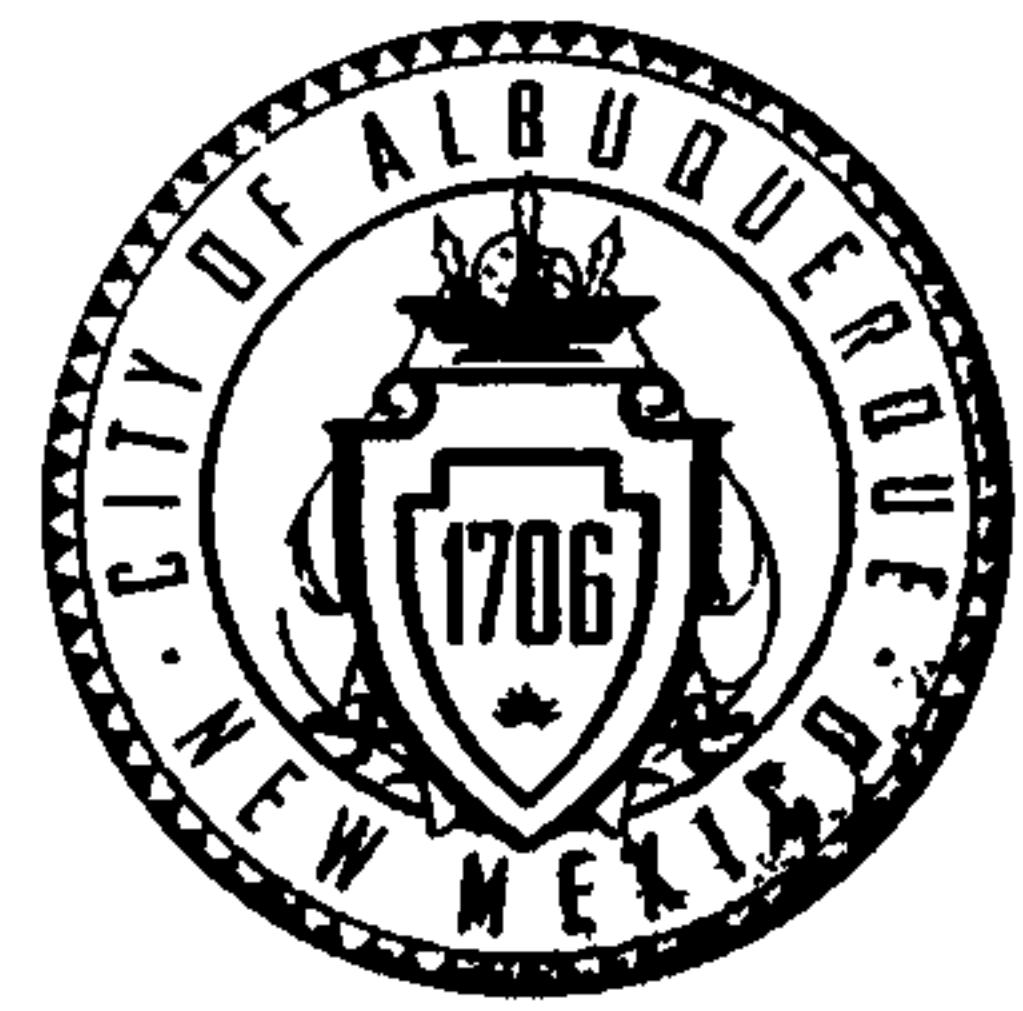


# CITY OF ALBUQUERQUE



October 28, 2016

Applicant Name, PE, RA  
Firm Name  
Address  
Albuquerque, NM 871XX

**Re: Weems Law Office - 108 Wellesley Dr., SE**  
**30-Day Temporary Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 1-25-16 (K16-D085)  
Certification dated 10-25-16

Dear Mr. Grummer,

Based upon the information provided in your submittal received 10-27-16, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

