CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

March 7, 2022

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

RE: 112 Princeton Dr. SE
Grading & Drainage Plan
Engineer's Stamp Date: 02/02/22
Hydrology File: K16D094

Dear Mr. Biazar:

Based upon the information provided in your submittal received 02/04/2022, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **$ 25.00** recording fee check made payable to Bernalillo County to Marion G. Velasquez (mgvelasquez@cabq.gov) on the 4th floor of Plaza de Sol.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 112 PRINCETON DR. SE GRADING PLAN Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 6, BLOCK 24, UNIVERSITY HEIGHTS ADDITION

City Address: 112 PRINCETON DR. SE

Applicant: SBS CONSTRUCTION AND ENGINEEING, LLC Contact: SHAWN BIAZAR

Address: 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 87122

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
X GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
X GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 2-3-2022 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Location

Lot 6, Block 24, University Heights Addition is located at 112 Princeton SE Albuquerque NM 87106. See attached portion of Vicinity Map K-16-Z for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed buildings.

Existing Drainage Conditions

This lot is very flat and drains from north to south. No offsite runoff enters this site.

Proposed Conditions and On-Site Drainage Management Plan

The drainage patterns will remain the same. The additional runoff volume generated by this project garage will be retained on site. The total volume requirement under proposed conditions is 909.43 cf based on the 100-yr/10-day volume. Retention volume provided is 1007.67 cf. First Volume requirement is (0.42/12*3,585.50) 125.49 cf

VOLUME CALCULATIONS FOR 10 DAY STORM

BASIN	*AREA (SF)*	*AREA (AC)*	*AREA (MI^2)*
ON-SITE	7,171.00	0.16462	0.000257

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

V-360 = E (AA + AB + AC + AD)

EA = 0.62
EB = 0.80
EC = 1.03
ED = 2.33

P-60 = 1.78
P-360 = 2.29
P-1440 = 2.59
P-10 Day = 3.62

EXISTING CONDITIONS	PROPOSED CONDITIONS
AA = 0.00%	AA = 0.00%
AB = 100.00%	AB = 10.00%
AC = 0.00%	AC = 40.00%
AD = 0.00%	AD = 50.00%
E = 0.80 IN	**E = 1.66 IN**
V-360 = 478.07 CF	**V-360 = 990.29 CF**
AD = 0.0 AC	**AD = 0.08231 AC**
V-10 DAY = 478.07 CF	**V-10 DAY = 1,387.59 CF**

