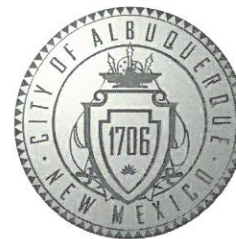


CITY OF ALBUQUERQUE



November 5, 2019

Treveston Elliott, RA
Treveston Elliott Architect
811 12th St. NE
Albuquerque, NM 87102

Re: 3123 Central Ave NE
3123 Central Ave NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-1-19 (K16D201)
Certification dated 10-30-19

Dear Mr. Elliott

Based upon the information provided in your submittal received 10-29-19, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please replace existing drive with Sidewalk, Curb and Gutter.
- Please add No Parking to the ADA Access Aisle
- Please remove Construction debris and material.

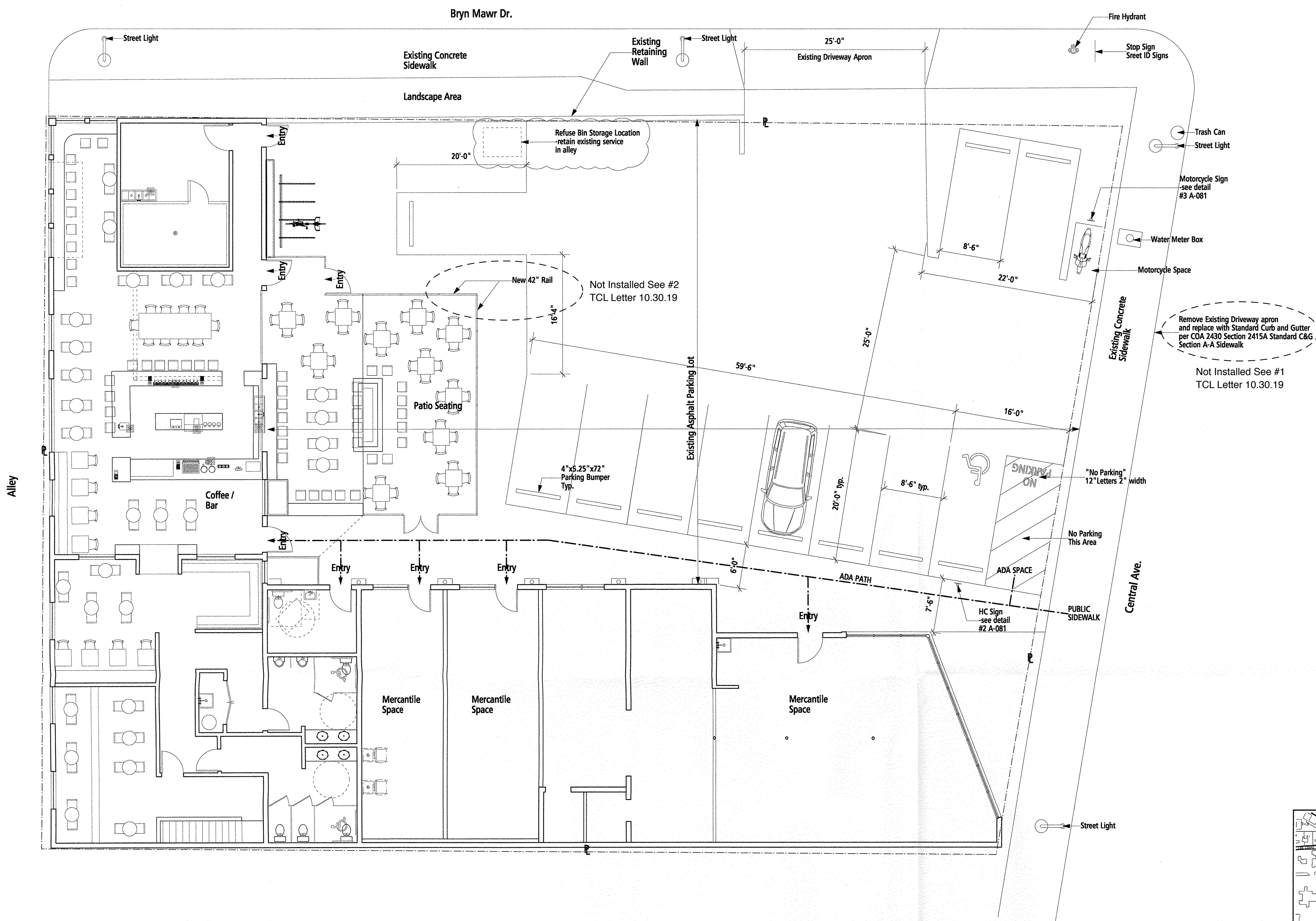
Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and submit an administrative fee of \$40. for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



