

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

November 4, 2022

Kent A. Delph  
Delph Engineering  
3620 Wyoming Blvd. NE, Suite 203  
Albuquerque, NM 87111

**Re: Vassar Townhomes**  
**407 Vassar Dr. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 10-18-2022 (**K16-D092**)

Dear Mr. Delph,

The TCL submittal received 11-02-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Vassar Townhomes **Building Permit #:** BP-2019-45667 **Hydrology File #:** K16D092  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 21 in Block 21 of University Heights Addition, 1916 as recorded in Bernalillo County  
**City Address:** 407 Vassar Drive SE, Albuquerque, NM 87106

**Applicant:** Marsh Construction **Contact:** JK Marsh  
**Address:** 11224 Morocco Rd NE, Albuquerque NM 87111  
**Phone#:** (505) 315-4911 **Fax#:** N/A **E-mail:** jk@marshconstruction.com

**Other Contact:** Delph Engineering **Contact:** Kent Delph  
**Address:** 3620 Wyoming Blvd NE, #203, Albuquerque NM 87111  
**Phone#:** (505) 206-8385 **Fax#:** N/A **E-mail:** kent@delphengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

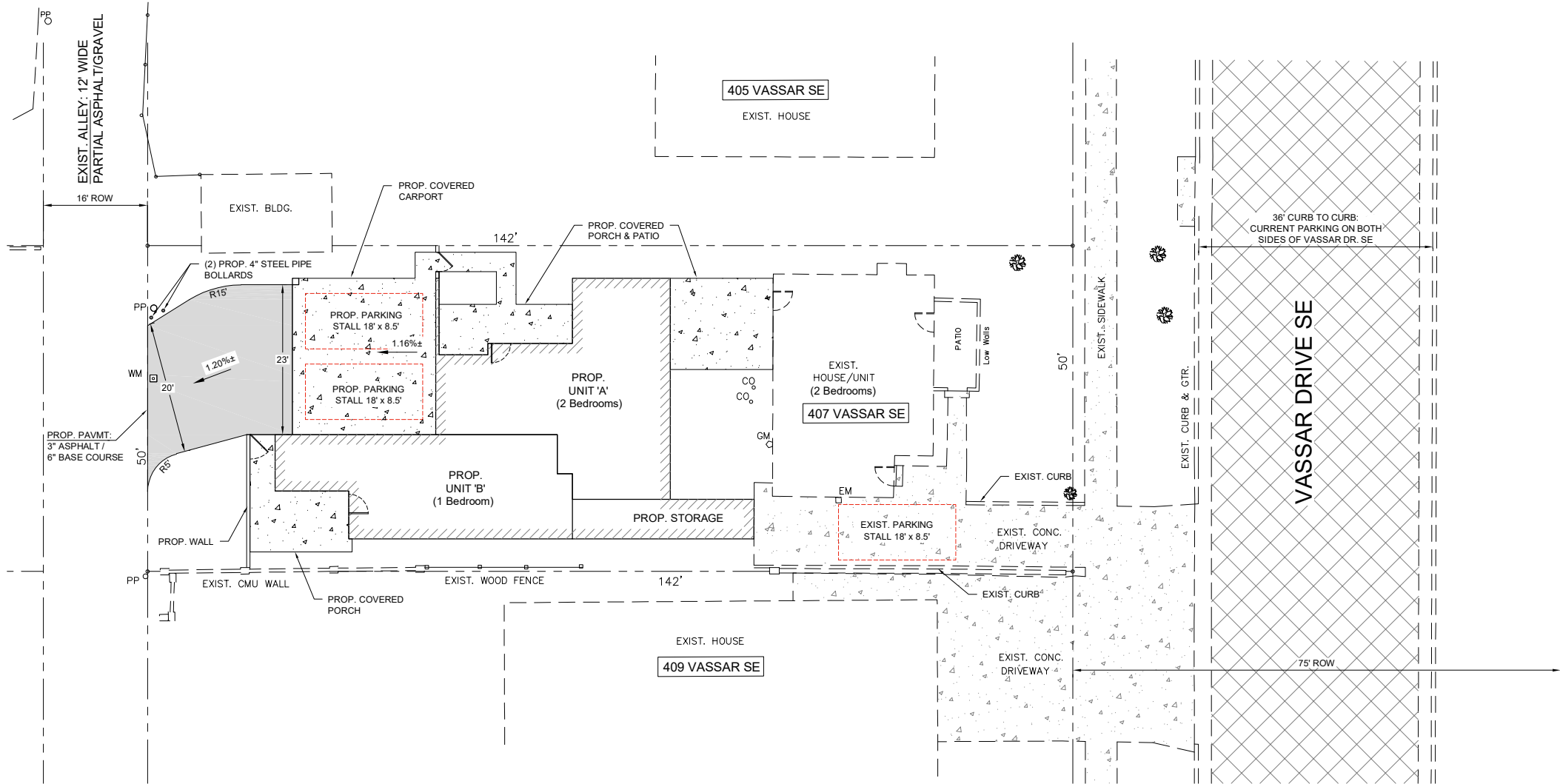
**DATE SUBMITTED:** 10/19/2022 **By:** Kent Delph **Delph Engineering**

