

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 28, 2025

Scott Anderson, RA
Scott C. Anderson & Assoc Architects
2818 4th St NW suite C
Albuquerque, NM 87107

scott@scaarchitects.com

Re: Wellesley Apartments
208 Wellesley SE
Traffic Circulation Layout
Engineer's Stamp 7-17-25 (K16D097) TRANS-2025-00199

Dear Mr. Anderson,

The TCL submittal received 7-22-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

SOLID WASTE CALCS:
42 UNITS X 0.55 CY = 23.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

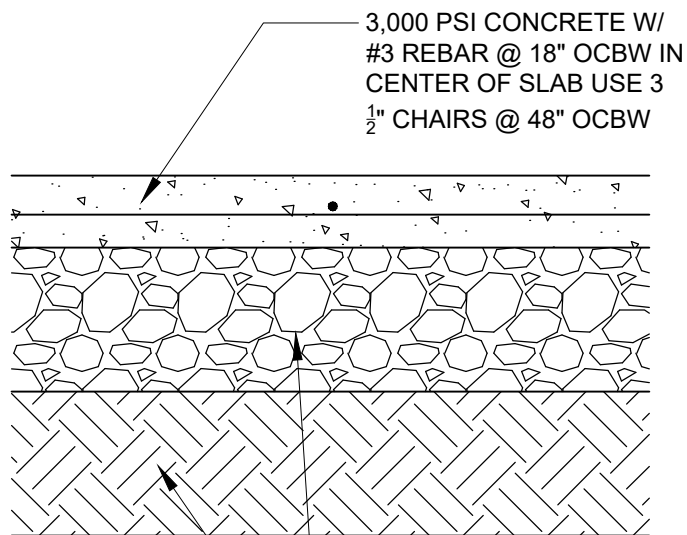
THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE. SWANSON CONTAINERS TO BE USED AND HOISTED IN THE ALLEY.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

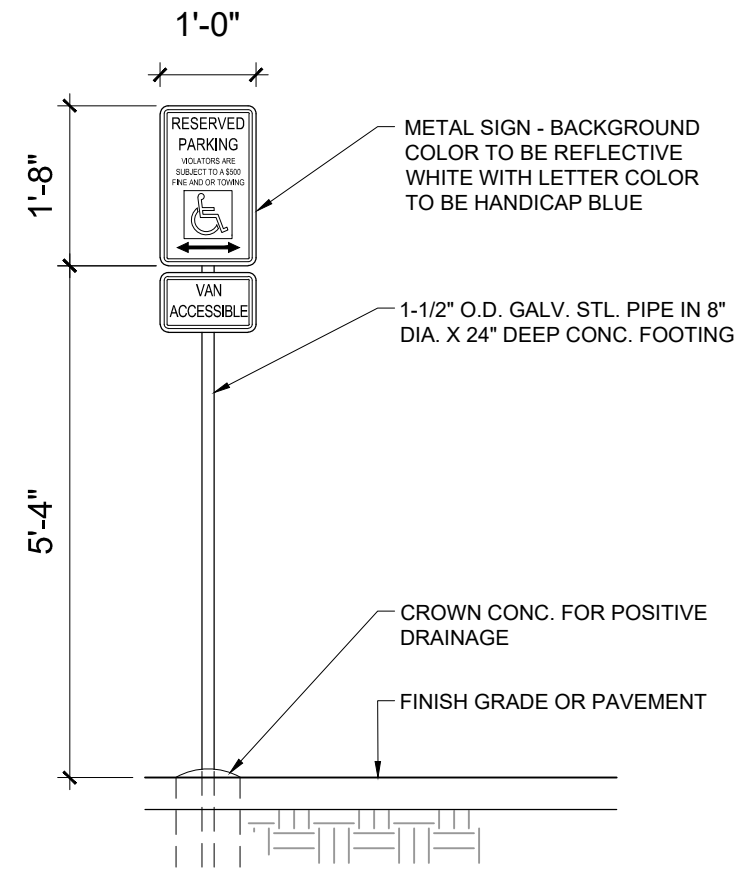
PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 4 EA SWANSON CONTAINERS.



