

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

January 16, 2025

Scott Anderson  
Scott C. Anderson & Associates Architects  
2818 4th St NW Suite C  
Albuquerque, NM 87107

**Re: Wellesley Apartments  
208 Wellesley Dr SE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 01-09-25 (K16D097)**

Dear Mr. Anderson,

The TCL submittal received 01-14-2025 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



SOLID WASTE CALCS:  
42 UNITS X 0.55 CY = 23.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

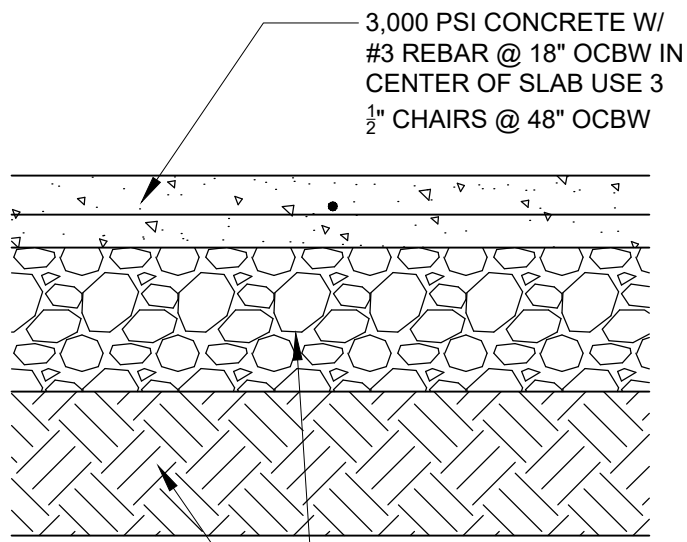
THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE. SWANSON CONTAINERS TO BE USED AND HOISTED IN THE ALLEY.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

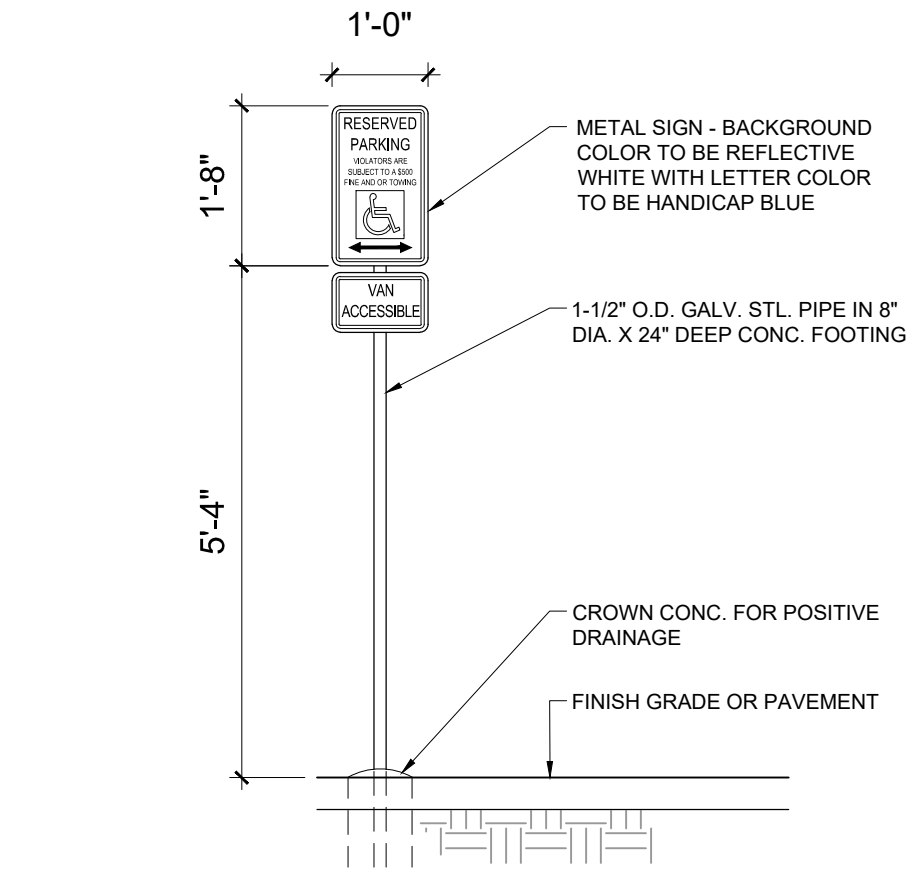
PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 4 EA SWANSON CONTAINERS.