V (REQUIRED) =990.29 - 478.07 = 512.22 CF USING V-360
V (REQUIRED) =1,387.50 - 478.07 = 909.43 CF USING V-10 DAY

FLOW CALCULATIONS

A =1.71 CFS/AC
B = 2.36 CFS/AC
C = 3.05 CFS/AC
D = 7.34 CFS/AC

TOTAL QP =QPA*AA + QPB*AB + QPC*AC + QPD*AD

QP (HISTORICAL) = 0.45 CFS
QP (PROPOSED) = 0.69 CFS

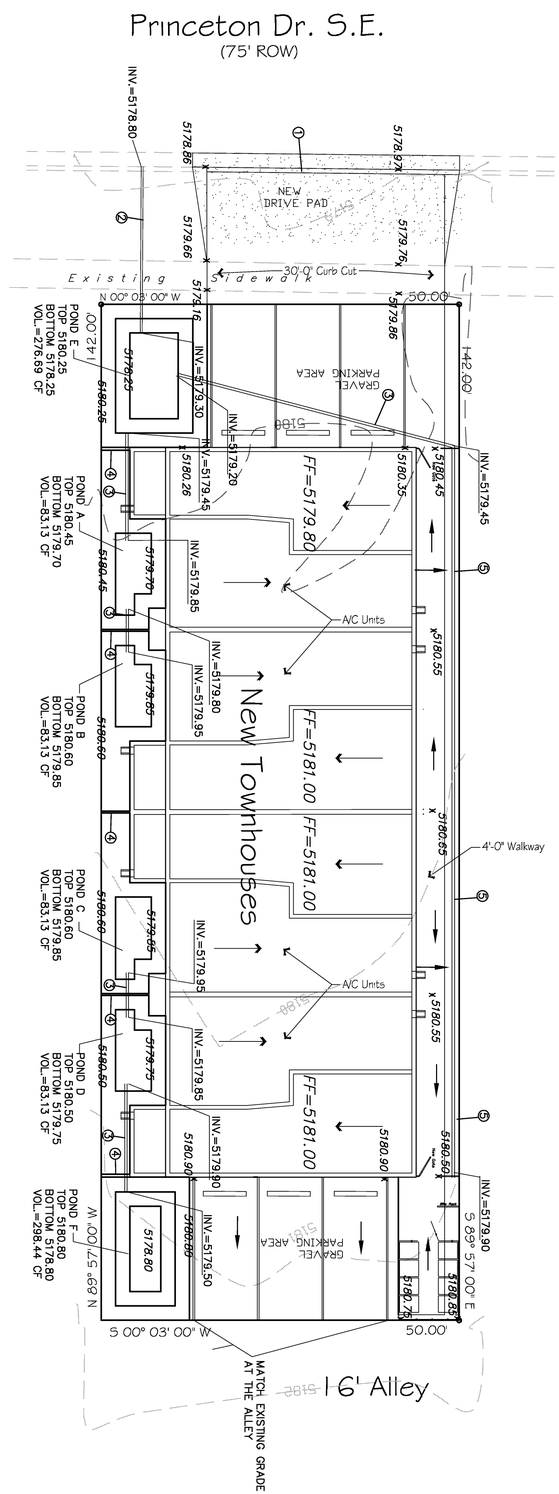
PONDING VOLUME CALCULATION

PONDS A & B & C & D
BOTTOM AREA (@ 5179.75)= 50.57 SF
TOP AREA (@ 5180.50) = 171.13 SF
DEPTH = 0.75'
POND VOLUME=(171.13+50.57)/2*0.75
POND VOLUME=83.13 CF
PONDS TOTAL VOLUME = 83.13 * 4 = 332.54 CF

POND E
BOTTOM AREA (@ 5178.25)= 81.26
TOP AREA (@ 5180.25) = 295.43
DEPTH = 2.00'
POND VOLUME=(296.43+81.26)/2*2
POND VOLUME=376.69 CF

TOTAL VOLUME (A+B+C+D+E+F) =
VOL = 332.54+376.69+298.44 = 1.007.67 CF

POND F
BOTTOM AREA (@ 5178.80)= 51.80
TOP AREA (@ 5180.80) = 246.64
DEPTH = 2.00'
POND VOLUME=(248.64+51.80)/2*2.00'
POND VOLUME=298.44 CF



NOTICE TO CONTRACTOR
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19")

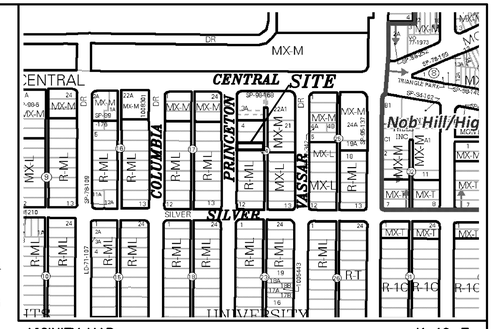
1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right_Of_Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260_1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24_hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

APPROVALS	NAME	DATE
INSPECTOR		

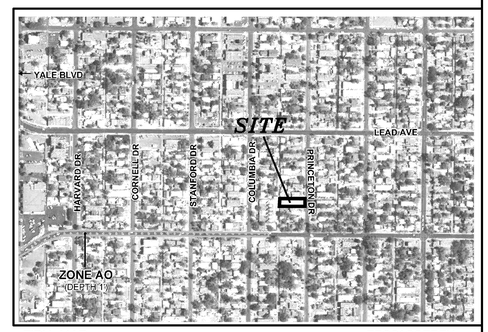
OKEYED NOTES:

1. INSTALL NEW DRIVEPAD PER C.O.A. STD DWG 2425.
2. INSTALL 4" STORM DRAIN PIPE, SCHEDULE 40. INSTALL CURB DRAIN PER C.O.A. STD DWG 2235.
3. INSTALL 4" STORM DRAIN PIPE, SCHEDULE 40.
4. DIVIDING WALL, PVC SLAT.
5. 4" PERFERATED PIPE WITH LINER AND GRAVEL ON TOP

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 03/07/22
BY: Ronald R. Bohannan
HydroTrans #: K16D094
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO BE A VIOLATION OF THIS ORDINANCE OR OTHER ORDINANCES OF THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR ERROR OR DEFICIENCIES IN PLANS, SPECIFICATIONS OR CONSTRUCTION. APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.



VICINITY MAP: K-16-Z



FIRM MAP: 35001C0353H

LEGAL DESCRIPTION:
LOT 6, BLOCK 24, UNIVERSITY HEIGHTS ADDITION

ADDRESS: 112 PRINCETON DR., SE ALBUQUERQUE, NM 87106

LEGEND

----5030----	EXISTING CONTOUR (MAJOR)
----5029----	EXISTING CONTOUR (MINOR)
———	BOUNDARY LINE
X 42.70	PROPOSED SPOT ELEVATION
X 5029.16	EXISTING GRADE
X 5075.65 FL	EXISTING FLOWLINE ELEVATION
▬ ▬ ▬	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40 / ~~42.45~~	AS-BUILT GRADES
69.77 / X ~~42.40~~	AS-BUILT SPOT ELEVATIONS

GRAPHIC SCALE
10 5 0 10
SCALE: 1"=10'

REZA AFAGHPOUR
NEW MEXICO
11814
LICENSED PROFESSIONAL ENGINEER
2/2/2022

REZA AFAGHPOUR
P.E. #11814

LAST REVISION: 11/8/2021

112 PRINCETON DR., SE GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
202138GD.DWG	SH-B	1-25-2022	1