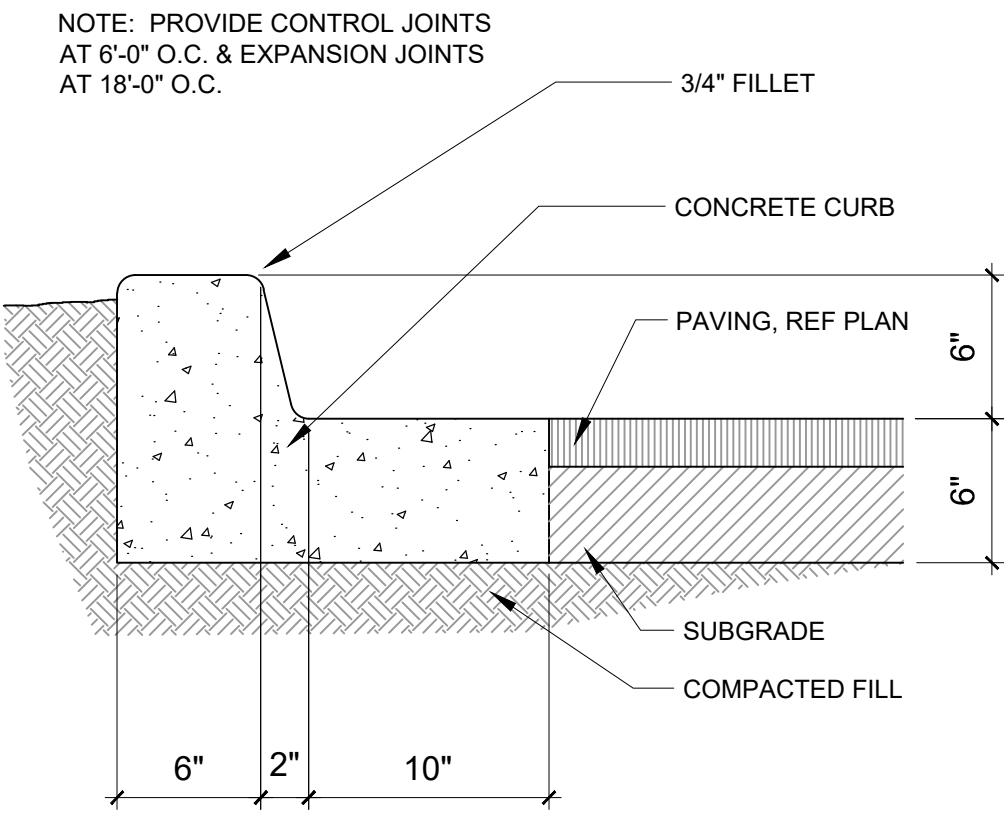
PAVING SECTION

SCALE: NTS



HC SIGN

SCALE: NTS



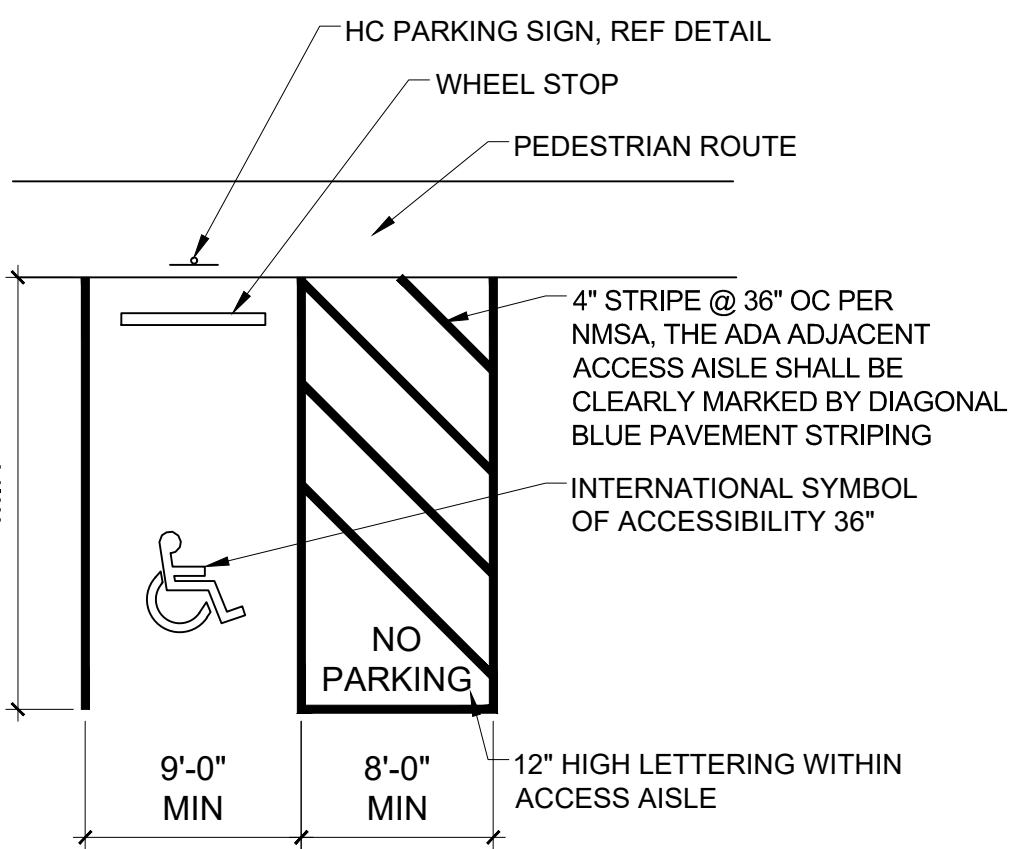