CODE DATA
2015 International Building Code
2015 Uniform Plumbing Code
2015 Uniform Mechanical Code
2017 National Electrical Code
2009 International Energy Conservation Code
2015 International FIRE Code

CITY OF ALBUQUERQUE
PLANNING
These plans have been reviewed for code compliance and are approved for construction.
The Approval of these plans shall not be construed to permit for any violations of any code or ordinance of this city.
A printed copy of these plans shall be on the job site for all.
PERMIT # **BP-2019-07915**
APPROVED
APR 24 2019

City of Albuquerque
Location: 3123 Central Ave. NE, Albuquerque, NM 87102
Zoning: MX-M
Zoning Atlas Page: K-16
Setbacks: Existing- no change to building footprint
Height: 1-Stories no change
Parking: 5/1,000 GSF Coffee / Bar UC-MS-PT @4,468 sq.ft. / 1,000" 5 = 22
na- retail space under 3,000 sq.ft. (5-5(B)(2)(d))
Total Spaces required = 22
REDUCTIONS (can't exceed 50%)
5-5(C)(5)(c) = 15
- 30% Proximity to transit = 15
5-5(C)(5)(f) = 11
- 4 Spaces = 11
Total Spaces required = 11

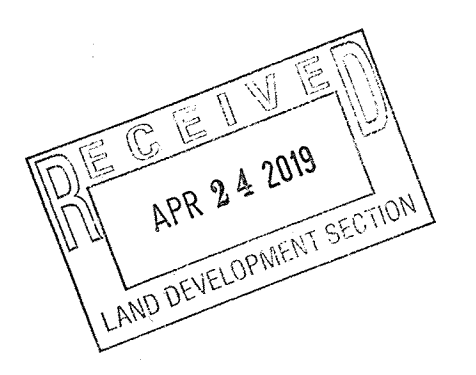
Bld. Area: 7,483 sq.ft.
Occupancy: Fire Area 1 / 3 Coffee and Bar 4,468 GSF
Suite A- Fire Area 1
A-2 Seating @1,379 sq.ft. / 15 = 92
A-2 Bar @302 sq.ft. / 200 = 2
S Storage @431 sq.ft. / 300 = 2
= 96
Fire Area 3
A-2 Seating @653 sq.ft. / 15 = 44
A-2 Bar @228 sq.ft. / 200 = 2
= 46
Total Occ = 142 occ.

Fire Area 2
Suite B M-Tenant 2 @417 sq.ft. / 100 = 7
Suite C M-Tenant 3 @475 sq.ft. / 100 = 8
Suite D M-Tenant 1 @1,904sq.ft. / 100 = 32

