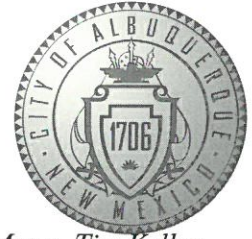


CITY OF ALBUQUERQUE



Planning Department
David Campbell, Director

Mayor Tim Keller

April 3, 2019

Matt Satches, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**RE: Highland High School Title IX Gymnasium Upgrade-Phase 2, 4, 5 & 6
4700 Coal Ave SE
Requested Permanent C. O. – Accepted
Engineers Stamp Date 6/23/16 (K17D021)
Certification dated: 4-1-19**

Dear Mr. Satches,

PO Box 1293

Based on the certification provided in your submittal received 4/1/2019, the above referenced Phases 2, 4, 5 and 6 are approved for a Permanent Release of Occupancy by Hydrology and Phases 1 and 3 are not approved.

Albuquerque

Phase 2: 2018-11702
Phase 4: 2018-11704
Phase 5: 2018-11705
Phase 6: 2016- 00827

NM 87103

www.cabq.gov

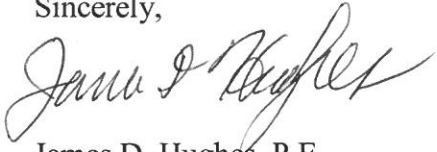
Before Phases 1 and 3 can be accepted for a permanent CO the following comments must be addressed.

- All construction fencing is to be removed from Phase 3. See attached pic.
- The roof drains need to be connected to the down spouts in Phase 3.
- Note 15- Clean existing trench drain clear of debris and ensure proper function.
- Plates on all sidewalk culverts need to be bolted down in Phase 1.

An inspection by our office will need to take place after these corrections are made.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

