

CITY OF ALBUQUERQUE



October 28, 2016

Applicant Name, PE, RA
Firm Name
Address
Albuquerque, NM 871XX

Re: Weems Law Office - 108 Wellesley Dr., SE
30-Day Temporary Certificate of Occupancy- Transportation Development
Architect's Stamp dated 1-25-16 (K16-D085)
Certification dated 10-25-16

Dear Mr. Grummer,

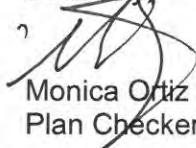
Based upon the information provided in your submittal received 10-27-16, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA Van accessible parking sign is missing and must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The ADA parking space must have a clearly visible, blue International Symbol of Accessibility painted on the pavement at the rear of the space (66-1-4.1.E NMSA 1978) or MUTCD recommends a white symbol on a blue background.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: WEEMS OFFICES Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 4, BLOCK 48 UNIVERSITY HEIGHTS

City Address: 108 WELLESLEY PL NE

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: DATHAN WEEMS Contact: DATHAN

Address: 108 WELLESLEY PL NE

Phone#: _____ Fax#: _____ E-mail: _____

Architect: MARTIN GRUMMER Contact: MARTIN

Address: 331 WELLESLEY PL NE

Phone#: 265-2507 Fax#: _____ E-mail: MGRUMMER@CENTURYLINK.NET

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 26 Oct 14 By: [Signature]

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☒ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

TRAFFIC CERTIFICATION

I, MARTIN GRUMMER , NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/25/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/20/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

*ENTRY DRIVE ON WELLESLEY IS 32'-7", north curb cut left as existing
HANDICAP AISLE ON EAST SIDE IS 5' WIDE*

*EAST WALKWAY IS 4'-0" WITH PLANTING AREA BETWEEN WALK
AND PARKING*

*NO PARKING SIGN ADDED ON ASPHALT BETWEEN THIS PROPERTY
AND PROPERTY TO NORTH*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Martin FM Grummer

Date: 10/25/16

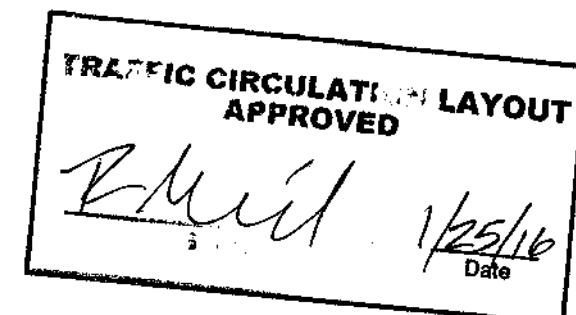
MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106
505-265-2507
mgrummer@centurylink.net