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

DL\_Civil\_Sheets-Plans\_Vassar\_TCL.dwg 10/20/2022 - 10:10 AM



### TRAFFIC CIRCULATION LAYOUT & SITE PARKING

SCALE: 1"=10'

### PROJECT DESCRIPTION

- LEGAL DESCRIPTION:** LOT 21 IN BLOCK 21 OF UNIVERSITY HEIGHTS ADDITION, FEBRUARY 7, 1916, AS RECORDED WITH BERNALILLO COUNTY. THE SITE IS 142' x 50' & APPROXIMATELY 0.163 ACRES.
- ADDRESS:** 407 VASSAR DR. SE, ALBUQUERQUE, NM 87106
- EXISTING ZONING:** R-T (Residential Townhouse Zone District)
- PROPOSED DEVELOPMENT DESCRIPTION:** THE EXISTING SITE HAS A SINGLE DETACHED RESIDENTIAL UNIT ON THE EAST SIDE OF THE LOT. THE PROPOSED IMPROVEMENTS ARE TO ADD TWO NEW UNITS ON THE WESTERN PORTION OF THE LOT IN A ONE-STORY DUPLEX STRUCTURE WITH A TWO VEHICLE CARPORT.
- PERMIT HISTORY:**
  - 2019 EXISTING BUILDING PERMIT APPLICATION THAT THIS TCL IS A REQUIREMENT FOR: **BP-2019-45667**
  - 11/01/2021 TWO PROPOSED ADDITIONAL UNITS GRADING & DRAINAGE PLAN APPROVAL (CABQ Hydrology Section **Trans # K16D092**, plan prepared by Thompson Engineering Consultants)

- OFF-STREET PARKING CALCULATIONS (RESIDENTIAL USE - IDO Table 5-5-1):**
  - 1 SPACE PER DWELLING UNIT UP TO 2 BEDROOMS
  - 2 SPACES PER DWELLING UNIT WITH 3 OR MORE BEDROOMS
  - PARKING REQUIRED**

|                              |          |
|------------------------------|----------|
| EXISTING UNIT (2 BEDROOMS):  | 1 SPACE  |
| PROP. UNIT 'A' (2 BEDROOMS): | 1 SPACE  |
| PROP. UNIT 'B' (1 BEDROOM):  | 1 SPACE  |
| TOTAL REQUIRED:              | 3 SPACES |
| <b>PARKING PROVIDED</b>      |          |
| TOTAL PROVIDED:              | 3 SPACES |

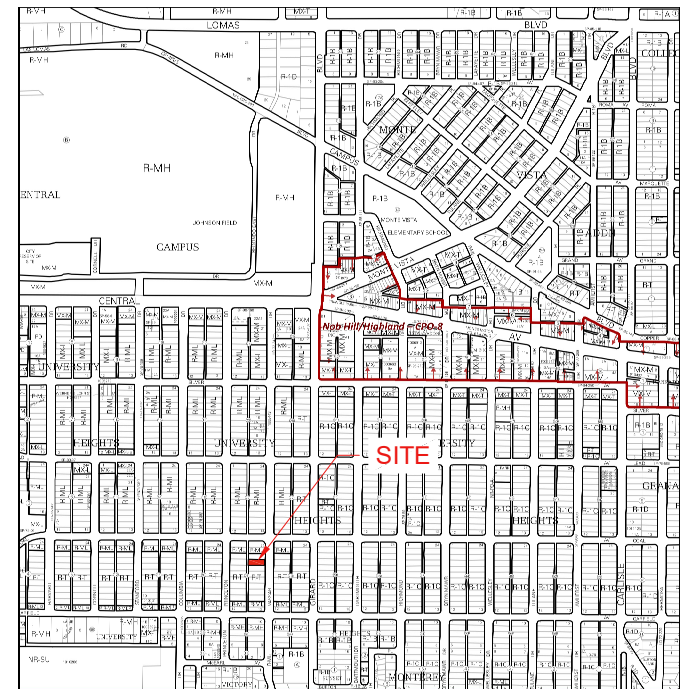
- TRAFFIC CIRCULATION:** Vassar Dr. SE is a two-way street with a curb-to-curb width of 36'. There is an existing 16' right-of-way / alley west of the property which is used for service and adjacent property parking. The proposed carport is sufficient to meet the parking stall requirements, however, an existing power pole impacts the carport approach. Residents will have to either go forward into the carport from northbound, or back into the carport from southbound. Two bollards are proposed on the northwest side of the carport access to protect the power pole.
- DEVELOPMENT IMPACT TO EXISTING PROPERTIES:** The area is a high residential use neighborhood and the impact from two additional units is negligible. Given the 16' width of the alley, local users are accustomed to being cautious when using the alley. Vassar Dr. SE has parking along both sides, so public parking is readily available & will not be impacted.