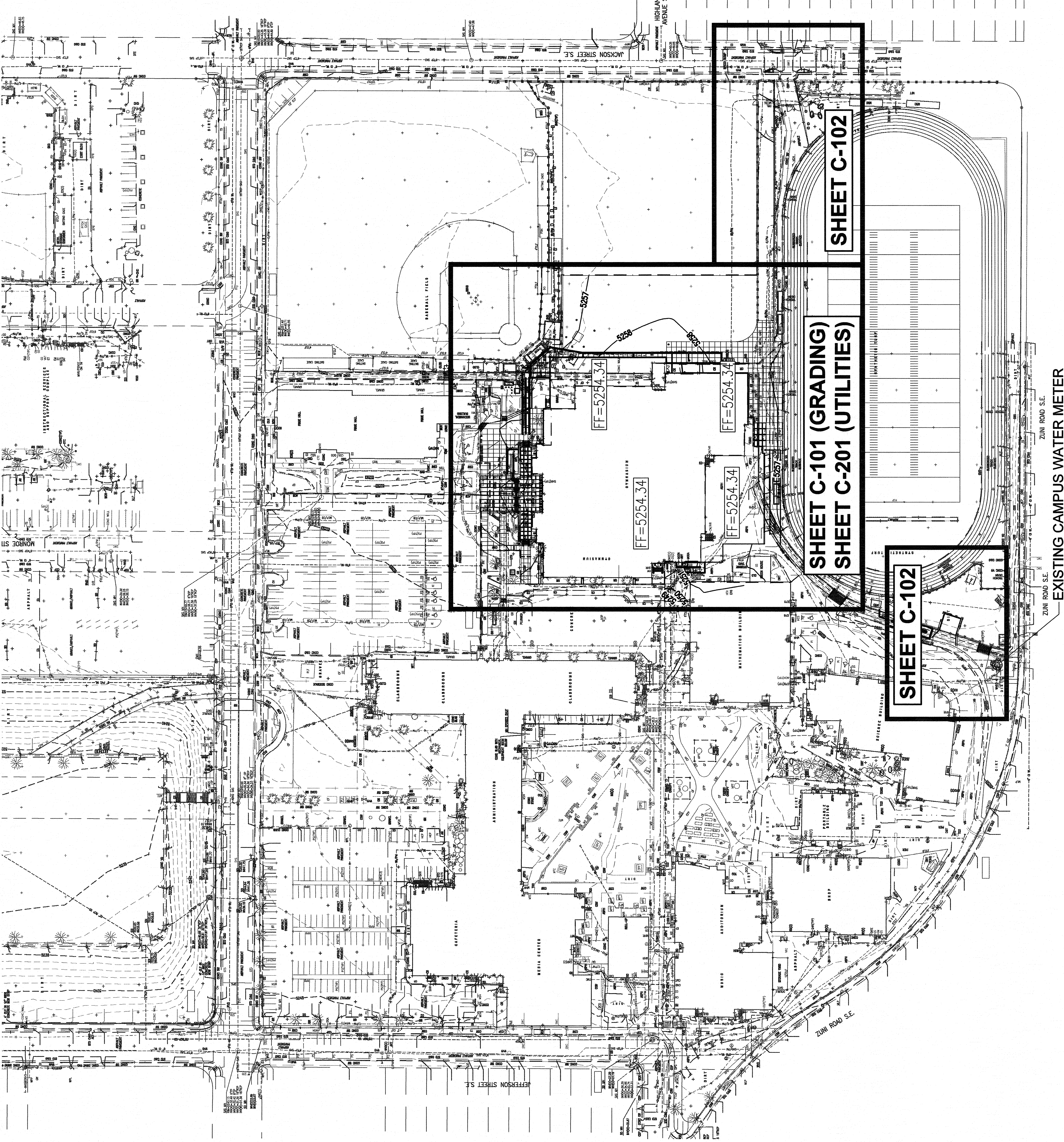
Sincerely,

A handwritten signature in black ink, appearing to read "James D. Hughes". The signature is fluid and cursive, with the first name "James" and last name "Hughes" clearly distinguishable.

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/JH

C: email



DRAINAGE CERTIFICATION

I, MATTHEW H. SATCHELS, AMPE 24672, OF THE FIRM, BOHANNAN HUSTON, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WALL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-26-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN HAS BEEN REVIEWED AND APPROVED BY ME. I, FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/1/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT. THE RECORD INFORMATION HAS BEEN REVIEWED AND APPROVED BY ME. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE OVERALL HIGHLAND HIGH SCHOOL GYM RENOVATIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MATTHEW H. SATCHELS, AMPE 24672

LEGEND

DATE: 4-1-2019

DESIGN GRADE

AS-BUILT GRADE

11/1/19

DATE: 4-1-2019

- GRADING SHEET NOTES
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE STATED, OR ARCHITECT OR OWNER, OR OTHER WORK SHALL UNLESS OTHERWISE STATED, OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

4. EARTH SLOPES SHALL NOT EXCEED 5 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE IDENTIFIED AND OBTAINED PRIOR TO CONSTRUCTION. ALL APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS.

9. ALL PROPOSED CONTOURS BELOW TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

11. SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.

12. HOSE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

13. ENDS OF ALL STORM DRAIN PIPES, CULVERTS, & CMP END SECTIONS (LARGER THAN 12") SHALL BE COVERED WITH STEEL BARS (TO KEEP CHILDREN OUT) APPROXIMATELY 12' SQUARE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL. HYDRAULIC INTEGRITY SHALL NOT BE COMPROMISED. BARS TO BE PAINTED TO MATCH BUILDING.

- UTILITY SHEET NOTES
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROCUREMENT AND INSTALLATION OF ALL UTILITIES SHOWN ON THIS PLAN. UTILITIES SHALL BE AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.

2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.

3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE APMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.

4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.

5. ROUGH GRADING OF SITE (40:5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.

6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.

7. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARD DRAWING 2333.

8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND WATER HOODS TESTS FOR INSTALLATION. WATER METER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, FUGROIA AND OTHER SPECIAL ASSESSMENTS.

