

**CODE DATA**  
 2015 International Building Code  
 2015 Uniform Plumbing Code  
 2015 Uniform Mechanical Code  
 2017 National Electrical Code  
 2009 International Energy Conservation Code  
 2015 International FIRE Code

City of Albuquerque  
 Location: 422/ 424 Stanford Dr. SE  
 Albuquerque, New Mexico 87106

Zoning: R-ML / R-T  
 Zoning Atlas Page: G-16

Setbacks:  
 15' Front R-T  
 15' Rear R-T  
 5' Side R-T  
 15' Front R-ML  
 15' Rear R-ML  
 5' Side Interior R-ML  
 10' Side Corner R-ML

Height:  
 26' Max R-T  
 35' Max R-ML

Parking: 1 Space per 2 BR DU

**Total Spaces required = 10**  
**Total Spaces provided = 10**

Usable Open Space 250 sq.ft. per two bedroom R-ML  
 NA per R-T

Bld. Area: Building A = 5,250 sq.ft. (1,050 sq.ft. per unit)  
 Building B = 5,250 sq.ft. (1,050 sq.ft. per unit)  
 Total = 10,500 sq.ft.

Occupancy: R-3

Construction Type: Type Vb

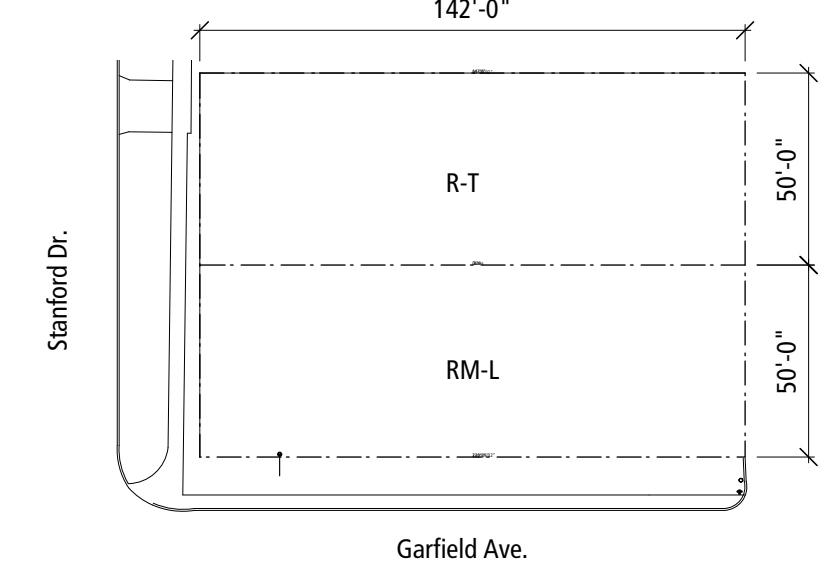
Separation: 1 Hour Btwn Units

Seismic: C

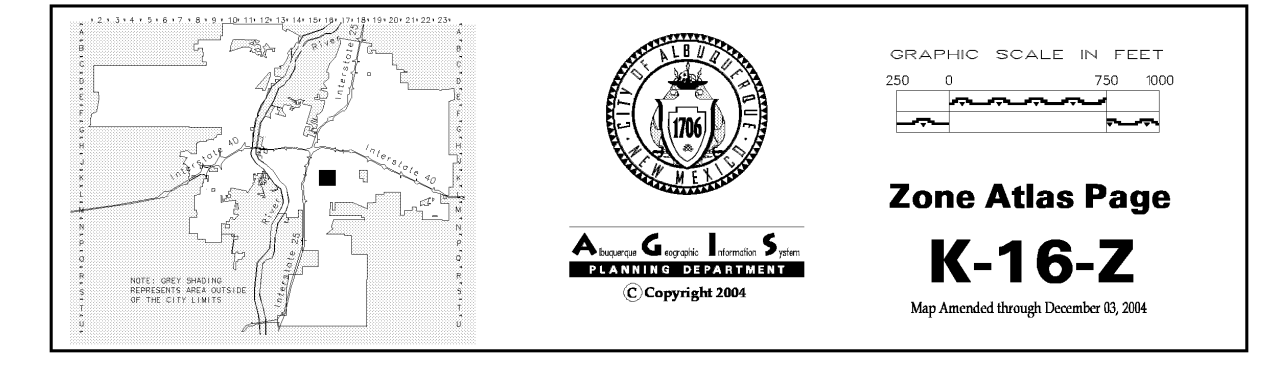
Sprinkler: NOT REQUIRED

Wind Speed: 115 3 second gust

Construct two new residential townhouse buildings with five units in each on single lot.