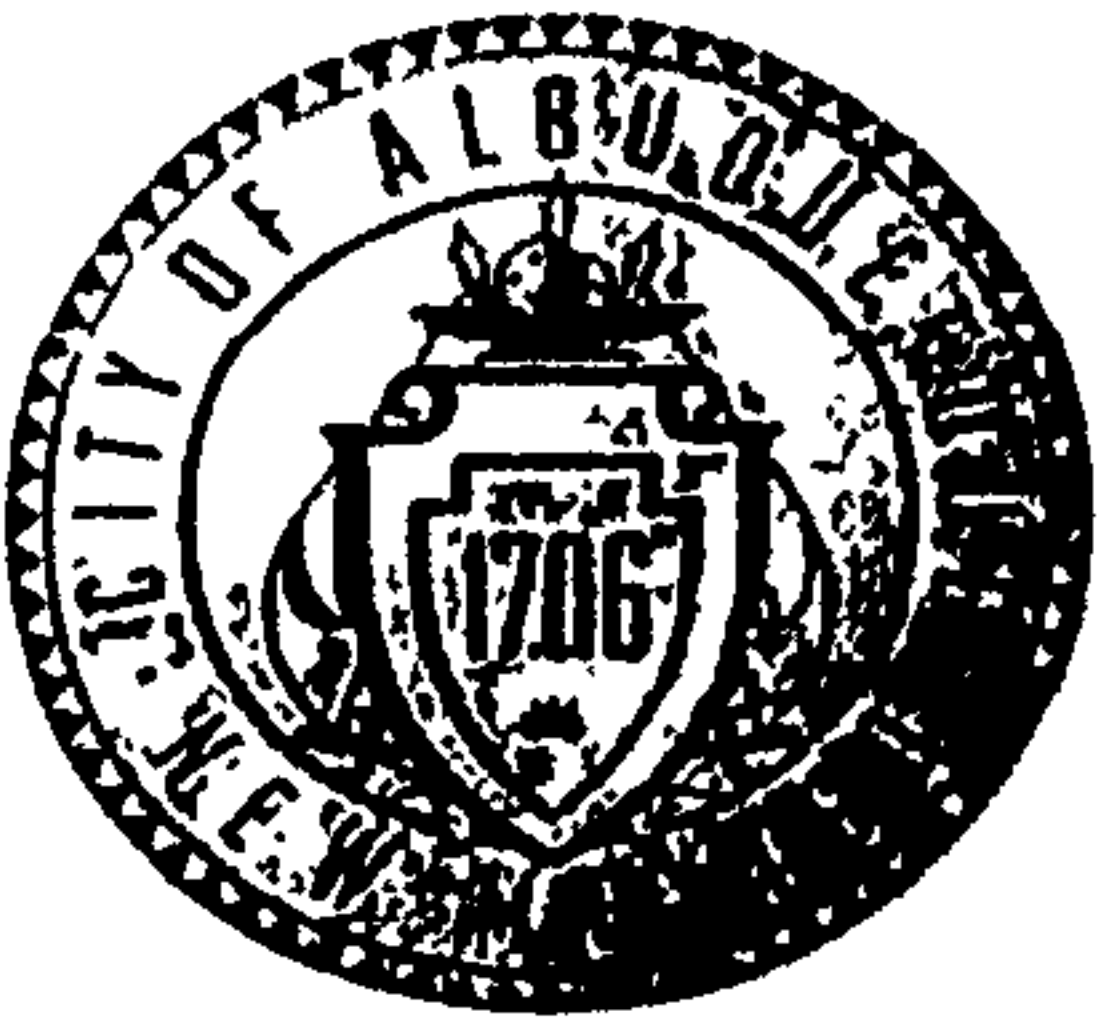
1. The ADA Van accessible parking sign is missing and must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The ADA parking space must have a clearly visible, blue International Symbol of Accessibility painted on the pavement at the rear of the space (66-1-4.1.E NMSA 1978) or MUTCD recommends a white symbol on a blue background.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

  
Monica Ortiz  
Plan Checker, Transportation & Hydrology Development Review Services

mao via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: WEEMS OFFICES Building Permit #: \_\_\_\_\_ City Drainage #: K16D085

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 4, BLOCK 48 UNIVERSITY HEIGHTS

City Address: 108 WELLESLEY PL NE SE

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: DATHAN WEEMS Contact: DATHAN

Address: 108 WELLESLEY PL NE

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: MARTIN GRUMMER Contact: MARTIN

Address: 331 WELLESLEY PL NE

Phone#: 265-2507 Fax#: \_\_\_\_\_ E-mail: MGRUMMER@CENTURYLINK.NET

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 26 OCT 14 By: [Signature]