10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING IN ACCORDANCE WITH NFPA 24.

LANDSCAPE GENERAL NOTE:

1. ALL LANDSCAPE MATERIALS SHALL BE AS FOLLOWS:
A. BE 4" BELOW FINISHED GRADES.
B. BE 4" BELOW FINISHED GRADES.
C. SHALL BE 2" BELOW TOP OF FINISHED GRADES.

2. THE SUBGRADE FOR LANDSCAPE AREAS SHALL BE DONE BY THE GENERAL CONTRACTOR. SITE LANDSCAPE WILL BE INSTALLED BY THE APS ON-ALL LANDSCAPE CONTRACTOR AS SPECIFIED ON SHEET LPA-01.

NOTE:

CONTRACTOR SHALL PROVIDE AS-BUILT GROUND INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THE ACCURACY OF THE INFORMATION. THE INFORMATION SHALL BE PROVIDED AT LEAST 3 WORKING DAYS PRIOR TO CONTRACTORS REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY. AS-BUILT DATA SHALL BE UPDATED AND RESUBMITTED ONE WEEK PRIOR TO FINAL CERTIFICATE OF OCCUPANCY REQUEST. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRUTES AND INVERTS OF CATCH BASINS
- ALL SPOTS, SPOT ELEVATIONS, AND 1% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

SMPC Architects
PARTNERS OF BARNER.

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Albuquerque, NM 87106
505.263.0000
www.smpcarchitects.com

Bohannon
Huston

www.bhnc.com
800.877.5332

ALBUQUERQUE PUBLIC SCHOOLS
HIGHLAND HIGH SCHOOL
TITLE IX GYMNASIUM UPGRADE
4700 Coal Ave. SE
Albuquerque, NM 87108

100% CONSTRUCTION DOCUMENTS

NO	DATE	DESCRIPTION
1	2016-06-23	PROJECT #
2	140001	DRAWN BY:
3	BHV	CHD BY:
4	JLM	COPYRIGHT:
5	SMPC Architects © 2014	These documents were prepared for the use of the client and are not to be used for any other project. Liability is limited to the specific project, and no other projects. No other documents or other projects.
6		SHEET TITLE

OVERALL CIVIL PLAN

C-100

SHEET OF

GENERAL SHEET NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE STATED, OR ARCHITECT OR OWNER, OR OTHER WORK SHALL UNLESS OTHERWISE STATED, OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, REGULATIONS, AND ORDINANCES, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR AND THE CITY ENGINEER OF ANY DISCREPANCIES, INCLUDING ALL UNDERGROUND UTILITIES, SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL RESOLVE WITH A MINIMUM AMOUNT OF DELAY.

4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.

5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INTERFERENCES CAUSED BY THE CONTRACTOR'S FAILURE TO COORDINATE WITH THE UTILITIES PRIOR TO REQUIRED WORK.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARBICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).

10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE RESET BY A REGISTERED LAND SURVEYOR. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.

11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND CONSTRUCTION TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE TEXAS TRANSPORTATION DEPARTMENT CONTROL DEVICES (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND CONSTRUCTION SIGNING IN PLACE UNTIL THE PROPER LOCATION OF ALL BARBICADING AT THE END AND BEGINNING OF EACH DAY.

14. THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2008 EROSION CONTROL MANUAL, LATEST EDITION, AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

15. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (286-1980) FOR LOCATION OF EXISTING UTILITIES.

16. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

17. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND THE CITY ENGINEER OF ANY DISCREPANCIES, INCLUDING ALL UNDERGROUND UTILITIES, SHOULD A CHANCE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED. CONTRACTOR SHALL MAINTAIN ALL PERMANENT SURVEY MONUMENTS IN PLACE UNTIL THE END OF THE STANDARD SPECIFICATIONS.

18. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS THEY ARE EXCAVATED. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CONSTRUCTED DRAINAGES. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.

19. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

20. CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE BERNALILLO COUNTY PUBLIC WORKS DEPARTMENT TO OBTAIN ANY NECESSARY PERMITS FOR ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION (3) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

LEGEND

PROPERTY LINE

LIMITS OF GRADING

EXISTING INDEX CONTOUR

EXISTING INTERMEDIATE CONTOUR

PROPOSED INDEX CONTOUR

PROPOSED INTERMEDIATE CONTOUR

PROPOSED STORM DRAIN LINE

PROPOSED STORM DRAIN MANHOLE

PROPOSED STORM DRAIN INLETS

4700 Coal Ave. SE
Albuquerque, NM 87108

100% CONSTRUCTION DOCUMENTS

[illegible]

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GRADING
PLAN

C-101
OF
SHEET

 SHEET KEYNOTES*

1. INSTALL HDPE (12" MT. OR APPROVED EQUAL) STORM DRAIN PIPE, SIZE PER PLAN.
 2. INSTALL PRE-FABRICATED STORM DRAIN FITTING, SEE PLANS FOR SIZE.
 3. INSTALL 24" SIDEWALK CULVERT PER CSD STD DWG 2228. MODIFIED TO PROVIDE ALUMINUM DIAMOND PLATE WITH 1" x 1" ALUMINUM ANGLE.
 4. INSTALL CURB OPENING PER DETAIL A3, SHEET C-101.
 5. INSTALL CONCRETE RUNDOWN PER DETAIL A2, SHEET C-101.
 6. MATCH EXISTING ELEVATION.
 7. SEE LANDSCAPE PLAN FOR SWALE DETAILS.
 8. INSTALL HDPE TRENCH DRAIN, CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW.
 9. CONNECT TO TRENCH DRAIN CATCH BASIN; PROVIDE FITTINGS AS NECESSARY.
 10. RETAINING WALL; SEE ARCHITECTURAL PLAN FOR DETAILS.
 11. SITE RETAINING WALL; SEE CIVIL STRUCTURAL SHEET C-400 FOR DETAILS.
 12. CONNECT TO ROOF DRAIN DOWN SPOUT PER DETAIL A4, SHEET C-101.
 13. INSTALL 30" NYLOPLAST INLET BASIN (OR APPROVED EQUAL) WITH SOLID GRADE COVER.
 14. REMOVE EXISTING SINGLE SIDEWALK CULVERT, INSTALL 24" SIDEWALK CULVERT PER CSD STD DWG 2228, MODIFIED TO PROVIDE ALUMINUM DIAMOND PLATE WITH 1" x 1" ALUMINUM ANGLE.
 15. CLEAN EXISTING TRENCH DRAIN, CLEAR OF DEBRIS AND ENSURE PROPER FUNCTION.
 16. INSTALL 4" WIDE VALLEY GUTTER PER DETAIL A5, SHEET C-101.
 17. SAWCUT, REMOVE 4" DEPTH EXISTING ASPHALT, CURBS, LANDSCAPE MATERIALS, IRRIGATION EQUIPMENT, REPLACE IN KIND, CONTRACTOR TO UTILIZE TRENCH BOX FOR THIS INSTALLATION.
 18. CONNECT TO ROOF DRAIN WITHIN 6' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
 19. CONTRACTOR SHALL GRADE STAGING AREA TO TOP OF SUBGRADE (2.5' BELOW FINISHED GRADES SHOWN). COORDINATE WITH LANDSCAPE ARCHITECT AND APS ON-CALL LANDSCAPE CONTRACTOR FOR EXTENTS OF GRADING.
- *. NOT ALL KEYNOTED USED ON THIS SHEET

