CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

July 28, 2025

Scott Anderson, RA Scott C. Anderson & Assoc Architects 2818 4th St NW suite C Albuquerque, NM 87107

scott@scaarchitects.com

Re: Wellesley Apartments 208 Wellesley SE

Traffic Circulation Layout

Engineer's Stamp 7-17-25 (K16D097) TRANS-2025-00199

Dear Mr. Anderson,

PO Box 1293

The TCL submittal received 7-22-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the <u>ABO-PLAN</u> for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD,PE,CFM Sr. Engineer, Planning Dept. Development Review Services

C: CO Clerk, File

SOLID WASTE CALCS: 42 UNITS X 0.55 CY = 23.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY

THERE ARE OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE. SWANSON CONTAINERS TO BE USED AND HOISTED IN THE ALLEY.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED

OWNER SHALL PURCHASE 4 EA SWANSON CONTAINERS.

3,000 PSI CONCRETE W/ #3 REBAR @ 18" OCBW IN CENTER OF SLAB USE 3 1 CHAIRS @ 48" OCBW

PAVING SECTION

SCALE: NTS 1'-0" + METAL SIGN - BACKGROUNI COLOR TO BE REFLECTIVE WHITE WITH LETTER COLOR TO BE HANDICAP BLUE - 1-1/2" O.D. GALV. STL. PIPE IN 8" DIA. X 24" DEEP CONC. FOOTING - CROWN CONC. FOR POSITIVE FINISH GRADE OR PAVEMENT

— 6" AGGREGATE

BASE COURSE

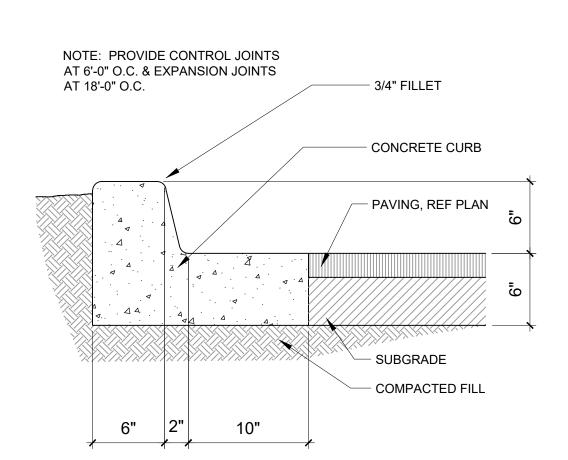
THAN 3 INCHES

6" FLEX BASE, COMPACTED TO

REPORT HAS PVR OF GREATER

95% PER TEX 113-E, IF SOILS

HC SIGN



CURB AND GUTTER

SCALE: NTS

SCALE: NTS

THAN 1/8" PER FOOT ON THE APPROACH.

LEAK FROM THE REFUSE CONTAINER.

COLLECTION POINT ON COLLECTION DAY.



-HC PARKING SIGN, REF DETAIL WHEEL STOP PEDESTRIAN ROUTE - LANDSCAPE FILL - 3/4" FILLET 4" STRIPE @ 36" OC PER NMSA, THE ADA ADJACENT CONCRETE SIDEWALK - SLOPE ACCESS AISLE SHALL BE 1/8" PER 1'-0" TOWARD DRAINAGE SYSTEM - PROVIDE CONTROL CLEARLY MARKED BY DIAGONAL, JOINTS AT 6'-0" O.C. & EXPANSION BLUE PAVEMENT STRIPING JOINTS AT 18'-0" O.C. WHETHER SHOWN OR NOT ON THE SITE INTERNATIONAL SYMBOL PLAN - COORDINATE WITH THE OF ACCESSIBILITY 36" ARCHITECT PARKIN A a. 12" HIGH LETTERING WITHIN

ADA PARKING

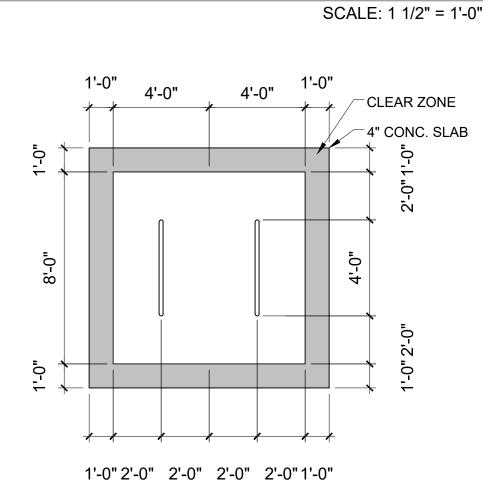
MIN

SCALE: $\frac{1}{8}$ " = 1'-0" 1'-2" METAL SIGN - BACKGROUND COLOR TO BE REFLECTIVE WHITE WITH LETTER COLOR TO BE RED QZG - 1-1/2" O.D. GALV. STL. PIPE IN 8" DIA. X 24" DEEP CONC. FOOTING - CROWN CONC. FOR POSITIVE FINISH GRADE OR PAVEMENT