COA STAFF ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

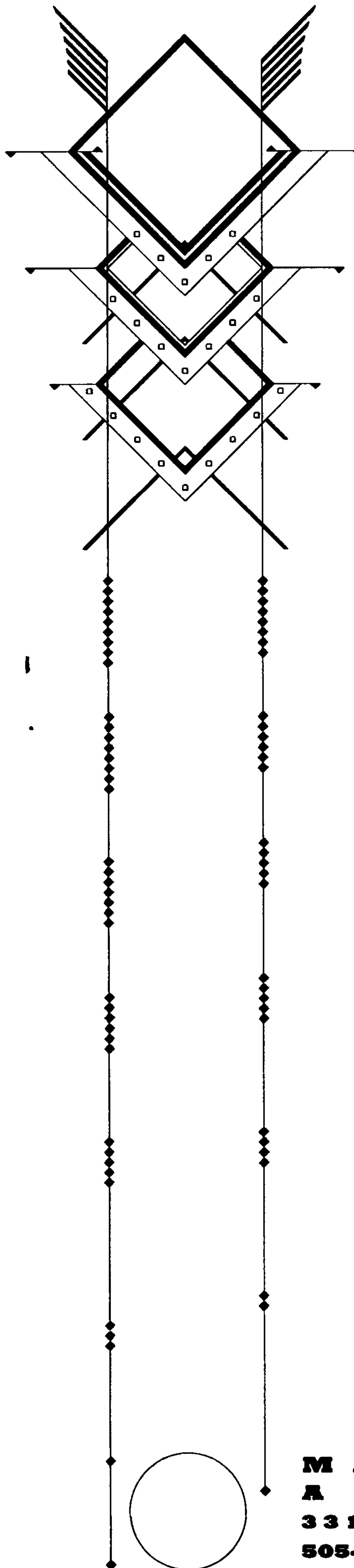
☒ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_



## TRAFFIC CERTIFICATION

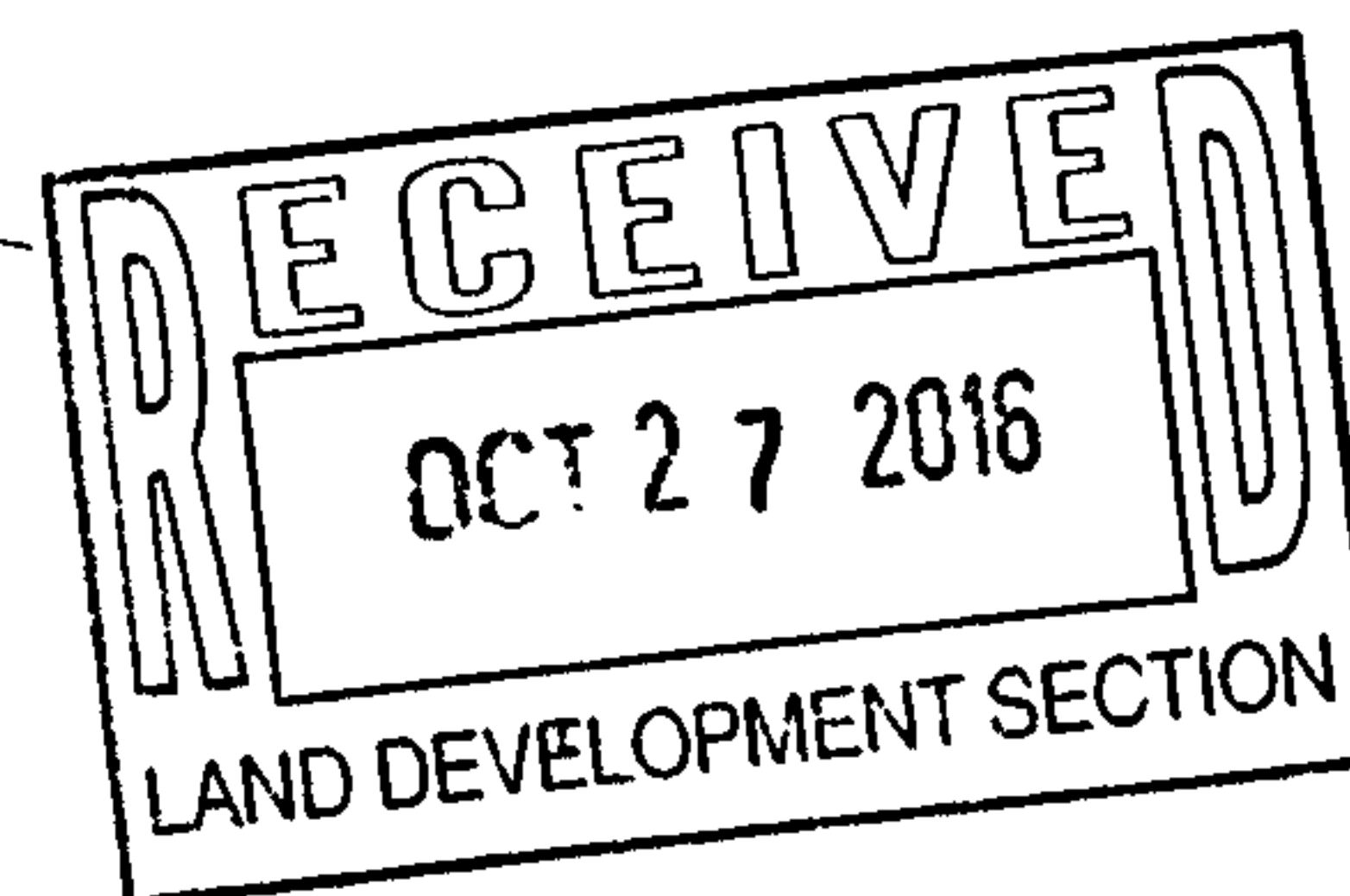
I, MARTIN GRUMMER , NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/25/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/20/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