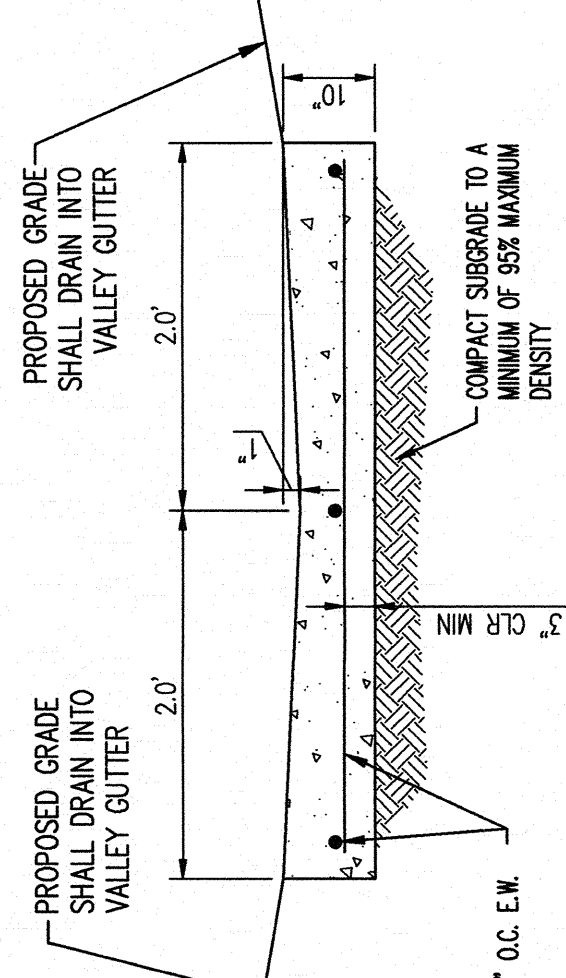
* - NOT ALL KEYNOTED USED ON THIS SHEET

NOTE HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION.

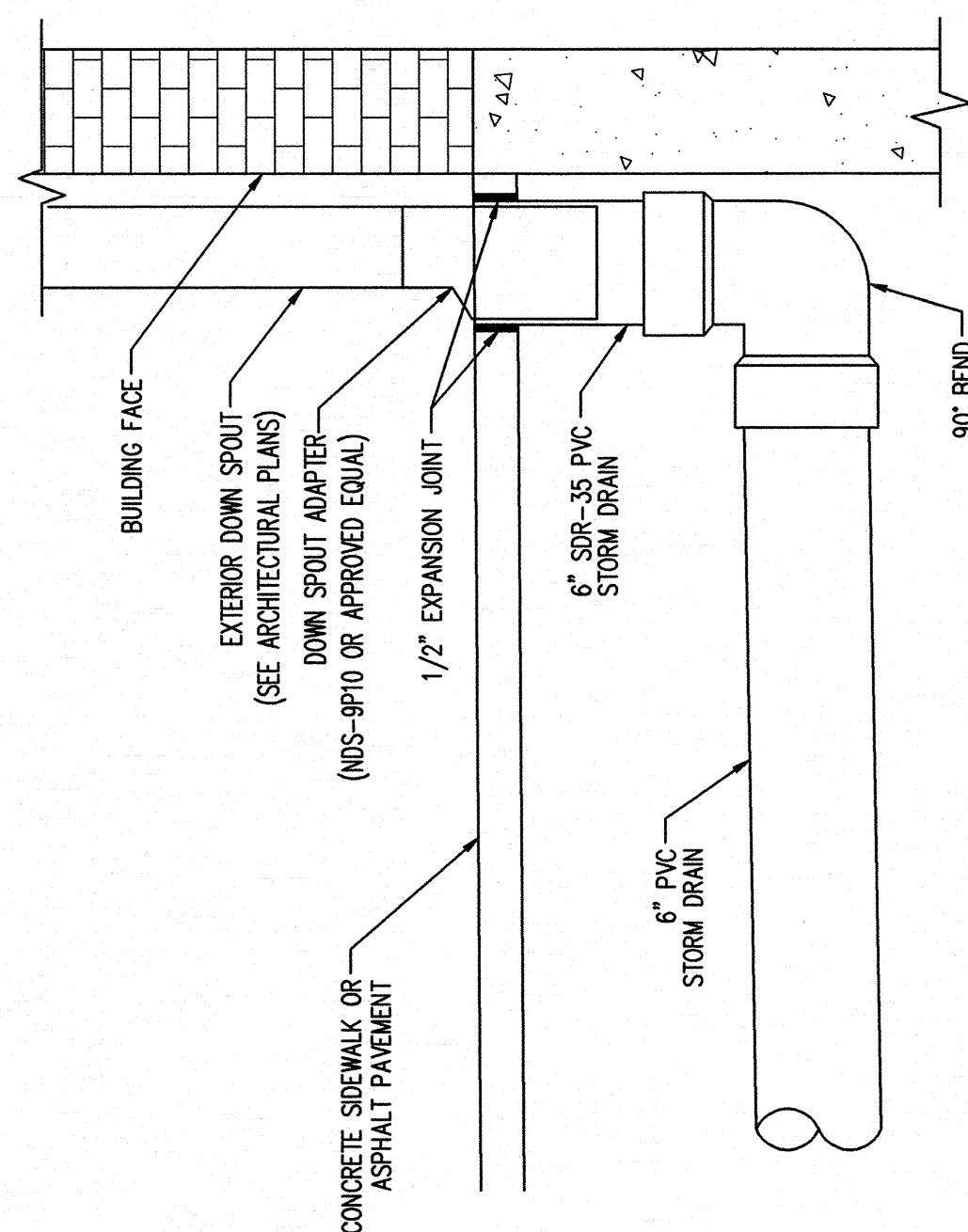
NOTE
ENDS OF ALL STORM DRAIN PIPES, CULVERTS, & CMP END SECTIONS (LARGER THAN 12") SHALL BE COVERED WITH STAINLESS STEEL BARS (TO KEEP CHILDREN OUT) APPROXIMATELY 12" SQUARE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL. HYDRAULIC INTEGRITY SHALL NOT BE COMPROMISED. BARS TO BE PAINTED TO MATCH BUILDING.