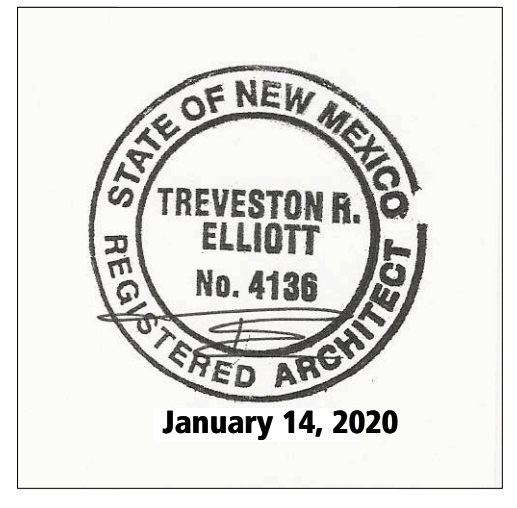
1 Site Plan - Existing  
 Scale: 1" = 50'-0"  
 Project Site: 422 / 424 Stanford Dr. SE



TREVESTON ELLIOTT ARCHITECT

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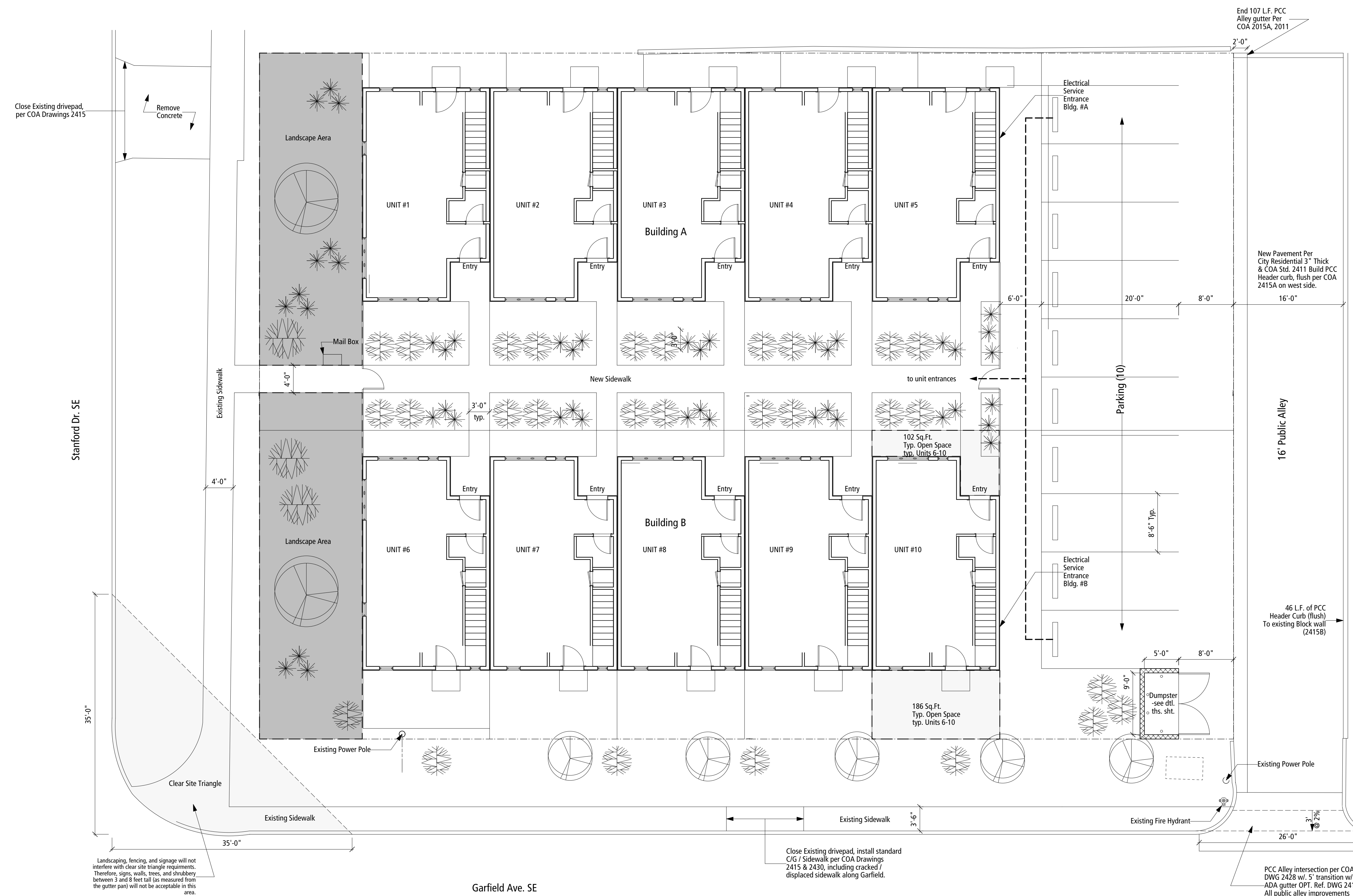
422 / 424 Stanford Dr. SE  
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Date: January 14, 2020