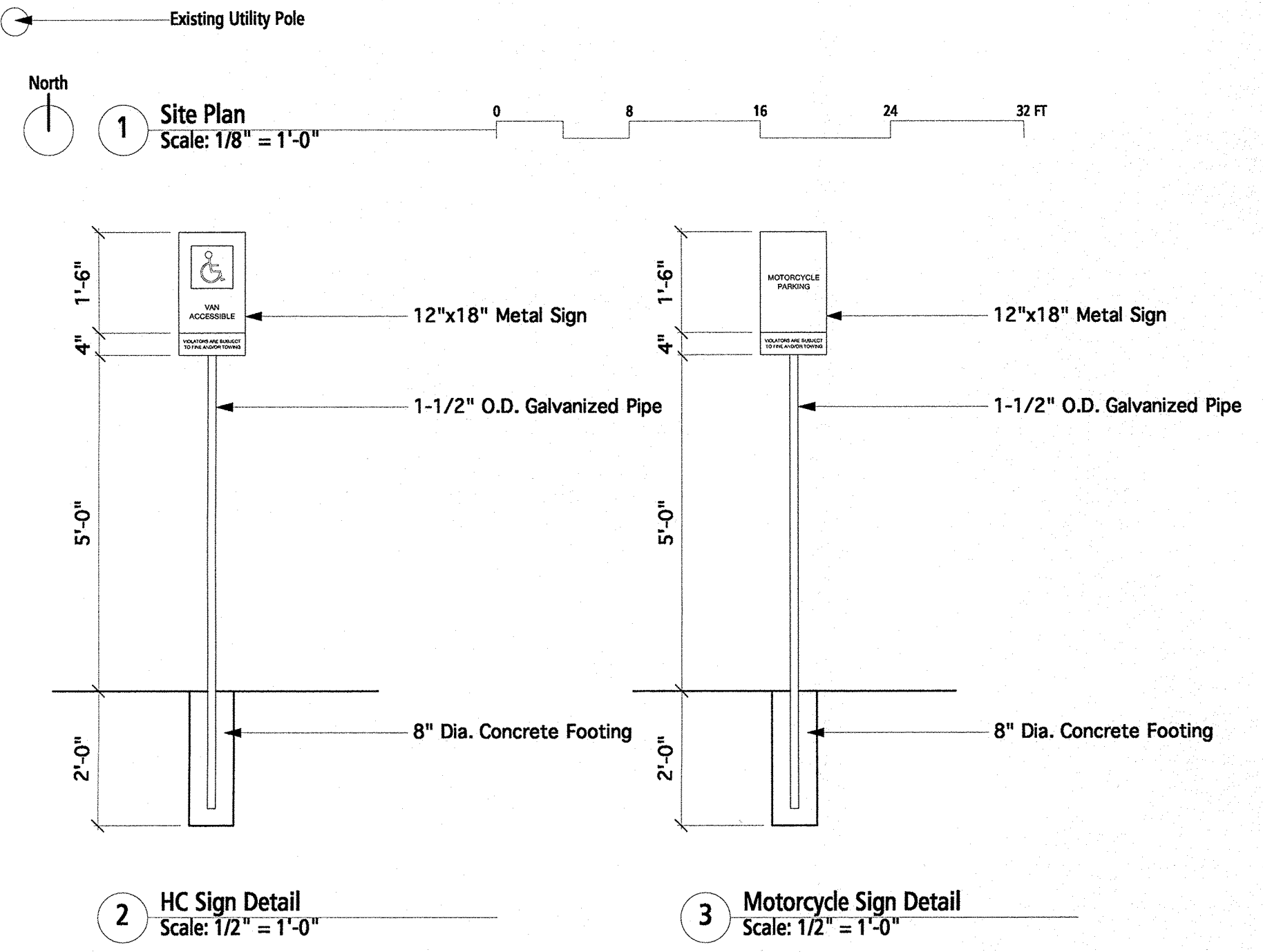
Construction Type: Type Vb
Separation: 2 Hour BtwnFire Areas 1-2-3
Seismic: C
Sprinkler: No

Alteration level 3- Divide existing building into three suites areas not to exceed 99 occ. each area. Suite A Coffee / Bar A-2 occ. complete. Suite B / C / D vanilla shell.