*ENTRY DRIVE ON WELLESLEY IS 32'-7", north curb cut left as existing  
HANDICAP AISLE ON EAST SIDE IS 5' WIDE  
EAST WALKWAY IS 4'-0" WITH PLANTING AREA BETWEEN WALK  
AND PARKING  
NO PARKING SIGN ADDED ON ASPHALT BETWEEN THIS PROPERTY  
AND PROPERTY TO NORTH*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

**Martin FM Grummer**

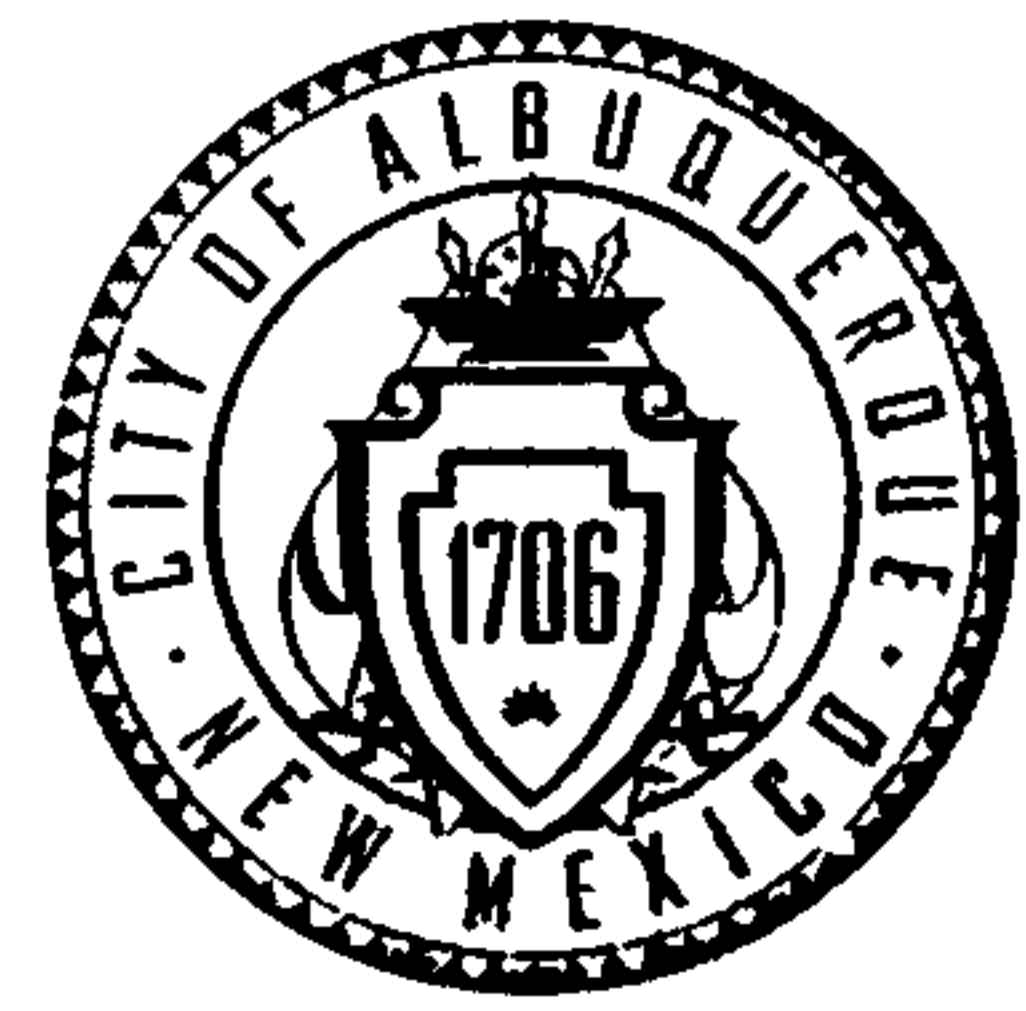
Date: 10/25/16



**M A R T I N      F M      G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507 mgrummer@centurylink.net**



# CITY OF ALBUQUERQUE



January 25, 2016

Martin Grummer  
331 Wellesley Pl. NE  
Albuquerque, NM 87106

**Re: Weems Law Office**  
**108 Wellesley Dr., SE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 1-25-16 (K16-D085)

Dear Mr. Grummer,