Sheet: Traffic Circulation Layout

TCL



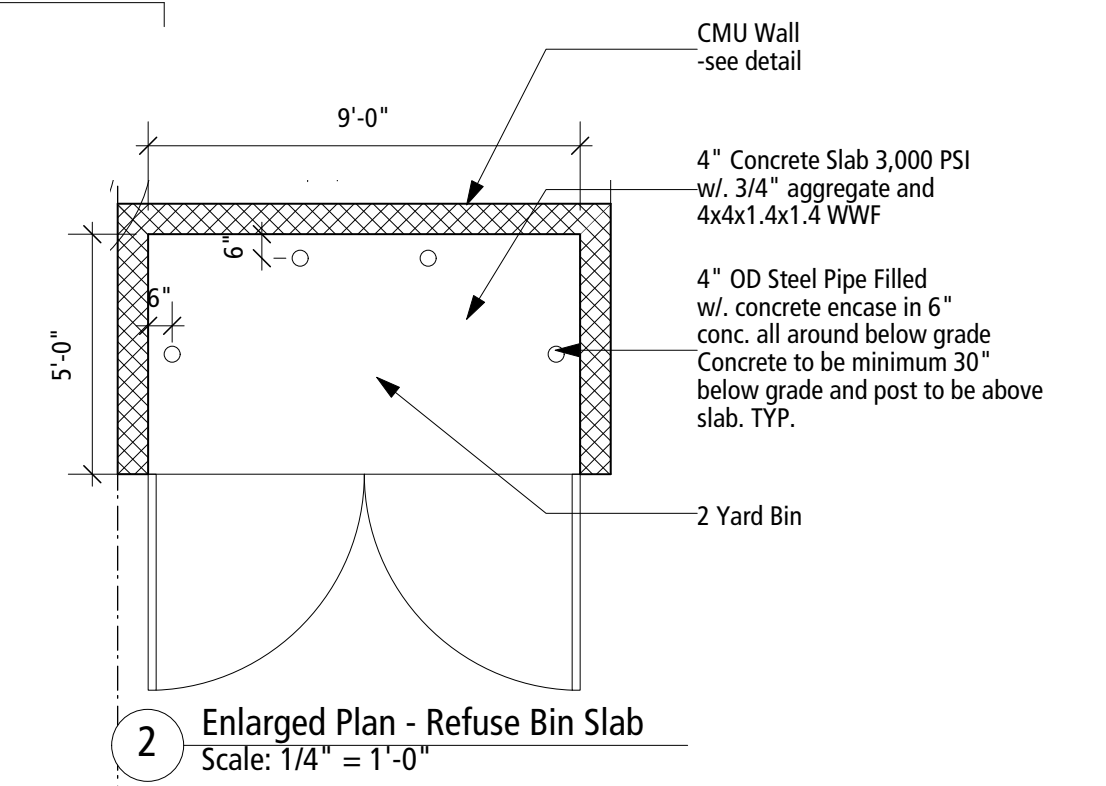
1 Site Plan - Proposed  
 Scale: 1/8" = 1'-0"

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass (x23) mature 2' spread 3' hgt.
- Apache Plume (x20) mature 4' spread 3' hgt.
- Russian Sage (x17) mature 4' spread 4' hgt.