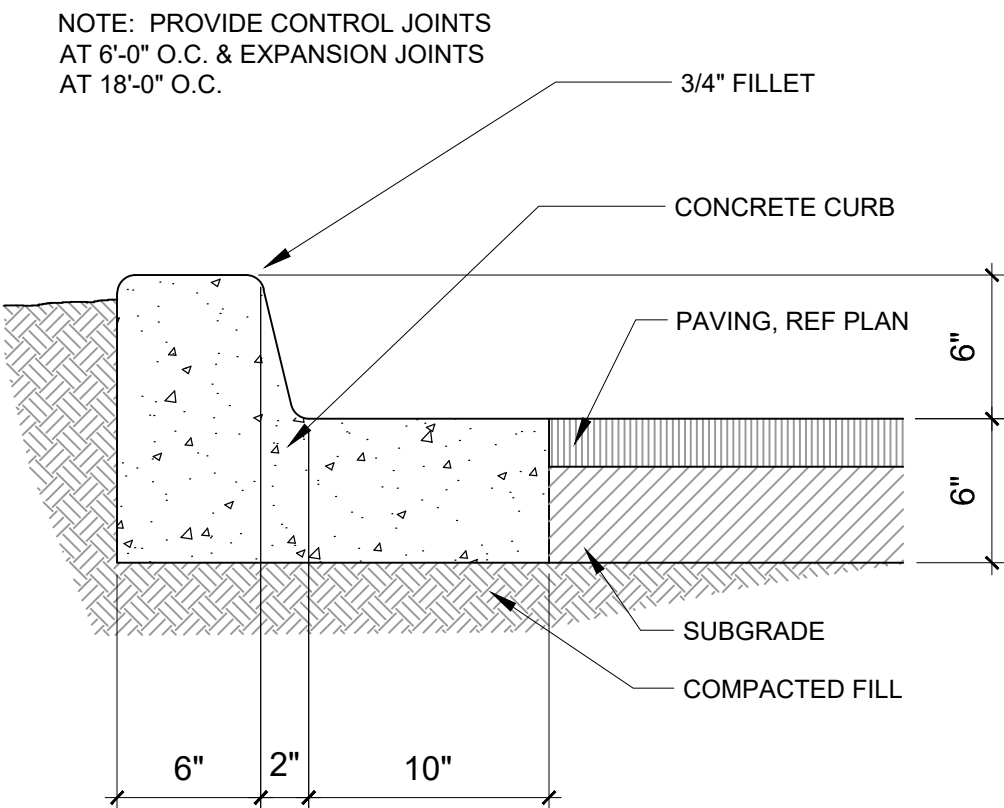
PAVING SECTION

SCALE: NTS



HC SIGN

SCALE: NTS



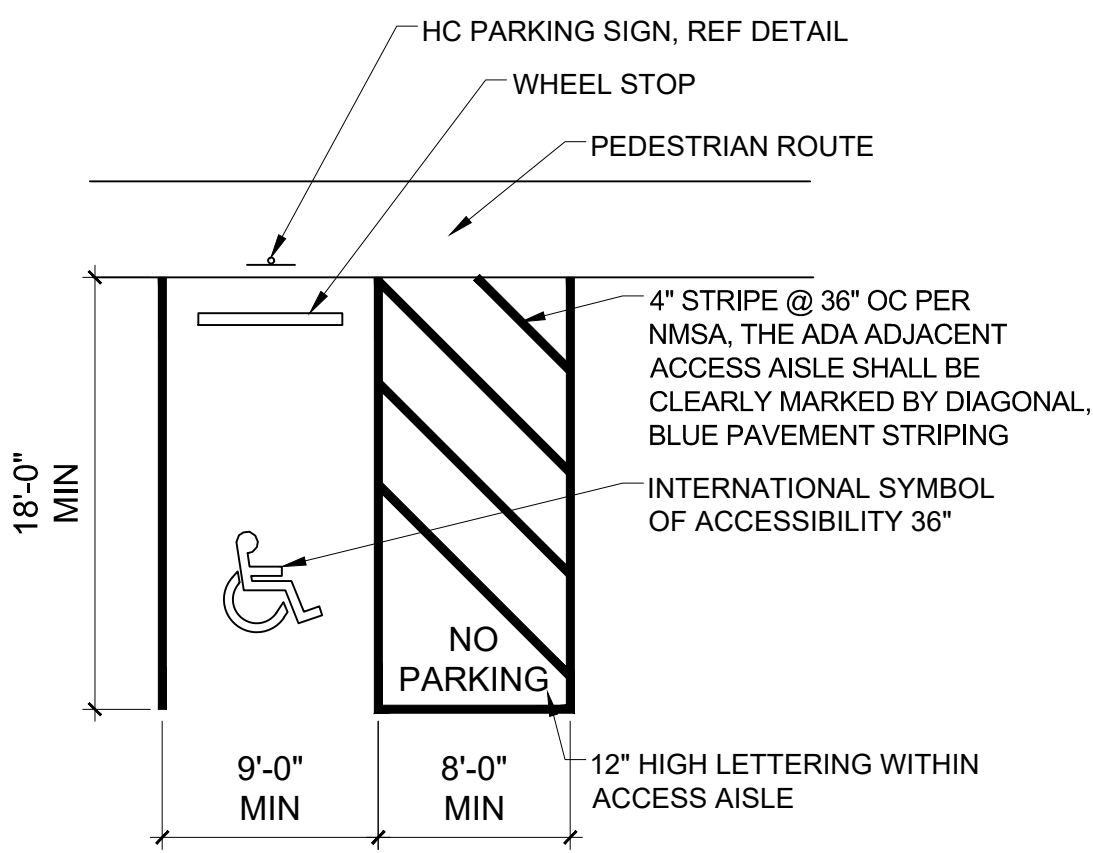