The TCL submittal received 1-25-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Worms Law Office Building Permit #: \_\_\_\_\_ Hydrology File #: K16D085

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 4, BLOCK 48, UNIVERSITY HEIGHTS

City Address: 108 WELLESLEY DR SE, ALBUQUERQUE

Applicant: MARTIN GRUMMER Contact: \_\_\_\_\_

Address: 331 WELLESLEY PL NE 87106

Phone#: 265-2507 Fax#: \_\_\_\_\_ E-mail: MGRUMMER@CENTURYLINK.NET

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

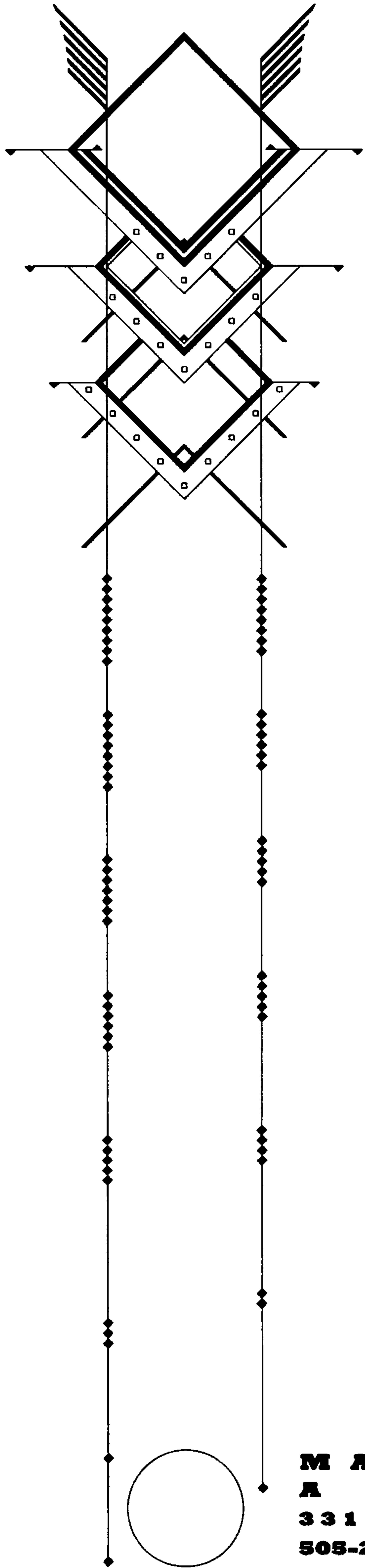
- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB D APPROVAL  
☐ SITE PLAN FOR BLDG PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING?  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 25 JAN 16 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED. \_\_\_\_\_