WEEMS LAW OFFICE ADDITION + REMODEL

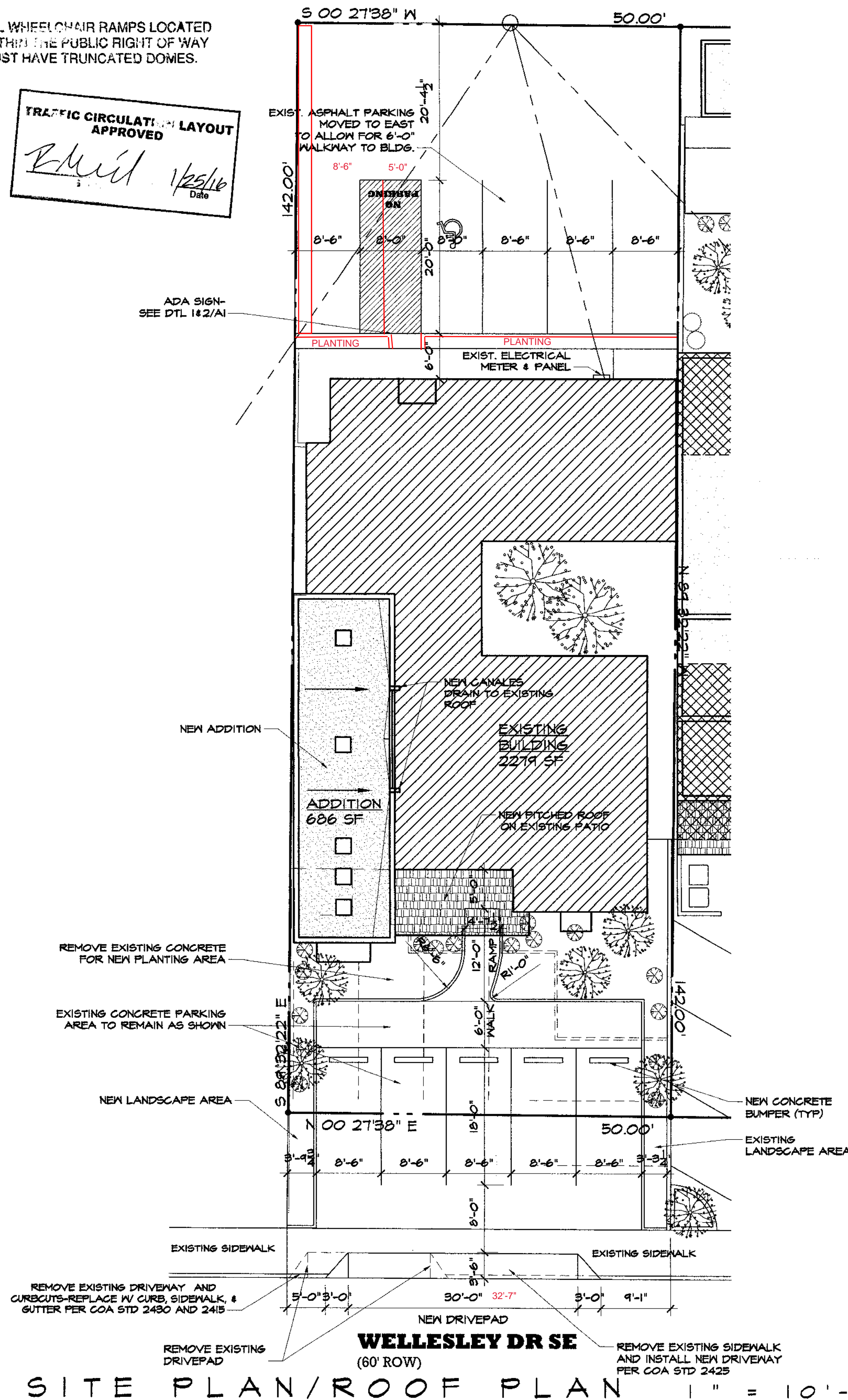


EXISTING 16' ALLEY

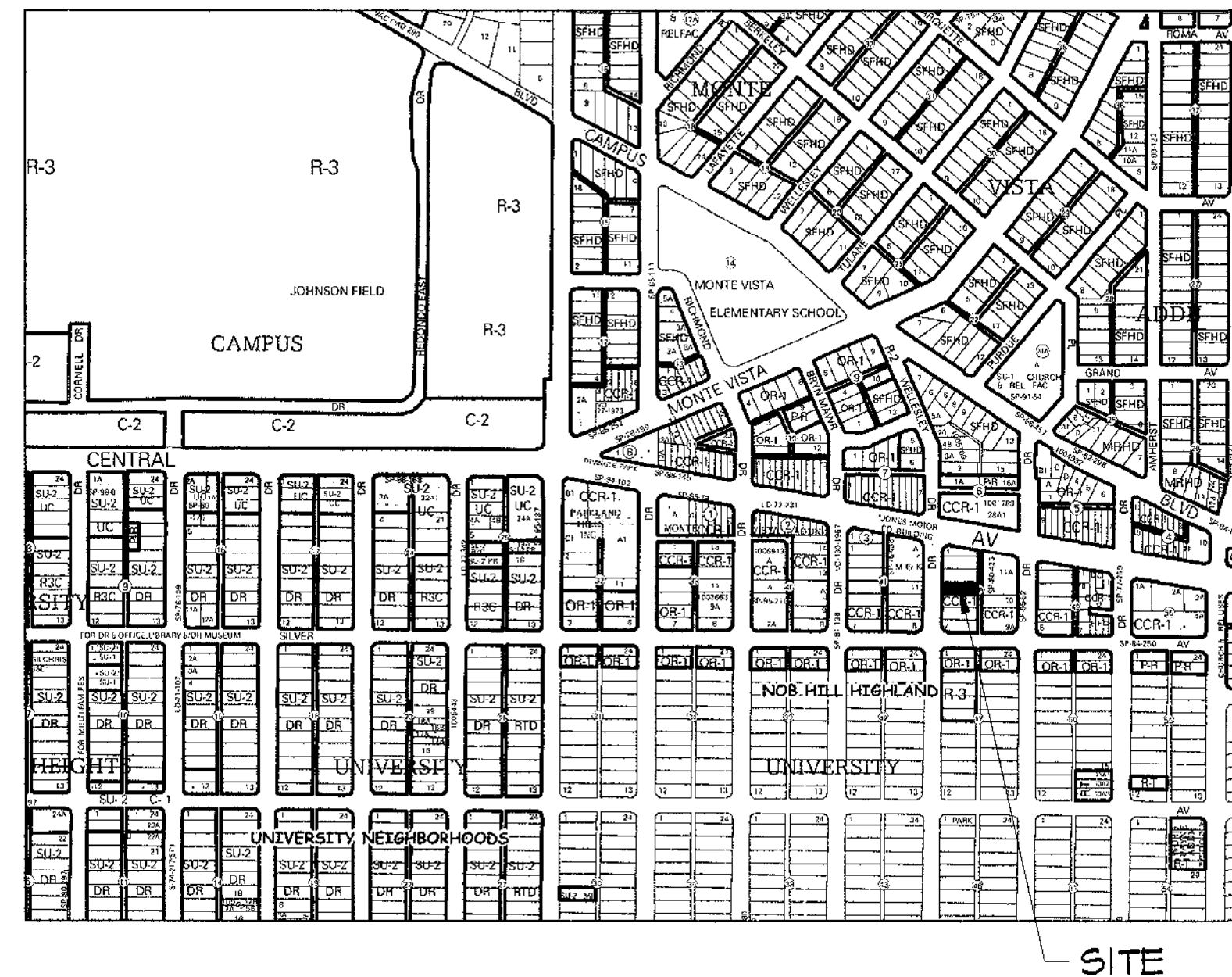
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