CURB AND GUTTER

SCALE: NTS



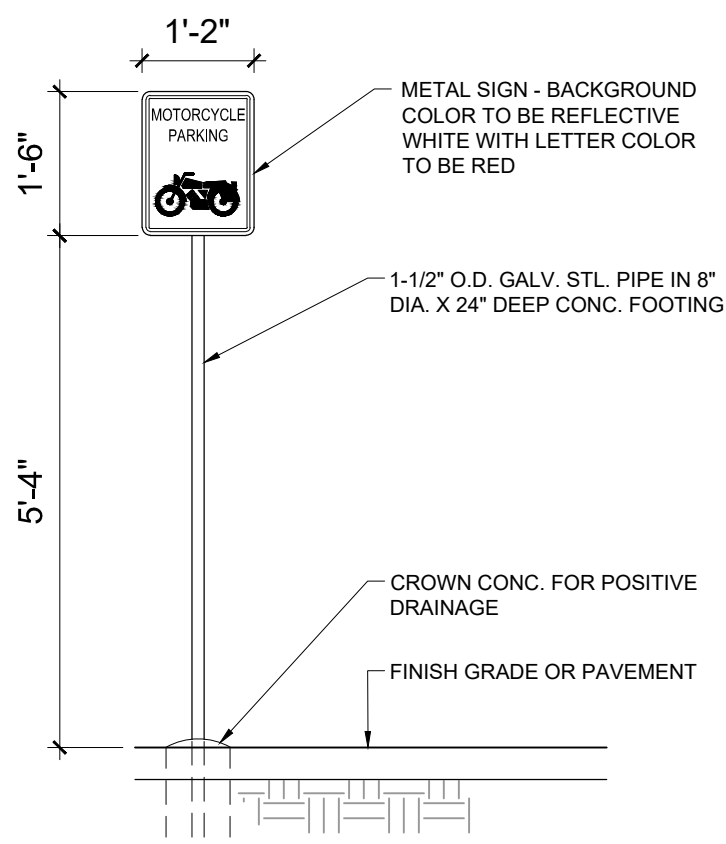
SITE PLAN

SCALE: 1" = 20'-0"