CURB AND GUTTER

SCALE: NTS



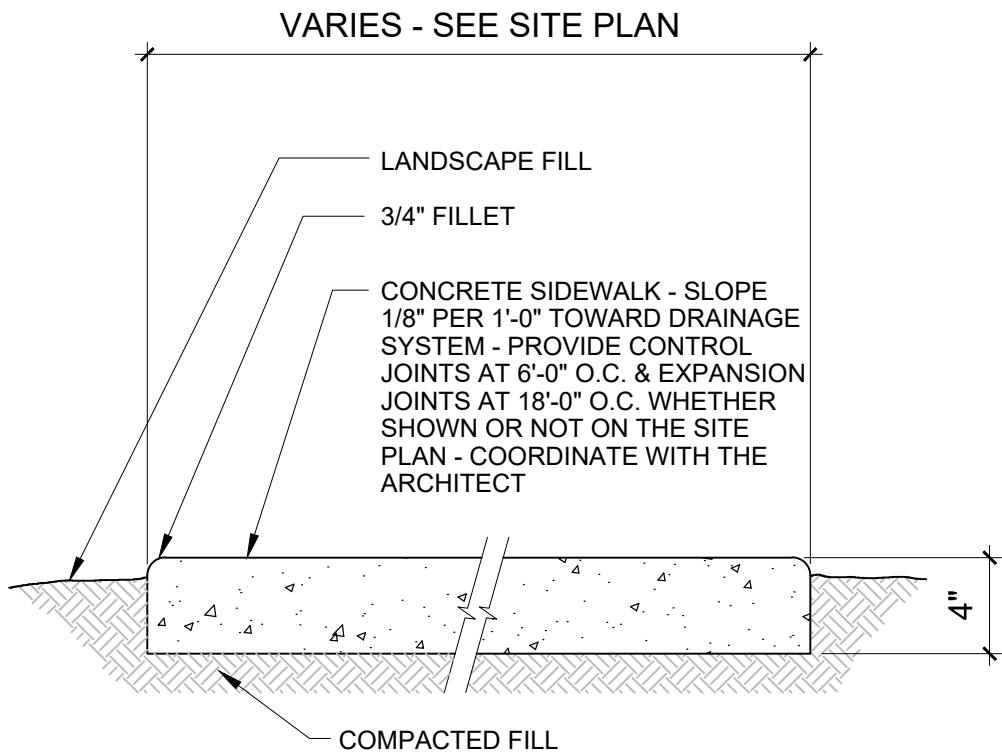
SITE PLAN

SCALE: 1" = 20'-0"