FEE RECEIVED: \_\_\_\_\_



25 Jan 2016

Gary Sandoval  
City of Albuquerque Building Dept.  
Traffic Section  
Albuquerque, NM

Re: Traffic Circulation Layout for 108 Wellesley Dr. SE  
87106

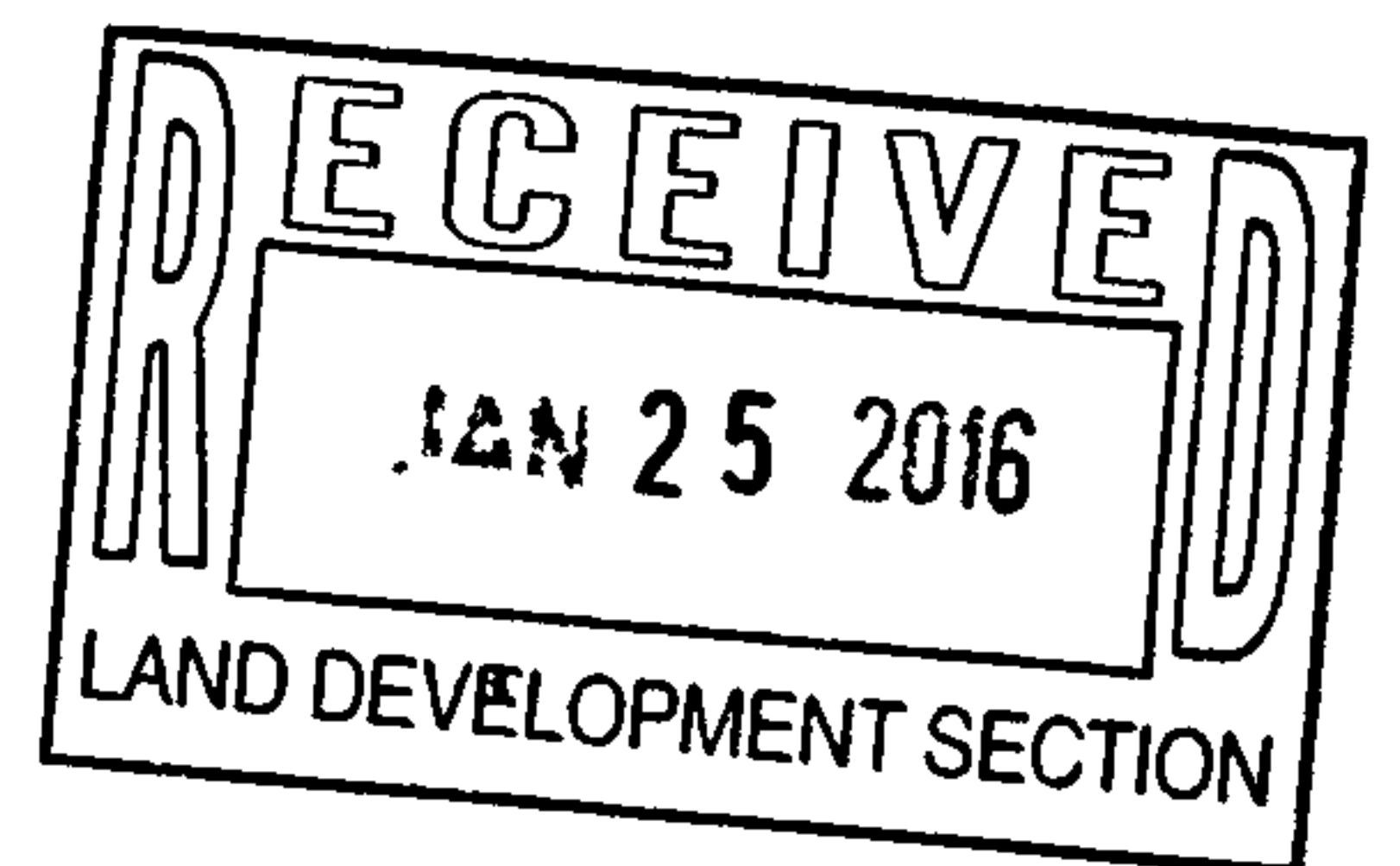
Gary

The project is located in the Nob Hill area of Albuquerque. We are proposing an addition to an existing business at 108 Wellesley Dr. SE, Albuquerque, NM 87106. As part of the remodel, the owner would like to rearrange the parking and add landscaping to the street side of the property. The owner would like to ease the access to the parking by widening the drive pad to 30 ft. and moving it west to allow for more landscaping next to the entry as well as ramping up to the entrance to make access easier. This is in keeping with the other businesses on the block with the added benefit of softening the front of the business with more planting

Please let me know if you need any more information.