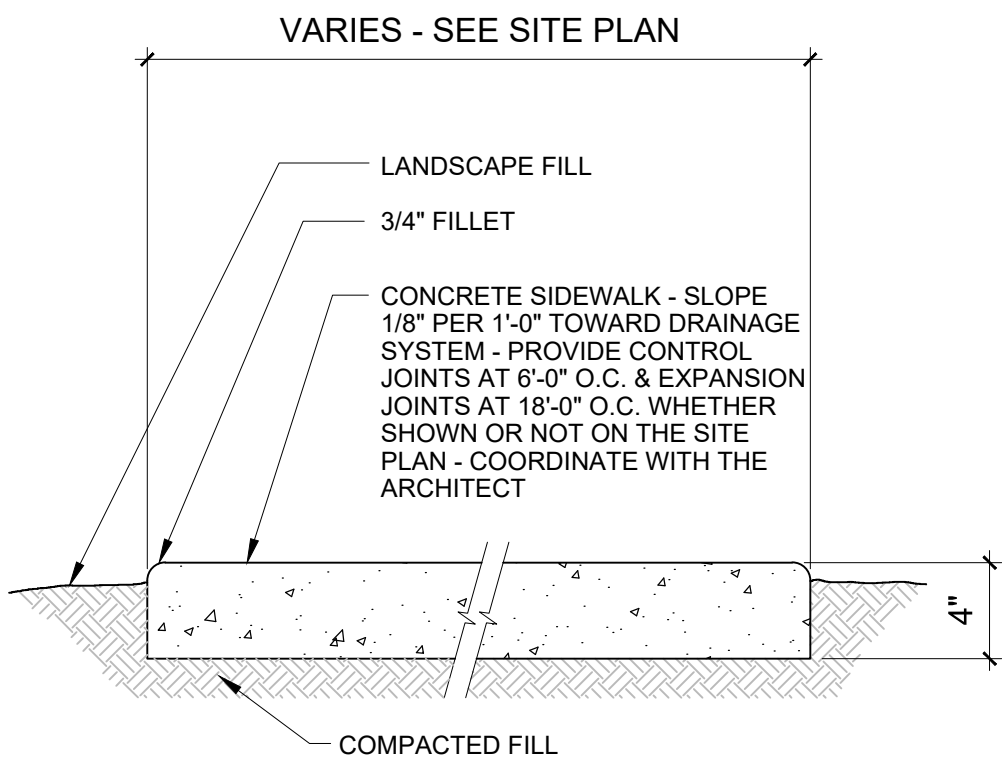
ADA PARKING

SCALE: 1/8" = 1'-0"



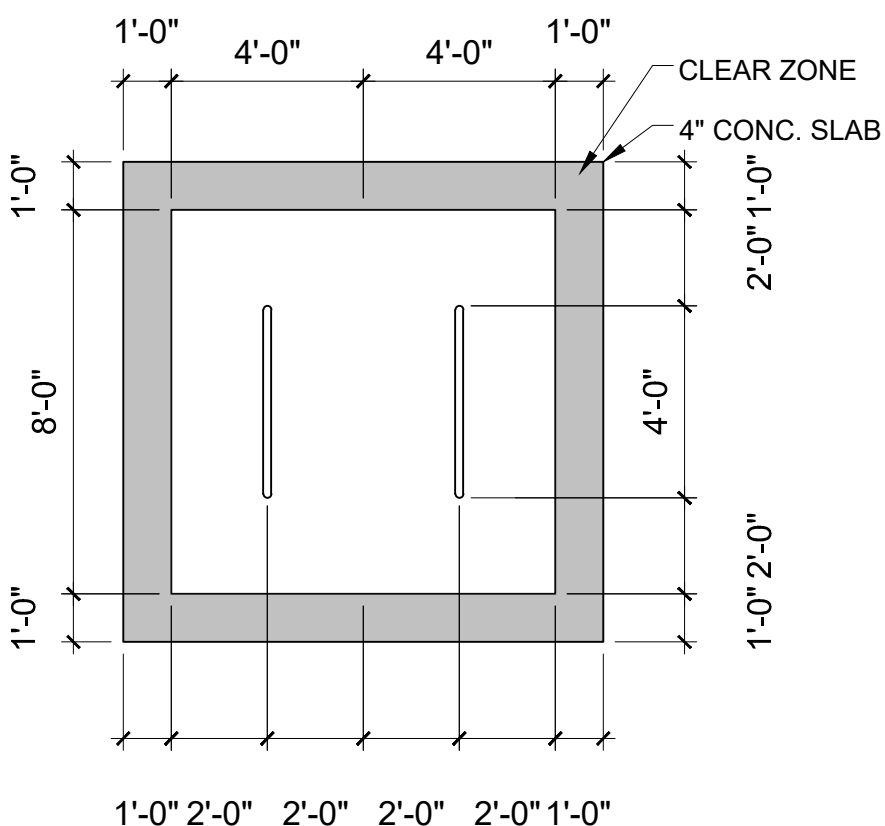
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