ACCESS AISLE

SIDEWALK DETAIL

COMPACTED FILL



BIKE PARKING

ORILL HOLES FOR GATE PIN HOLES IN APRON FOR GATE PIN 4.000 PSI 3/4" AGGREGATE WITH 5X6 -10 / 10 WWM OR EQUAL 12'-0" X 8'-0" WITH 1/2" EXPANSION JOINT FOOTING AS REQUIRED BY DESIGN APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LIBS) CROWNED CONC. TOP BOND BM W/ PAINTED CMU BEYOND STEEL ENCLOSURE DOOR -#5 @ 32" O.C. IN 6" OUTSIDE DIAMETER

13'-6" VIP COMPACTOR

12'-0" STD. ENCLOSURE

CONCRETE SLAB, 6" THICK 4,000 PSI, $\frac{3}{4}$ " AGGREGATE

WITH 6X6 - 10/10 WWM OR

O EQUAL SLOPE TO DRAIN 1/8"

SEPARATE BOLARDS

4"Ø BOLLARD

REFUSE ENCLOSURE

KEYED NOTES

- EXISTING DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- INDOOR BIKE STORAGE MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- 4. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT IRRIGATION BOX
- CITY OF ALBUQUERQUE STANDARD DETAIL 2430

NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

- 8. FIRE DEPT. CONNECTION
- 9. HC PARKING SYMBOL 10. 6' CMU WALL
- 11. CURB, REF DETAIL THIS SHEET
- 12. EXISTING PROPERTY LINE
- 13. 15FT VEHICULAR GATE 14. KNOX BOX
- 15. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL

NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE

- 16. DEMOLISH EXISTING CURB RAMP
- 17. REFUSE CONTAINER, REF DETAIL THIS SHEET 18. RECYCLING CONTAINER COLLECTION POINT
- 19. RECYCLING CONTAINER STORAGE POINT
- 20. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C 21. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- 22. PEDESTRIAN GATE
- 23. 3FT GARDEN WALL 24. WALL MOUNTED CAR CHARGING STATION (4 EACH)
- 25. 100 FT SETBACK FROM PROTECTED LOT 26. TELECOM VAULT
- 27. EXISTING POWER POLE TO REMAIN
- 28. EXISTING POWER POLE TO BE REMOVED
- 29. NEW POWER POLE 30. NEW DEDICATED ROW

LEGEND

BUILDING : CONCRETE

ASPHALT PAVING

LANDSCAPE CLEAR SIGHT TRIANGLE

UPC: 101705731123943209

LEGAL: LOTS 3-6 BLOCK 47, UNIVERSITY HEIGHTS ADDITION ZONING: R-MH / MX-T (UC-MS-PT) ZONE ATLAS PAGE: K-16

GROSS LOT AREA = 1.000 AC = 43,560 SF BUILDING FOOTPRINT = 31,561 SF

NET LOT AREA = 38,740 SF

REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; SF PROVIDED

MULTI-FAMILY

1 BEDROOM: 31 EACH X 1 SPACES (UC-MS-PT) = 31 SPACES

2 BEDROOM: 11 EACH X 1 SPACES (UC-MS-PT) = 11 SPACES SUBTOTAL SPACES REQUIRED = 42 SPACES SPACES PROVIDED = 42 SPACES OFF STREET + 13 SPACES ON STREET

56 SPACES X 5% = 3 CHARGING SPACES REQUIRED, 4 PROVIDED

HC REQUIRED: 2 STANDARD, 1 VAN MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED



AREA MAP

SCALE:NTS SCOTT C. ANDERSON & associates | architects 2818 4th St NW, Suite C Albuquerque NM 87107 505.401.7575

WELLESLEY APARTMENTS 208 WELLESLEY DR SE

ALBUQUERQUE, NM 87106 RAWING TITLE

> √No. 4341 7/17/2025

SITE PLAN

7/17/2025

2" // FLAT BAR

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL

ROOFTOP SHALL BE BUILT WITH NECESSARY SOLAR INFRASTRUCTURE INCLUDING BUT NOT LIMITED

BROKEN OR CRACKED SIDEWALK IS TO BE REPLACED WITH NEW SIDEWALK PER COA STD DRAWING

1 1/2" SCH. 40 STEEL PIPE

PAINTED

FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

USING FULL CUTOFF LIGHT FIXTURES.

COMPLY WITH 5-8 OF THE IDO

2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

THE FULL WIDTH OF THE ALLEYWAY SHALL BE PAVED

1/4" X 3" EXPANSION -

ANCHOR TYP

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

TO ELECTRICAL CONDUIT AND GEAR AND STRUCTURAL SUPPORT

ALL ADA CURB RAMPS SHALL HAVE TRUNCATED DOMES INSTALLED

THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED

CONC. SLAB

GATE FRAME WITH DIAGONAL TENSION BARS, FABRICATED FROM 2"X2"X1" HSS. MITER, WELD, AND GRIND SMOOTH. WELD 16GA B DECK TO GATE FRAME PAINT TO MATCH THE COLOR OF THE BUILDING'S EXTERIOR DOOR FRAMES CONCRETE FILLED
STEEL PIPE SHALL BE ENCASED IN 12" CONCRETE ALL AROUND

SIDE BOLLARDS MAY BE

ARE TO BE 6" FROM

RESTAURANT AND FOOD

SEWER DRAIN REQUIRED 6'-0" INSIDE TO INSIDE

FINISH GRADE

MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"