SINCERELY

Martin FM Grummer



**M A R T I N      F M      G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** **mgrummer@centurylink.net**



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

December 15, 2015

Scott M. McGee, PE  
9700 Tanoan Dr. NE  
Albuquerque, NM

**Re: ABQ Moving and Storage Paving Plan  
5001 Paseo Del Norte NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 12-8-15 (C17-D124)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 12-11-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

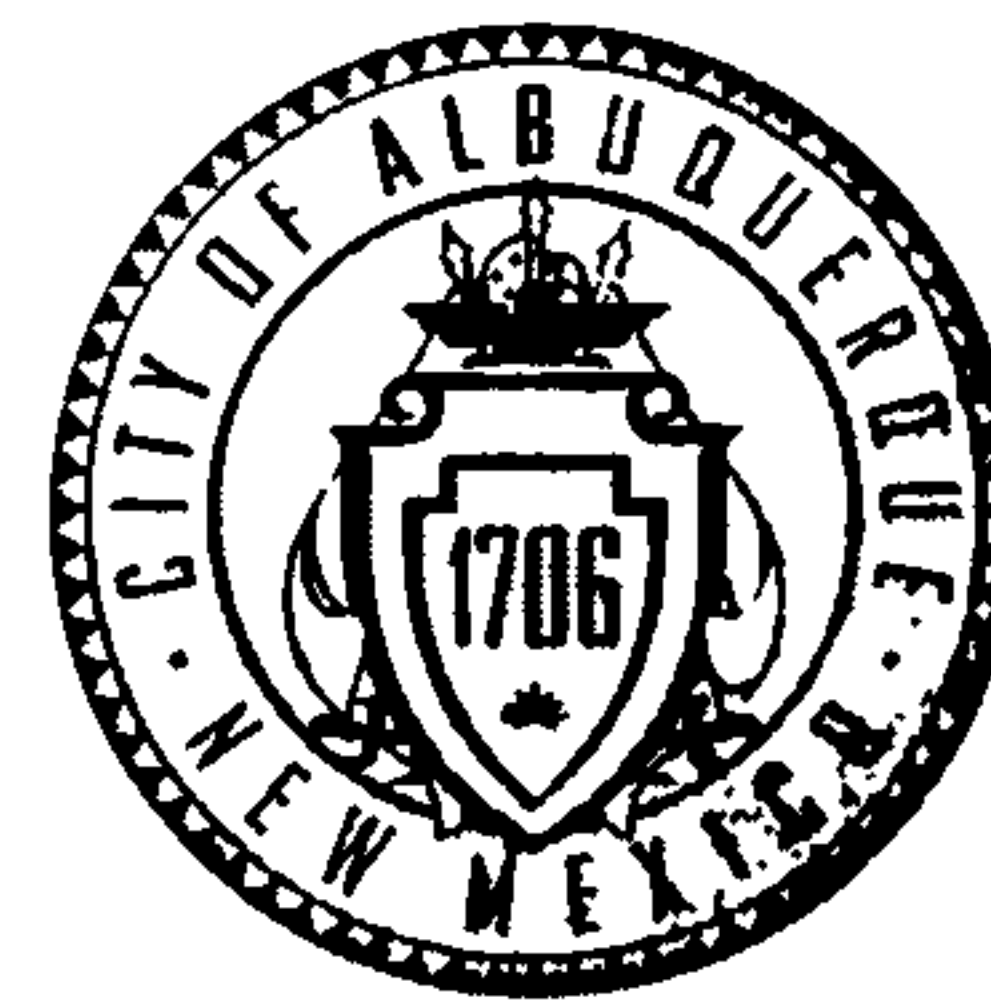
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Please identify all existing doors, sidewalks, curbs, walls and anything that influences the parking and circulation on the site.
3. Identify all existing access easements and rights of way with dimensions. Please detail proposed new sidewalk with ADA ramps on Frontage Rd. Call out appropriate COA standard drawings.
4. Identify the right of way width, medians, curb cuts, and street width on Frontage Rd.
5. Please list the width and length for all motorcycle parking spaces.
6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show detail of handicap parking signs.
7. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
8. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show and detail this pathway from Frontage Rd.