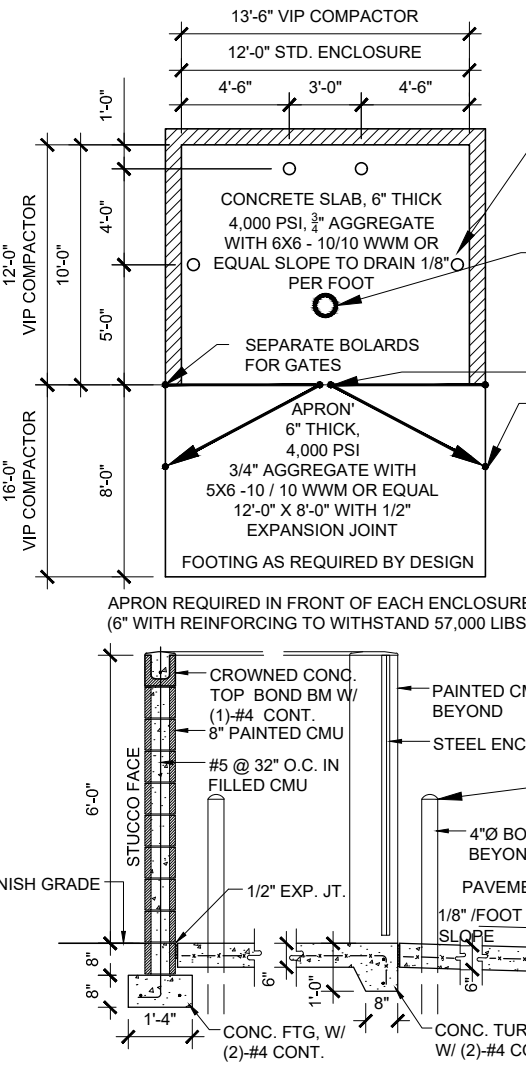
SIDEWALK DETAIL

SCALE: 1 1/2" = 1'-0"



BIKE PARKING

SCALE: 1/4" = 1'-0"



REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

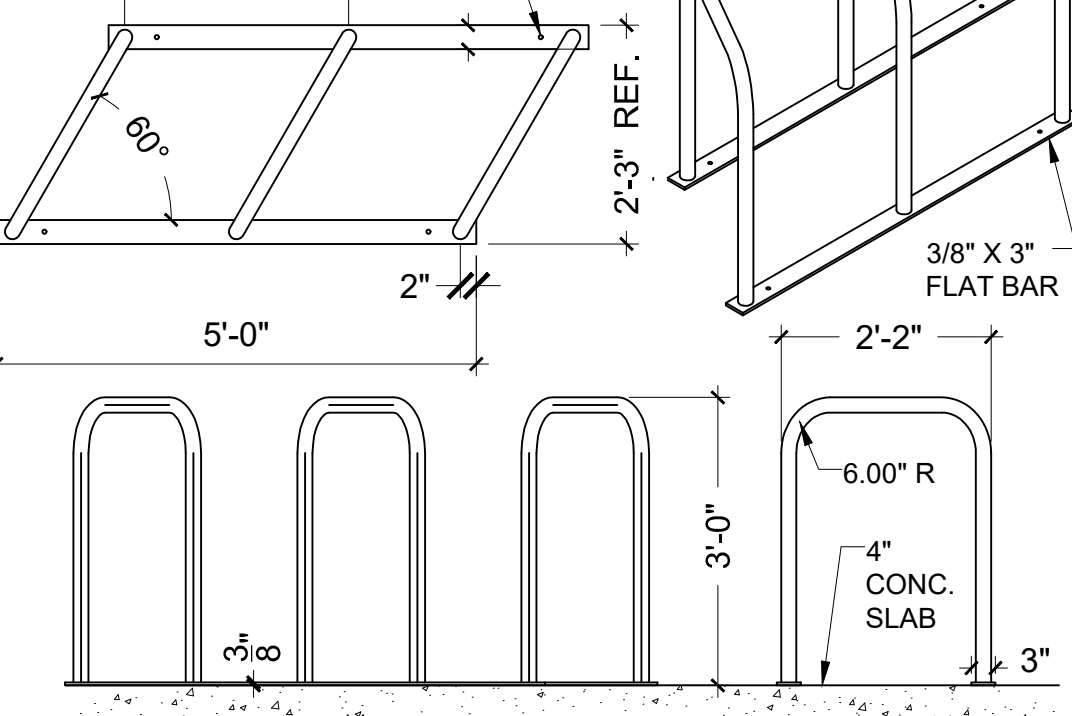
SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ROOFTOP SHALL BE BUILT WITH NECESSARY SOLAR INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUIT AND GEAR AND STRUCTURAL SUPPORT

ALL ADA CURB RAMPS SHALL HAVE TRUNCATED DOMES INSTALLED

THE FULL WIDTH OF THE ALLEYWAY SHALL BE PAVED

BROKEN OR CRACKED SIDEWALK IS TO BE REPLACED WITH NEW SIDEWALK PER COA STD DRAWING 2430



KEYED NOTES

- EXISTING DRIVE OUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- INDOOR BIKE STORAGE
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- VEHICULAR GATE
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- DEMOLISH EXISTING CURB RAMP
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER COLLECTION POINT
- RECYCLING CONTAINER STORAGE POINT
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- PEDESTRIAN GATE
- 3 FT GARDEN WALL
- WALL MOUNTED CAR CHARGING STATION (4 EACH)
- 100 FT SETBACK FROM PROTECTED LOT
- TELECOM VAULT

LEGEND

- BUILDING
- CONCRETE
- ASPHALT PAVING
- LANDSCAPE
- CLEAR SIGHT TRIANGLE

UPC: 101705731123943209  
LEGAL: LOTS 3-6 BLOCK 47, UNIVERSITY HEIGHTS ADDITION  
ZONING: R-MH / MX-T (UC-MS-PT)  
ZONE ATLAS PAGE: K-16

GROSS LOT AREA = 1,000 AC = 43,560 SF  
BUILDING FOOTPRINT = 31,561 SF  
NET LOT AREA = 38,740 SF  
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; SF PROVIDED

PARKING:  
MULTI-FAMILY  
1 BEDROOM: 31 EACH X 1 SPACES (UC-MS-PT) = 31 SPACES  
2 BEDROOM: 11 EACH X 1 SPACES (UC-MS-PT) = 11 SPACES  
SUBTOTAL SPACES REQUIRED = 42 SPACES  
SPACES PROVIDED = 43 SPACES OFF STREET + 13 SPACES ON STREET  
56 SPACES X 5% = 3 CHARGING SPACES REQUIRED, 4 PROVIDED

HC REQUIRED: 2 STANDARD, 1 VAN  
MOTORCYCLE PARKING 151-300 SPACES: 4 SPACES REQUIRED / 6 PROVIDED  
BIKE PARKING 10% OF 42: 5 REQUIRED, 12 INDOOR BIKE STORAGE PROVIDED



AREA MAP

SCALE: NTS

**SCOTT C. ANDERSON & associates architects**  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scacarchitects.com  
505.401.7575

**WELLESLEY APARTMENTS**  
208 WELLESLEY DR SE  
ALBUQUERQUE, NM 87106

DRAWING TITLE

**SITE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	
DATE	1/9/2025

**A-100**

OF