

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 30, 2024

EVAN DAVIS
Sunlight Properties
3100 San Joaquin SE
Albuquerque, NM 87106

**Re: Garfield 16-Plex
2404 Garfield SE 87106
Traffic Circulation Layout
Engineer's/Architect's Stamp 5/29/24 (K16D203)**

Dear Mr. DAVIS,

The TCL submittal received 5/6/2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

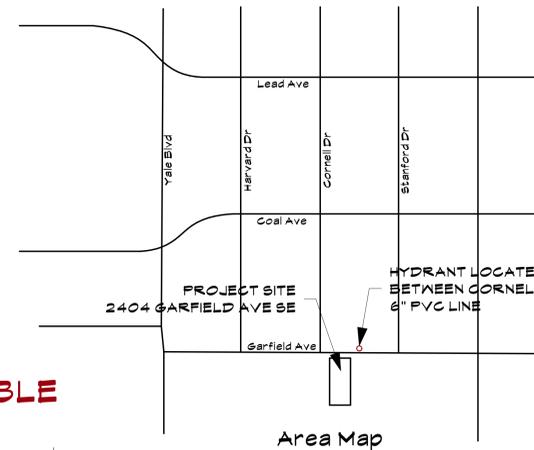
C: File



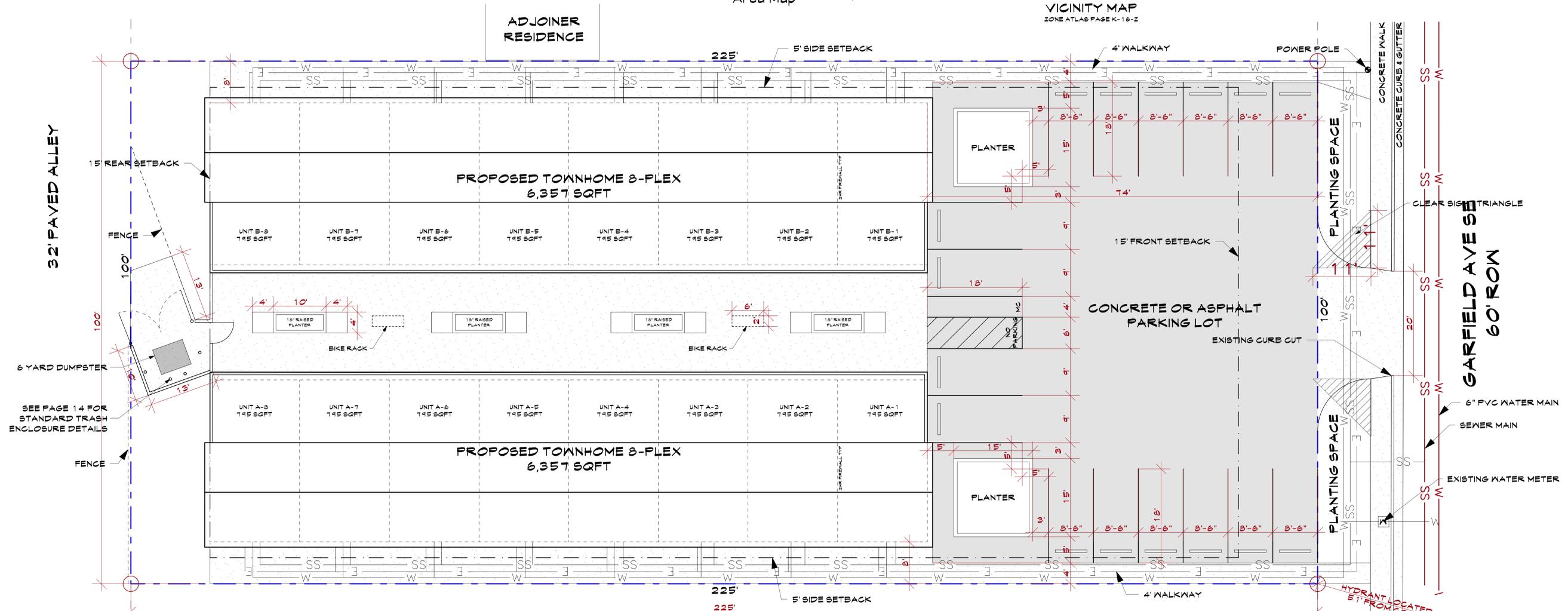
KING
ENGINEERING & DESIGN
www.kingengineer.com

THIS STAMP SPEAKS ONLY FOR STRUCTURAL ELEMENTS

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 5/30/2024
Signed _____ Date _____



NO TOWNHOME UNITS ARE ADA ACCESSIBLE



- SITE PLAN NOTES**
- REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES
 - 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE 5-5-1 OF THE IDO. TOTAL REQUIRED PARKING = 16 SPACES
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 24 15 (CURB & GUTTER).
 - PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESS AISLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLES REAR TIRE WOULD BE PLACED (66-1-4.1.B NMSA 1978). MOTORCYCLE PARKING SPACE SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE STANDING OR WALL MOUNTED PER ZONING CODE
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 - BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
 - TOTAL BUILDING HEIGHT = 22'-4"
 - UNUSED CURB CUTS TO BE REPLACED WITH CURB & GUTTER PER CITY STANDARD 24 15A & 2430
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY STANDARDS
 - MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE STANDING OR WALL MOUNTED PER THE ZONING CODE

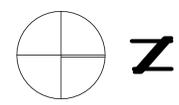
ADDRESS:
2404 GARFIELD AVE SE, 87106

LEGAL DESCRIPTION:
LOT SEVEN (7), BLOCK SIXTY-EIGHT (68) OF THE UNIVERSITY HEIGHTS

ZONING:
-REQUIRED PARKING SPACES PER IDO = 16
SPACES PROVIDED = 16
-REQUIRED MOTORCYCLE PARKING SPACES PER IDO = 1
SPACES PROVIDED = 1
-REQUIRED BICYCLE PARKING SPACES PER IDO = 2
SPACES PROVIDED = 2



HEATED FLOOR AREA:
TOTAL 16-FLEX FLOOR AREA = 12,714 SQ.FT.
INDIVIDUAL UNIT = 795 SQ. FT.



GARFIELD TOWNHOMES

TCL

5.16.24

Revisions

DATE PAGES REVISED