TREVESTON ELLIOTT ARCHITECT
811 17TH ST. NW
ALBUQUERQUE, NEW MEXICO
87102
C 505.259.4617
treveston@trevestonarchitect.com
www.trevestonarchitect.com

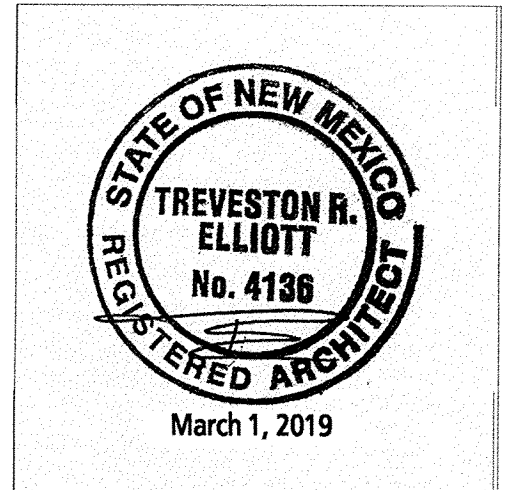
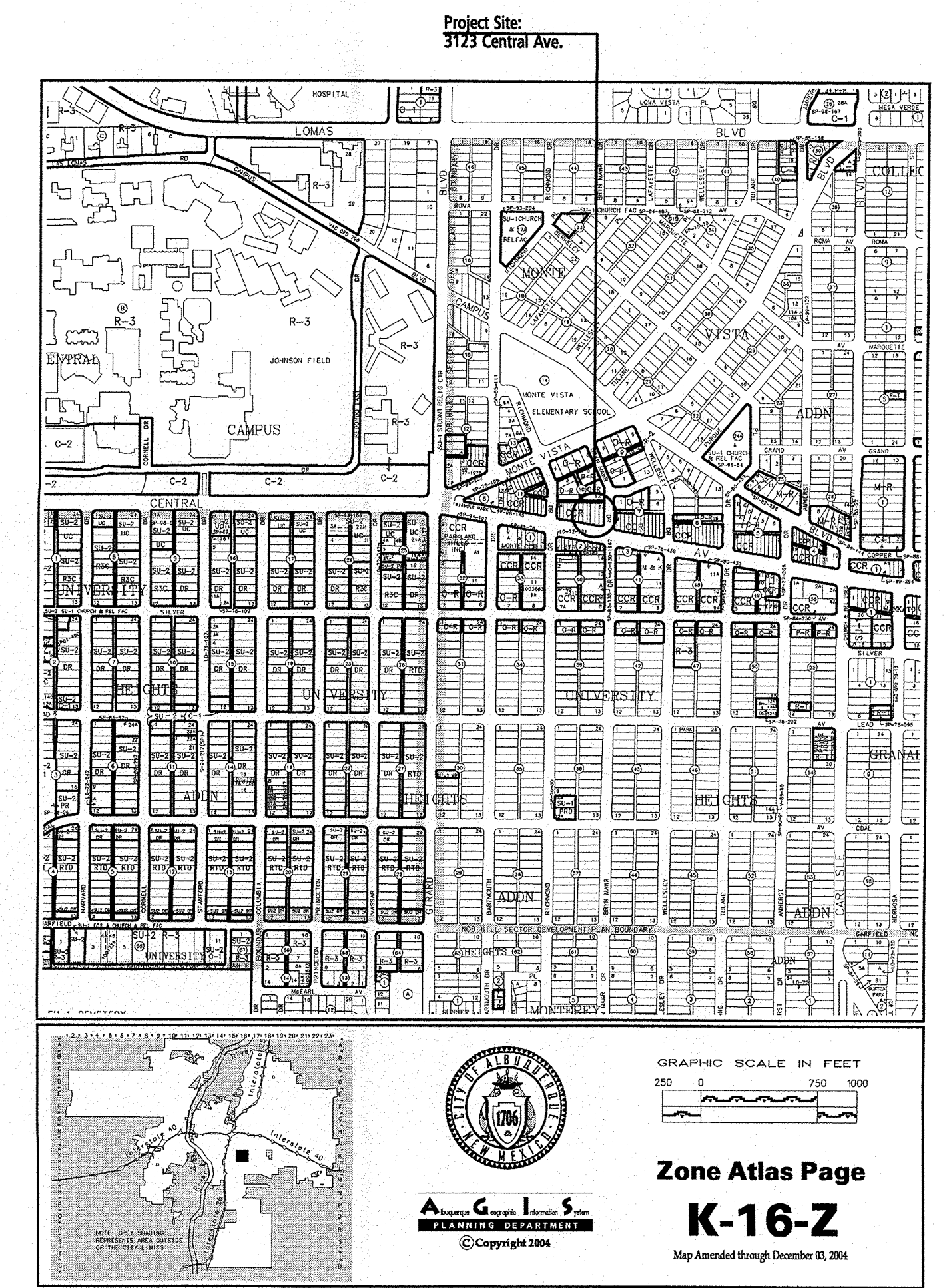