ADA SIGN-SEE DTL 182(A)

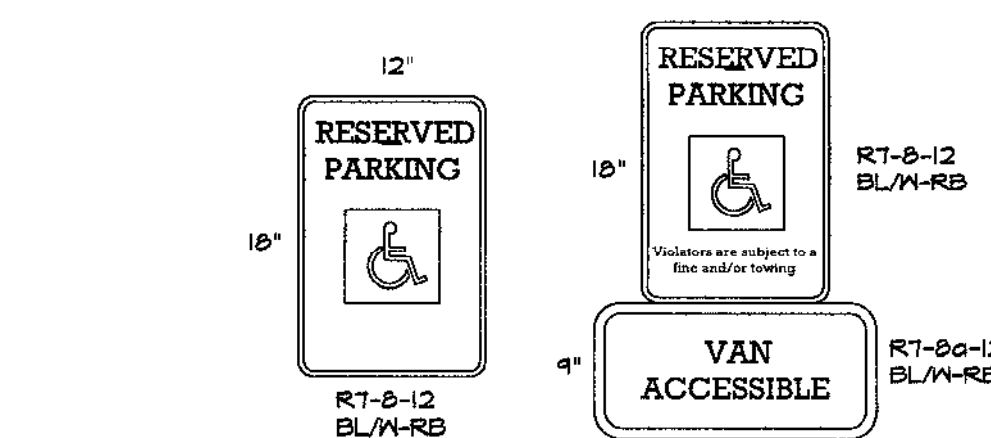


WELLESLEY DR SE
(60' ROW)