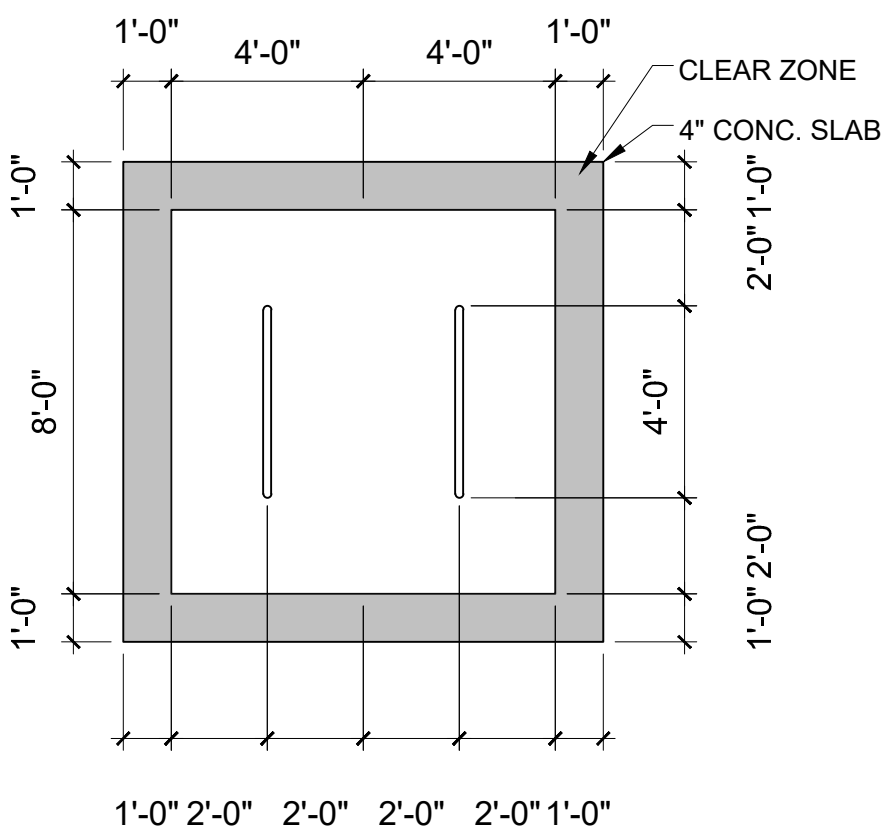
ADA PARKING

SCALE: 1/8" = 1'-0"



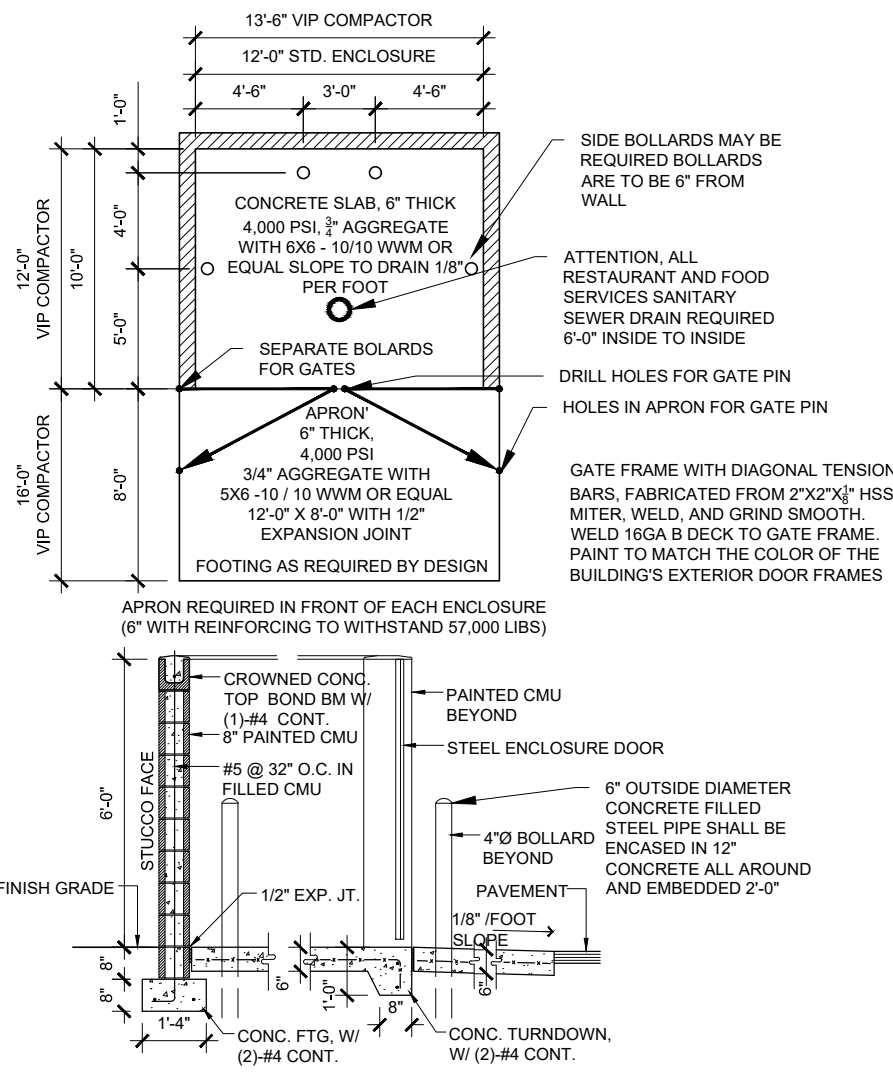
SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