### LEGEND

- |  |                      |  |                                |
|--|----------------------|--|--------------------------------|
|  | EXIST. BLDG.         |  | PROP. BLDG.                    |
|  | EXIST. LOTLINE / ROW |  | PROP. CONCRETE                 |
|  | EXIST. POWER POLE    |  | PROP. PAVEMENT (3" AC / 6" BC) |
|  | EXIST. PAVEMENT      |  | PROP. 4" DIAM. STEEL BOLLARD   |

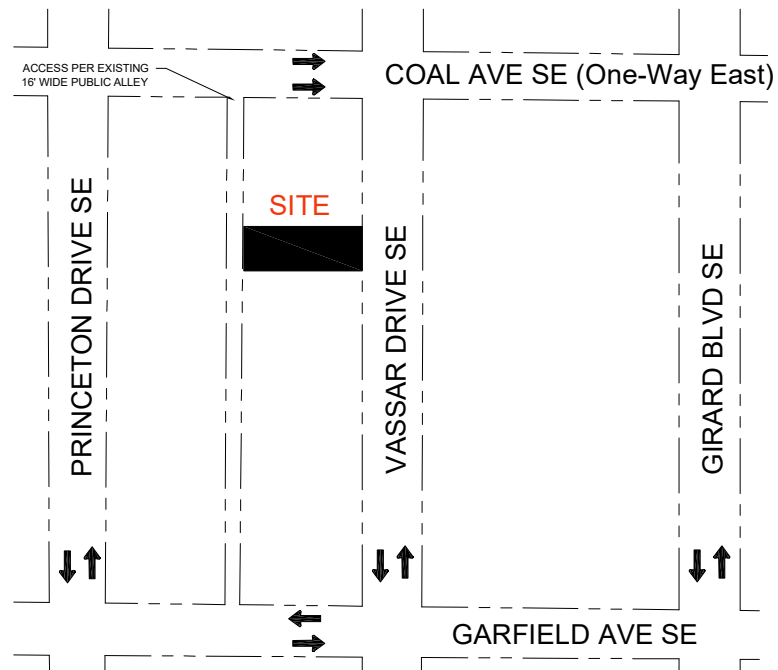
18' X 8.5' PARKING STALL

TRAFFIC CIRCULATION  
LAYOUT APPROVED  
*Ernest Arroyo* 11/8/2022  
Signed Date



### SITE LOCATION (Zone Atlas Page K-16-Z)

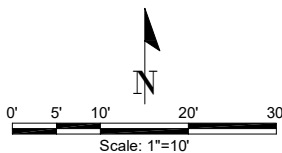
NOT TO SCALE



### LOCAL TRAFFIC PATTERNS

NOT TO SCALE

CABQ BUILDING PERMIT APPLICATION # BP-2019-45667



|              |  |               |            |
|--------------|--|---------------|------------|
| Drawing:     | TRAFFIC CIRCULATION LAYOUT                             | Job No.:      | 22-51      |
| Designed By: |  | Drawn By:     |            |
| Checked By:  |  | Date:         | 10/19/2022 |
| Project:     | 407 VASSAR SE<br>MARSH CONSTRUCTION<br>ALBUQUERQUE, NM | Scale:        | 1" = 10'   |
|              |  | Sheet Number: | 1 of 1     |