# CITY OF ALBUQUERQUE



9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway to the entrances of the existing buildings.
10. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

PO Box 1293

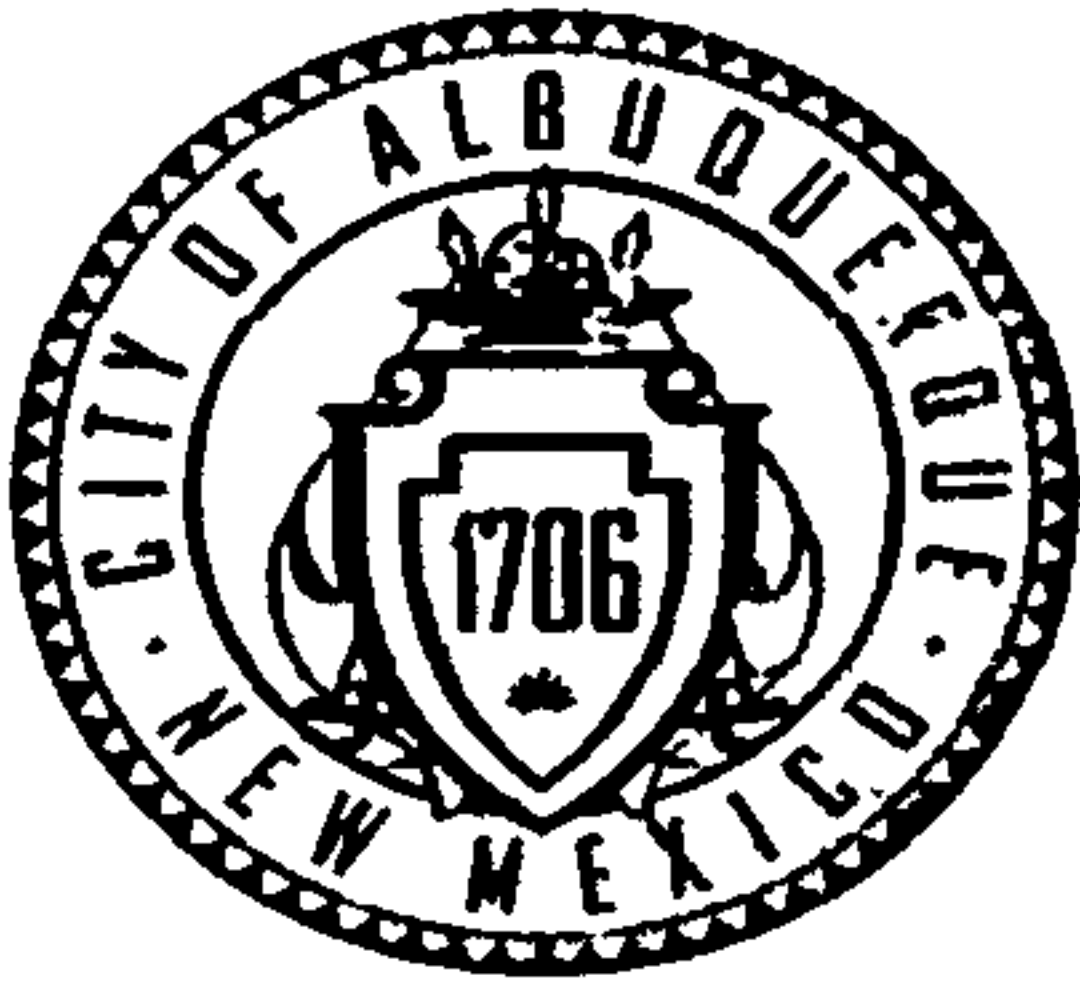
\gs via: email  
C: CO Clerk, File

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

C170124

Project Title: ABQ Moving & Storage pavingPlan Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: 5001 Paseo del Norte NE

Engineering Firm: Scott M McGee PE Contact: scott mcgee

Address: 9700 Tanoan Dr NE

Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmmcghee@gmail.com

Owner: ABQ Moving & Storage Contact: notah howe

Address: 5001 Paseo del Norte NE

Phone#: 823-1441 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: Scott McGee

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR ELDG PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