BIKE PARKING

SCALE: 1/4" = 1'-0"



REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 7/28/2025
Signed Date

KEYED NOTES

- EXISTING DRIVE OUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- INDOOR BIKE STORAGE
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- H.C. PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- 15FT VEHICULAR GATE
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- DEMOLISH EXISTING CURB RAMP
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER COLLECTION POINT
- RECYCLING CONTAINER STORAGE POINT
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- PEDESTRIAN GATE
- 3FT GARDEN WALL
- WALL MOUNTED CAR CHARGING STATION (4 EACH)
- 100 FT SETBACK FROM PROTECTED LOT
- TELECOM VAULT
- EXISTING POWER POLE TO REMAIN
- EXISTING POWER POLE TO BE REMOVED
- NEW POWER POLE
- NEW DEDICATED ROW

LEGEND
BUILDING
CONCRETE
ASPHALT PAVING
LANDSCAPE
CLEAR SIGHT TRIANGLE

UPC: 10170573123943209
LEGAL: LOTS 3-6 BLOCK 47, UNIVERSITY HEIGHTS ADDITION
ZONING: R-MH / MX-T (UC-MS-PT)
ZONE ATLAS PAGE: K-16

GROSS LOT AREA = 1,000 AC = 43,560 SF
BUILDING FOOTPRINT = 31,561 SF
NET LOT AREA = 38,740 SF
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; SF PROVIDED

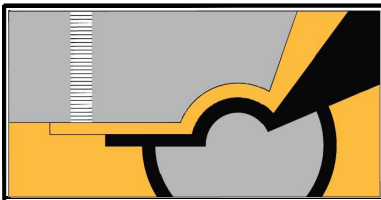
PARKING:
MULTI-FAMILY
1 BEDROOM: 31 EACH X 1 SPACES (UC-MS-PT) = 31 SPACES
2 BEDROOM: 11 EACH X 1 SPACES (UC-MS-PT) = 11 SPACES
SUBTOTAL SPACES REQUIRED = 42 SPACES
SPACES PROVIDED = 42 SPACES OFF STREET + 13 SPACES ON STREET
56 SPACES X 5% = 3 CHARGING SPACES REQUIRED, 4 PROVIDED

HC REQUIRED: 2 STANDARD, 1 VAN
MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED
BIKE PARKING 10% OF 42: 5 REQUIRED, 12 INDOOR BIKE STORAGE PROVIDED



AREA MAP

SCALE: NTS



SCOTT C. ANDERSON
& associates architects
2818 4th St NW, Suite C Albuquerque NM 87107
scott@scacarchitects.com
505.401.7575

WELLESLEY APARTMENTS
208 WELLESLEY DR SE
ALBUQUERQUE, NM 87106

DRAWING TITLE

SITE PLAN

DESIGNED

DRAWN

CHECKED

REVIEWED

DATE

7/17/2025

PROJECT NO

SCALE

DRAWING NO

A-100

OF