NOTE SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 2.0% AND A MAXIMUM OF 2.0%

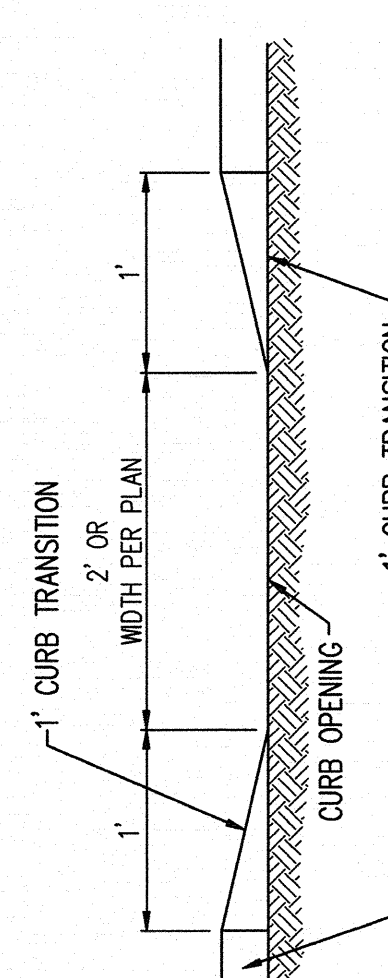
LEGEND

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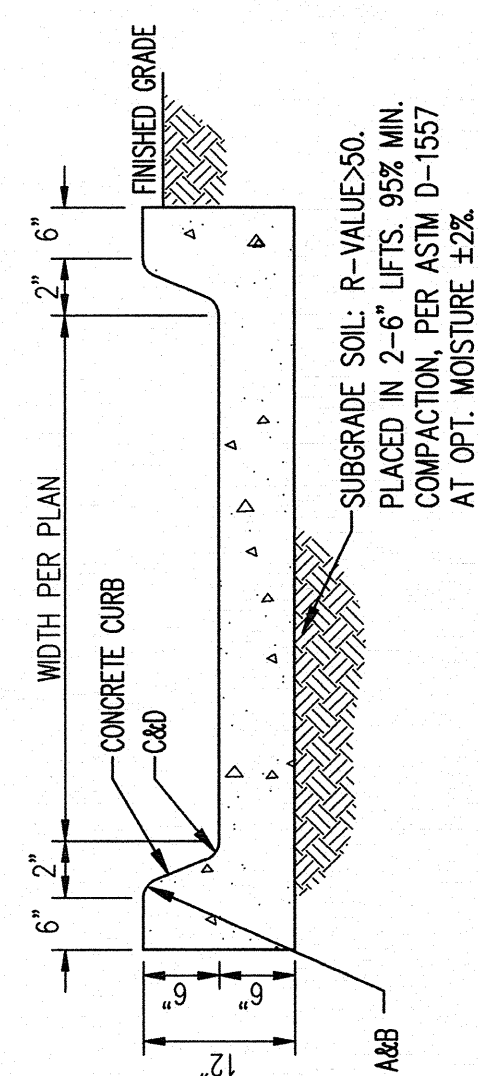
4' CONCRETE VALLEY GUTTER