Irrigation System  
 Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to.  
 A fully automated drip irrigation system shall be installed.

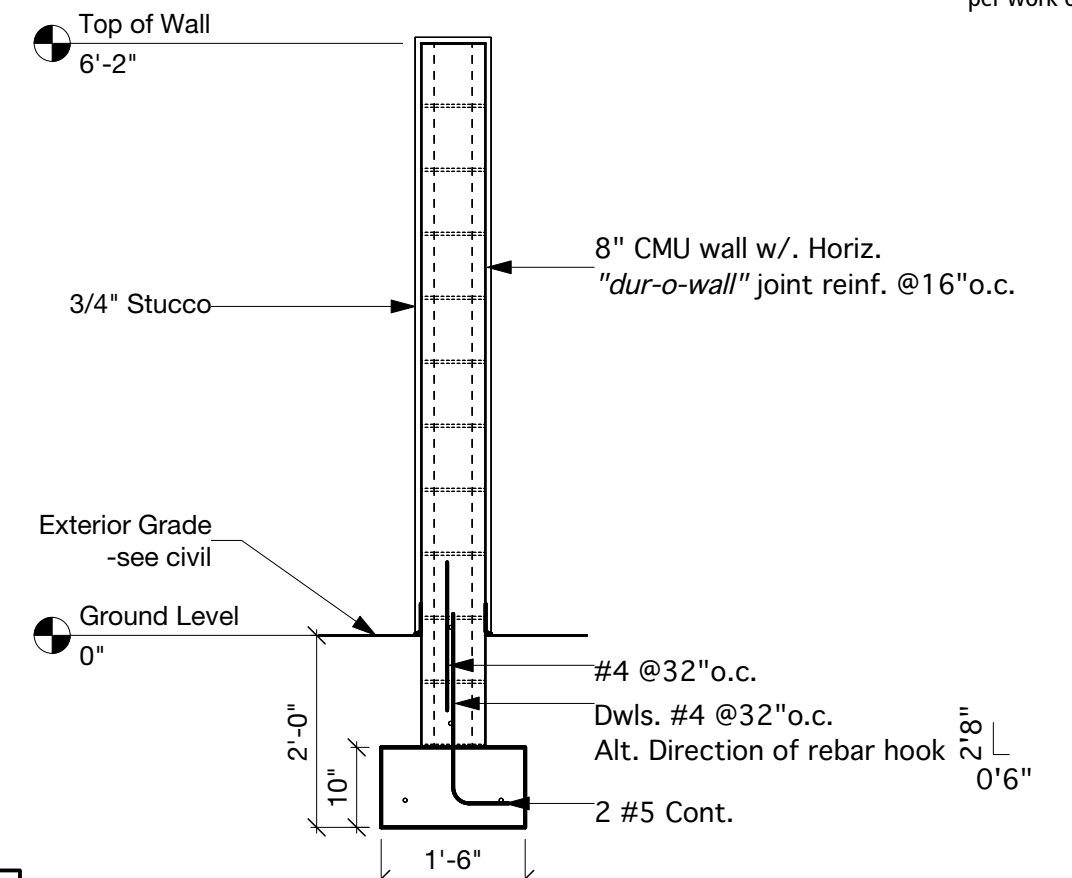
Landscape Requirements

Site Area	14,200 sq.ft.
Building Footprint	5,476 sq.ft.
Total Area:	8,724 sq.ft.
Required Landscape 15%	.15 sq.ft.
Landscape Area Required:	1,308 sq.ft.
Landscape Area Provided:	1,438 sq.ft.



2 Enlarged Plan - Refuse Bin Slab  
 Scale: 1/4" = 1'-0"

General Note:  
 PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT.



3 Dumpster Enclosure Wall Detail  
 Scale: 1/2" = 1'-0"

Landscaping, fencing, and signage will not interfere with clear site triangle requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

Close Existing driveway, install standard C/G / Sidewalk per COA Drawings 2415 & 2430, including cracked / displaced sidewalk along Garfield.

PCC Alley intersection per COA DWG 2428 w/ 5' transition w/ ADA gutter OPT. Ref. DWG 2415 All public alley improvements per work order.

46 L.F. of PCC Header Curb (Flush) To existing Block wall (24158)

End 107 L.F. PCC Alley gutter Per COA 2015A, 2011