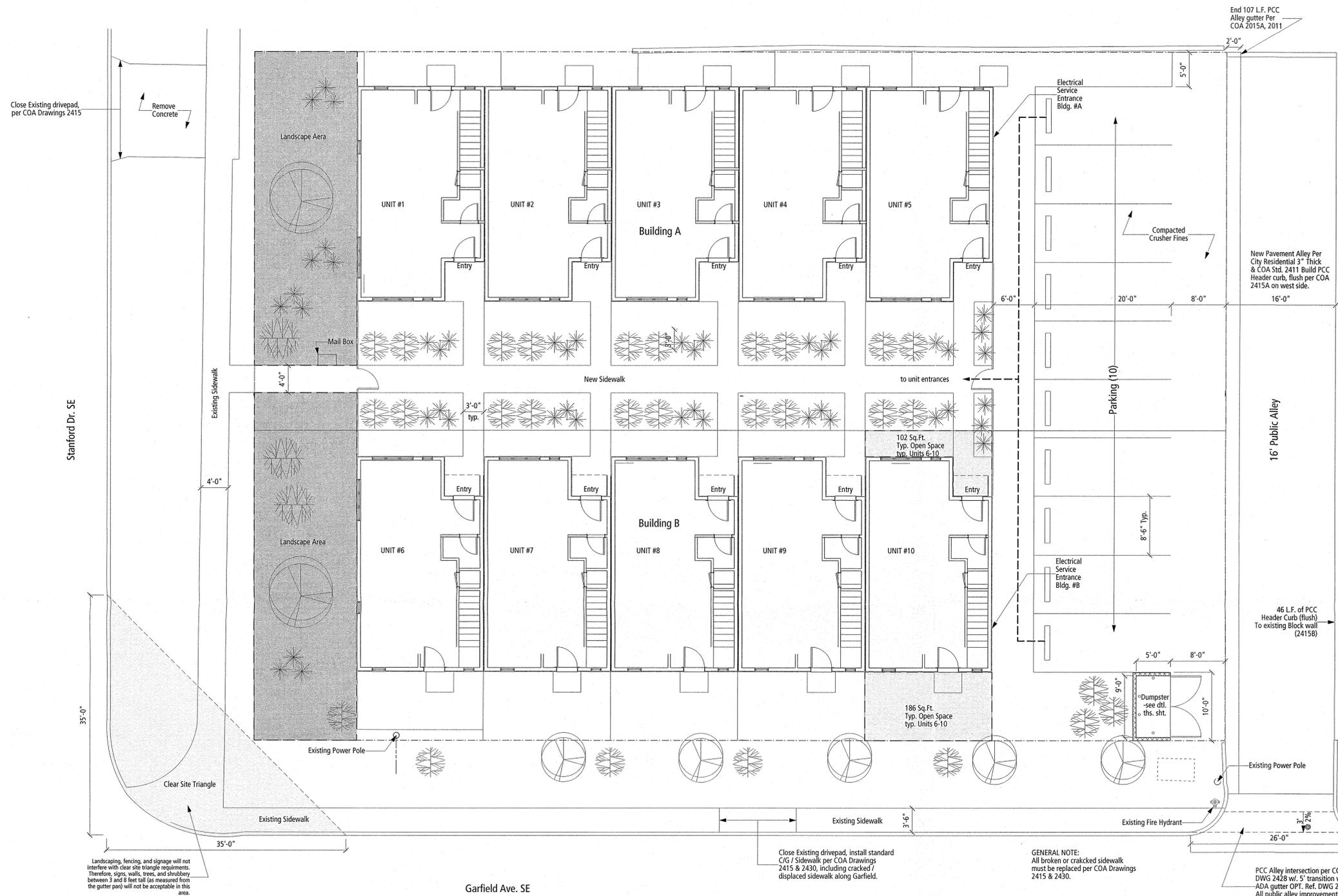
1 Site Plan - Existing Scale: 1" = 50'-0"

Project Site: 422 / 424 Stanford Dr. SE



STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 TREVESTON R. ELLIOTT
 No. 4136
 January 30, 2020

Date: January 30, 2020
 Sheet: Traffic Circulation Layout



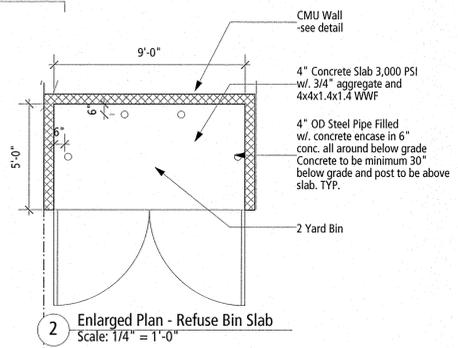
1 Site Plan - Proposed Scale: 1/8" = 1'-0"

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass (x23) mature 2' spread 3' hgt.
- Apache Plume (x20) mature 4' spread 3' hgt.
- Russian Sage (x17) mature 4' spread 4' hgt.

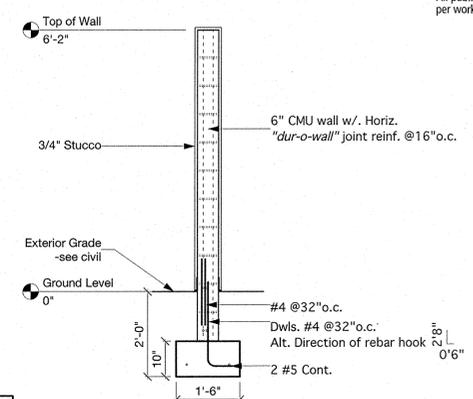
Irrigation System
 Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to.
 A fully automated drip irrigation system shall be installed.

Landscape Requirements

| | |
|--------------------------|---------------|
| Site Area | 14,200 sq.ft. |
| Building Footprint | 5,476 sq.ft. |
| Total Area: | 8,724 sq.ft. |
| Required Landscape 15% | .15 sq.ft. |
| Landscape Area Required: | 1,308 sq.ft. |
| Landscape Area Provided: | 1,438 sq.ft. |



2 Enlarged Plan - Refuse Bin Slab Scale: 1/4" = 1'-0"



3 Dumpster Enclosure Wall Detail Scale: 1/2" = 1'-0"

General Note:
 PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT.

Landscaping, fencing, and signage will not interfere with clear site triangle requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

Close Existing driveway, install standard C/G / Sidewalk per COA Drawings 2415 & 2430, including cracked / displaced sidewalk along Garfield.

GENERAL NOTE:
 All broken or cracked sidewalk must be replaced per COA Drawings 2415 & 2430.

PCC Alley intersection per COA DWG 2428 w/ 5' transition w/ ADA gutter OPT. Ref. DWG 2415 All public alley improvements per work order.

TCL

811 12TH STREET NW
ALBUQUERQUE NM
87102

o 505.259.4617

www TEarchitect.com

TRAFFIC CERTIFICATION

I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 422 / 424 STANFORD DR SE 87106 IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JANUARY 30, 2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED EN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

WITH NO EXCEPTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USENG IT FOR ANY OTHER PURPOSE.



March 10 2021 Treveston Elliott RA





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** BP-2020-14537 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: 422 /424 Stanford Dr SE, 87106

Applicant: Treveston Elliott Architect **Contact:** Treveston Elliott
Address: 811 12th St NW
Phone#: 505.259.4617 **Fax#:** _____ **E-mail:** treveston@tearchitect.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? Yes _____ No

DEPARTMENT TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: March 10, 2021 **By:** _____

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____