Coffee
3123 Central Ave NE
ALBUQUERQUE, NEW MEXICO 87106



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 4/25/19

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



Date: March 19, 2019
Revised 10.30.19
Sheet: Traffic Control Layout

TCL

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 2-2015)

Project Title: 3123 CENTRAL Building Permit #: BP-2019-07915 Hydrology File #: K160201
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 3123 CENTRAL AVE. NE 87106

Applicant: DISCO CENTRAL LLC

Contact: JACOB FOX

Address: 3123 CENTRAL AVE. NE 87106

Phone#: _____

Fax#: _____

E-mail: _____

Other Contact: TREVSTON ELLIOTT ARCHITECT

Contact: TREVSTON ELLIOTT

Address: 811 12TH ST. NE 87102

Phone#: 505-259-4617

Fax#: _____

E-mail: TREVSTON@TEAARCHITECT.COM

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? ☒ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY DRAINAGE _____

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER ARCHITECT CERTIFICATION SECTION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLICATION
- _____ ELEVATION CERTIFICATE
- _____ CLOMR LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/14/2019

By: TREVSTON ELLIOTT ARCHITECT

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FFF PAID

TREVESTON ELLIOTT ARCHITECT

811 12TH STREET NW
ALBUQUERQUE NM
87102

o 505.259.4617

www TEarchitect.com

TRAFFIC CERTIFICATION

I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 3123 CENTRAL AVE. NE 87106 IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED APRIL 24, 2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED EN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

WITH TWO EXCEPTIONS.

1. THE DRIVEWAY CURB CUT ON CENTRAL HAS NOT BEEN REMOVED, BUT WE HAVE A LEETER (ATTACHED) THAT PROVIDES INFORMATION AS TO WHEN THAT WORK WILL BE COMPLETED.
2. THE 42" PATIO RAIL HAS NOT BEEN INSTALLED- THIS WILL BE COMPLETED IN THE FUTURE

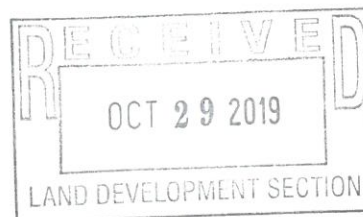
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USENG IT FOR ANY OTHER PURPOSE.



Treveston Elliott RA



10.30.19





City Council

P.O. Box 1293
Albuquerque, NM 87103
Tel: (505) 768-3100
Fax: (505) 768-3227
www.cabq.gov/council

Vice President Cynthia D. Borrego
District 5

Stephanie M. Yara
Council Director

Ken
Sanchez
District 1

Isaac
Benton
District 2

Brad
Winter
District 4

Patrick
Davis
District 6

Diane G.
Gibson
District 7

Trudy E.
Jones
District 8

Don
Harris
District 9

Sean Foran
Policy Analyst
Office of City Councilor Pat Davis
1 Civic Plaza NW
PO Box 1293
Albuquerque, NM 87103
seanforan@cabq.gov ; 505.768.3152

October 29, 2019

To Whom It May Concern,

This letter is to confirm that the City of Albuquerque is in the process of removing the curb cut and leveling the side walk on the south side of 3123 Central Ave SE. TLC Plumbing and Utilities will be installing the new sidewalk, curb, and gutter and is expected to complete the project in the next few weeks.

Sincerely,

Sean Foran
Policy Analyst
Office of City Councilor Pat Davis



Untitled Map

Write a description for your map.

Legend

Remove C&G and
drive pad and
replace with std
C&G and sidewalk

Google Earth

© SPOT IMAGE

© 2018 Google

© 2018 Europa Technologies

5.75 ft