A4 DOWN SPOUT CONNECTION DETAIL

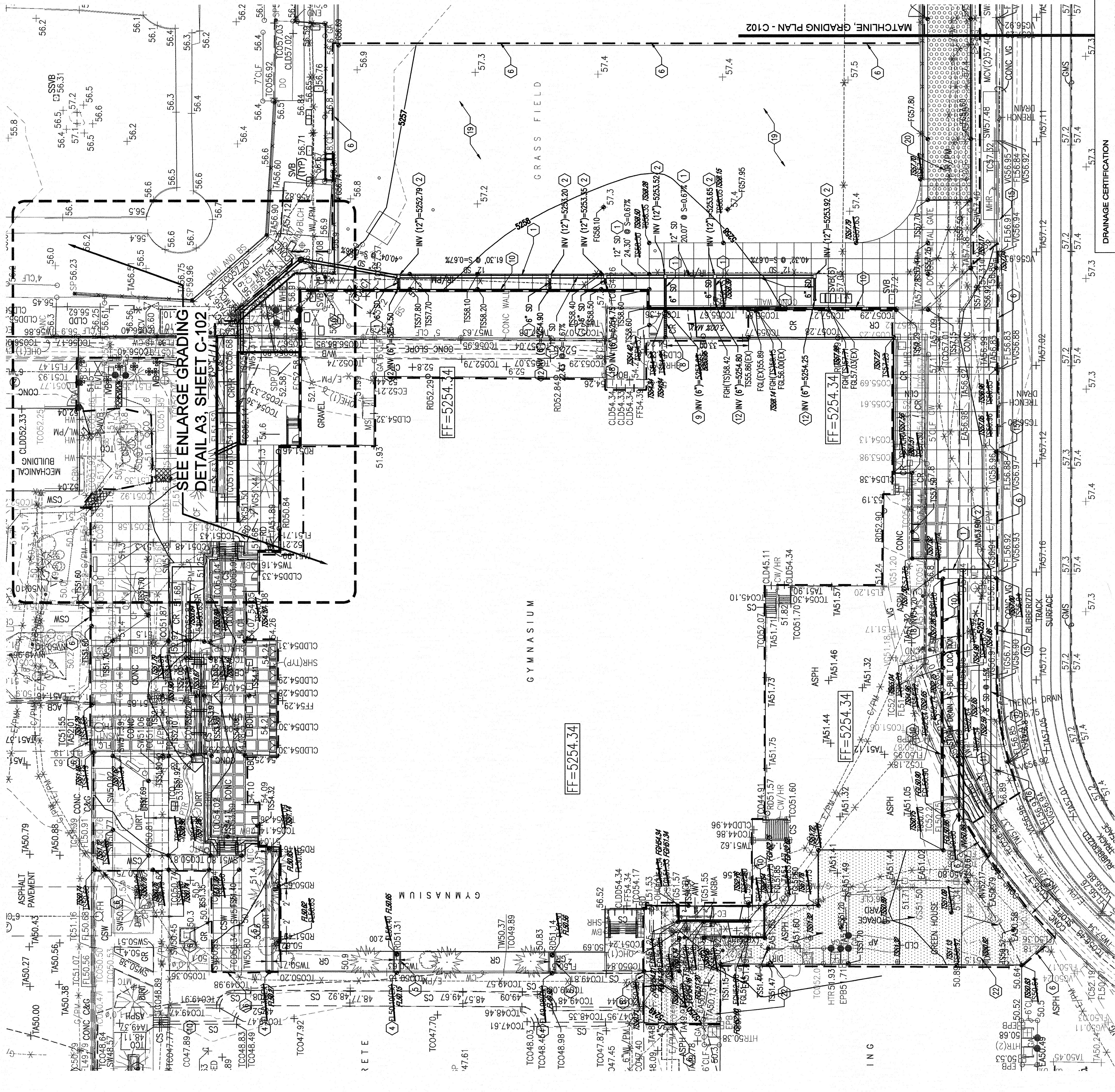


A3 TYPICAL CURB OPENING



- A. 40.75" RADII.
- B. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- C. 42" RADII.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- 66.75
- PROPOSED FINISHED GRADE SPOT ELEVATION
TO TOP OF CURB,
F1=LOW LINE,
F2=HIGH LINE,
F3=TOP OF GRADE FOR FINISH GROUND HERE,
F4=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL


A2 CONCRETE RUNDOWN



DRAINAGE CERTIFICATION

MATTHEW SATCHEL, NCE #6257, OF THE FIRM BOHANNAN-HILTON, INC. HEREBY CERTIFIES THAT THE PROJECT HAS BEEN GRANTED AND WILL TRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-28-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MATTHEWS, NCE #1874, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/12/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURFACE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL CONDITIONS AND IS TRUE AND CORRECT. I HAVE BEEN ADVISED BY THE CLIENT THAT THE PROJECT IS FOR A PERMANENT CERTIFICATE OF SUBMITTAL IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE OVERALL HIGHLAND HIGH SCHOOL GYM RENOVATIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


 MATTHEW H. SATCHES, NMPE 24572