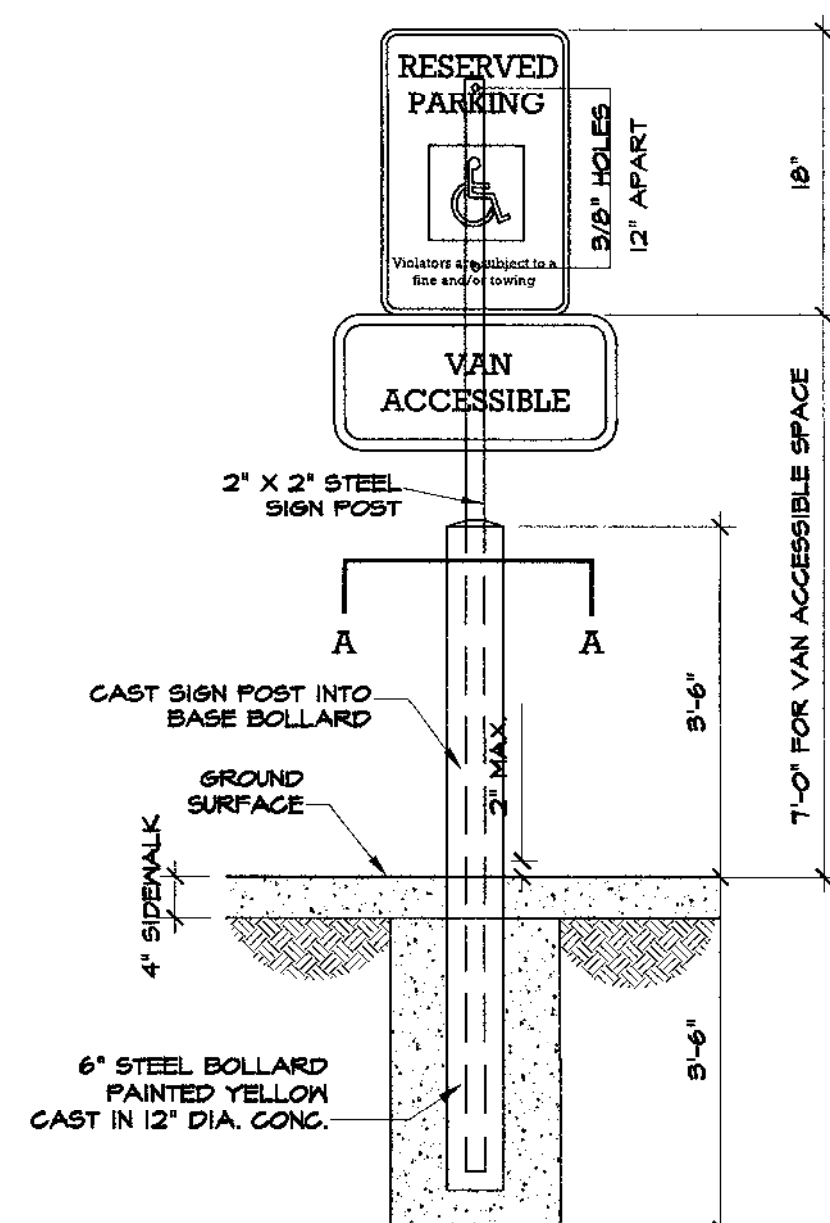
VICINITY MAP K-16-Z

NTS



HANDICAP PARKING SIGNS

AI NTS



SIGN MOUNTING DETAIL

AI NTS

GENERAL NOTES

- DESIGN CRITERIA
- ALL WORK SHALL CONFORM TO THE 2009 INTERNATIONAL BUILDING CODE.
 - LIVE LOADS:
 - ROOF LOAD 20 PSF
 - FLOOR LOAD 40 PSF
 - WIND LOADING - 3 SECOND GUST WIND SPEED = 90 MPH
 - CAST IN PLACE CONCRETE:
 - A. COMPRESSIVE STRENGTH OF CAST IN PLACE CONCRETE 3000 PSI AT 28 DAYS.
 - B. REINFORCING STEEL SHALL BE ASTM A-615 GRADE 60 #5 AND LARGER, GRADE 40 #4 AND SMALLER.
 - STRUCTURAL STEEL:
 - A. BEAMS SHALL CONFORM TO ASTM A-36.
 - B. TUBES SHALL CONFORM TO ASTM A-500.
 - C. BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
 - WOOD:
 - A. UNLESS OTHERWISE NOTED ON DRAWINGS LUMBER SHALL BE NO. 2 PONDROSA PINE WITH ALLOWABLE REPETITIVE USE FIBER BENDING STRESS OF 842 PSI, SINGLE USE FIBER BENDING STRESS OF 775 PSI, AND ELASTIC MODULUS OF 1,100,000 PSI.
 - B. WHERE HEM-FIR IS SPECIFIED ON PLANS IT SHALL BE NO. 2 WITH ALLOWABLE REPETITIVE USE FIBER BENDING STRESS OF 775 PSI, SINGLE USE FIBER BENDING STRESS OF 850 PSI, AND ELASTIC MODULUS OF 1,200,000 PSI.
 - C. MICRO-LAM LUMBER SHALL SATISFY THE FOLLOWING DESIGN VALUES:
 - BENDING (F_b) = 2600 PSI
 - HORIZONTAL SHEAR (F_v) = 285 PSI
 - MODULUS OF ELASTICITY (E) = 1,800,000 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN = 650 PSI
 - COMPRESSION PARALLEL TO THE GRAIN (F_c) = 2460 PSI
 - DRILLING OR NOTCHING OF MICRO-LAM IS NOT ALLOWED.
 - DESIGN SOIL BEARING PRESSURE 1500 PSF WITH FOOTINGS AND SLAB PLACED ON PRE-DENSIFIED NATIVE SOIL.
 - SEISMIC:
 - SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION = 0.51
 - 1 SECOND DESIGN SPECTRAL RESPONSE ACCELERATION = 0.24
 - SEISMIC DESIGN CATEGORY = C

- CONSTRUCTION CRITERIA
- LAP REINFORCING BARS 40 DIAMETERS UNLESS OTHERWISE NOTED.
 - CONSTRUCTION JOINTS LOCATION AND TYPE SHALL HAVE PRIOR APPROVAL BY ENGINEER.
 - BACKFILL MATERIAL SHALL CONSIST OF SOILS THAT CONFORM TO THE FOLLOWING CHARACTERISTICS:

SIEVE SIZE (SQUARE OPENINGS)	PERCENT PASSING BY WEIGHT
3 INCH	100
NO. 4	90-100
NO. 200	10-40

THE PLASTICITY INDEX OF THE MATERIAL SHALL NOT EXCEED 10. TESTING SHALL BE IN CONFORMANCE WITH ASTM D-423 AND 424 FOR P.I. AND D-1557 FOR DENSITY.
 - WHERE SLABS ARE PLACED ON FILL THE NATIVE SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12 INCHES, WATERED AS NECESSARY TO BRING THE MOISTURE CONTENT AS CLOSE AS POSSIBLE TO OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% OF MAXIMUM DENSITY. FILL SHALL BE SPREAD IN LOOSE LAYERS NOT EXCEEDING 8 IN. WATERED AND COMPACTED. MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE 2% BELOW OPTIMUM MOISTURE OR HIGHER. A MINIMUM DENSITY OF 95% OF MAXIMUM DENSITY SHALL BE OBTAINED. OPTIMUM MOISTURE CONTENT AND MAXIMUM DENSITY FOR EACH SOIL TYPE SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D 1557.
 - CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY BRACING REQUIRED TO HOLD STRUCTURAL ELEMENTS IN PLACE UNTIL WORK IS COMPLETE.
 - CONTRACTOR SHALL COORDINATE SLAB OPENINGS WITH MECHANICAL AND ELECTRICAL DRAWINGS. (MECHANICAL AND ELECTRICAL OPENINGS ARE NOT SHOWN ON STRUCTURAL DRAWINGS.)
 - ALL CONDITIONS ON THE PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES EXIST THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE WORK PROCEEDS.

ADDRESS

108 WELLESLEY DR SE
ALBUQUERQUE, NM
87106

LEGAL DESCRIPTION

LOT 4
BLOCK 48
UNIVERSITY HEIGHTS
ALBUQUERQUE, NEW MEXICO K-16-Z

DRAWING INDEX

- A1 SITE PLAN
- A2 FOUNDATION PLAN
- A3 FLOOR PLAN
- A4 FRAMING PLAN
- A5 ELEVATIONS
- A6 BUILDING SECTIONS
- A7 SCHEDULES
- M1 MECHANICAL PLAN

BUILDING DATA

EXIST. BLDG	2274 SF
NEW ADDITION	586 SF
NEW TOTAL	2465 SF
OCCUPANCY	B NON-SPRINKLED
OCC. LOAD	100 SF/OCC. = 24.65
BUILDING TYPE	V-B NON-SPRINKLED
	ALLOWED IF SF < 9000 SF
ZONING	CCR-1, NOB HILL SECTOR PLAN
PLUMBING	1/25 WC, 1/40 LAV - 2 EACH REQUIRED
	MEN'S - 1 WC & 1 LAV REQUIRED
	WOMEN'S - 1 WC & 1 LAV REQUIRED
PARKING	NOT REQUIRED IF UNDER 3000 SF
LANDSCAPING	EXISTING LOT IS 7100 SF
	LESS BLDGS (2465 SF) = 4135 SF
	621 SF OF LANDSCAPING REQ. (15%)
	998 SF PROVIDED
PARKING LOT	3328 SF
	333 SF LANDSCAPING REQUIRED
	511 SF PROVIDED

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

WEEMS LAW OFFICE
ADDITION & REMODEL
ALBUQUERQUE, NM 87106
SITE PLAN / ROOF PLAN
TRAFFIC CIRCULATION LAYOUT

DATE: 4 JAN 2016
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

NO.	DESCRIPTION

SHEET NO:
A1