 DATE 4-1-2019
LEGEND
 1. PL70.22 DESIGN GRADE
 2. ~~PL70.22~~ AS-BUILT GRADE

P:\20160185\CDP\Plans\General\Phase 1A\Drainage Cert\20160185GP_C101_GND.dwg
Mon, 1-Apr-2019 - 11:44:am. Plotted by: SSI\SMITA

April 1, 2019

Doug Hughes, PE
Principal Engineer, Hydrology
Planning Department
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

Re: Highland HS Title IX Gym Upgrade – Hydrology Permanent CO
COA Hydrology #K17D021A

Dear Mr. Hughes:

Enclosed for your review is a copy of the above referenced project's Drainage Certification Submittal. This is the **Overall** As-Built Drainage Certification for the entirety of the Highland HS Title IX Gym Upgrades.

All Building Permit #'s associated with this project are below:

Phase 1: 2018-11701
Phase 2: 2018-11702
Phase 3: 2018-11703
Phase 4: 2018-11704
Phase 5: 2018-11705
Phase 6: 2016-00827

With this submittal, we are requesting City of Albuquerque Hydrology Permanent Certificate of Occupancy for the entirety of the Highland High School Title IX Gym Upgrade Project. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Matt Satches, PE
Engineer
Community Development & Planning

MHS/Enclosures

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____