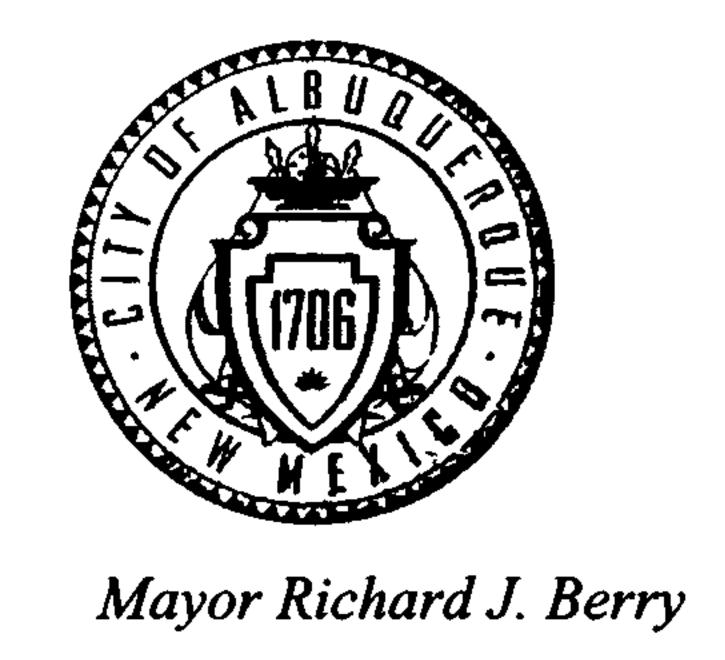
CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



December 16, 2016

Jeffery L. Mulbery, P.E. Bohannan-Huston Inc. 7500 Jefferson St. NE Court Yard 1 Albuquerque, New Mexico 87109

RE: Highland HS Title IX Upgrade 4700 Coal Ave SE

Grading and Drainage Plan
Engineers Stamp Date 6/26/16 (K17D021A)

Dear Mr. Mulbery,

Based upon the information provided in your submittal received 12/13/16, this plan is approved for building Permit.

PO Box 1293

Please inform the Owner/Contractor to attach a copy of this approved plan dated 12/13/16 to the construction sets in the permitting process prior to sign-off by Hydrology, which will avoid any further delays.

New Mexico 87103

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Also, before CO is accepted provide erosion protection at the bottom of the pond where rundowns are located.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Shahab Biazar, P.E.

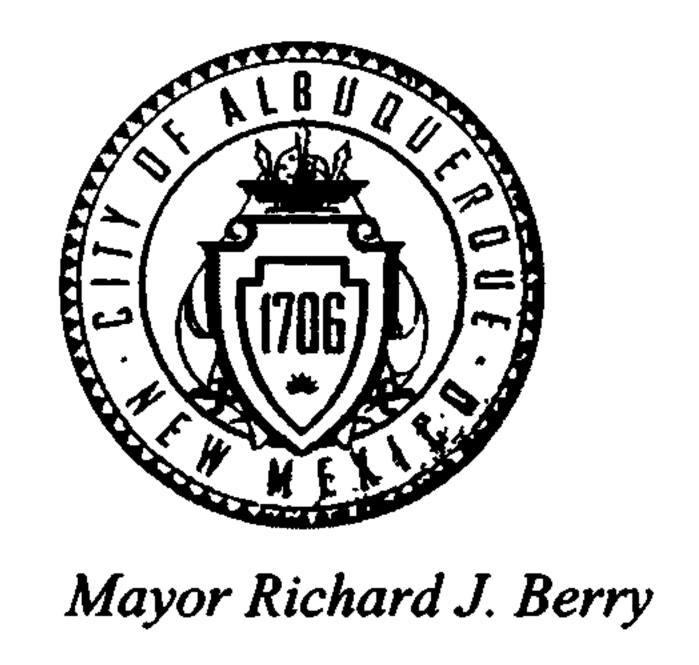
Since tely,

City Engineer, Albuquerque

Planning Department

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



December 16, 2016

Jeffery L. Mulbery, P.E. Bohannan-Huston Inc. 7500 Jefferson St. NE Court Yard 1 Albuquerque, New Mexico 87109

RE: Highland HS Title IX Upgrade
4700 Coal Ave SE
Grading and Drainage Plan
Engineers Stamp Date 12/13/16 (K17D021A)

Dear Mr. Mulbery,

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PO Box 1293

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Albuquerque

New Mexico 87103 Wi

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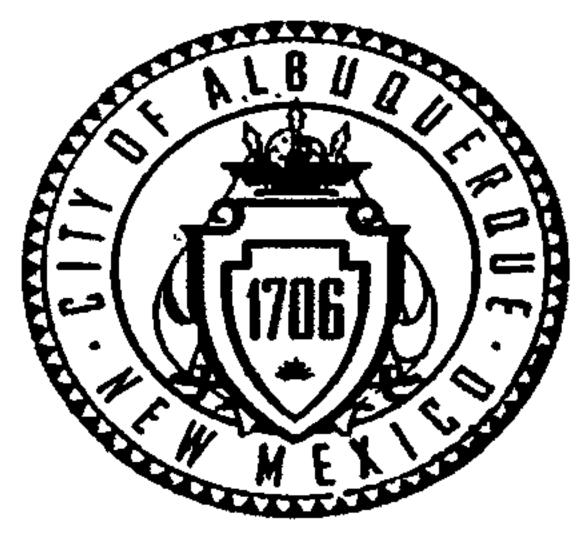
www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.

Principal Engineer, Hydrology

Planning Department



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Highland High School - Title IX Gymnasic	ım Upgrade	Building Permit #:	T201691617	City Drainage #:	K17D021A
DRB#:	EPC#:		Work Order#	f:	
Legal Description:					
City Address: 4700 Coal Ave SE 87108					
Engineering Firm: Bohannan Huston Inc			Contact: Jeff	Mulbery	
Address: 7500 Jefferson Street, 87109					
Phone#: 505-823-1000	Fax#:		E-mail: jmult	pery@bhinc.com	
Owner: Albuquerque Public School	, - .,		Contact:		
Address:				- , <u> </u>	
Phone#:	Fax#:		E-mail:	·	
Architect: SMPC Architects			Contact: Erik	Mease	
Address: 115 Amherst Drive SE, 87106	····				
Phone#: 505-255-8668	Fax#:		E-mail:		
Surveyor:			Contact:		
Address:					
Phone#:	Fax#:		E-mail:	-	
Contractor:			Contact:		
Address:					
Phone#:	Fax#:		E-mail:	· · · · · · · · · · · · · · · · · · ·	_
TYPE OF SUBMITTAL:	CHECK TY	YPE OF APPROV	AL/ACCEPTA	ANCE SOUGHT:	
DRAINAGE REPORT	STATEINA	NCIAL GUARAN	TEE RELEASI	Ę	
DRAINAGE PLAN 1st SUBMITTAL	TO TEREMINI	NARY PLAT APPI	ROVAL		
X DRAINAGE PLAN RESUBMITTAL		LAN FOR SUB'D			
CONCEPTUAL G & D PLAN	nig. DHVA	OR BLDG. PERMI	T APPROVAI	_•	
X GRADING PLAN		RLAN APPROVAL			
EROSION & SEDIMENT CONTROL PLA	N (ESC) FINATION	AT APPROVAL			
ENGINEER'S CERT (HYDROLOGY)\\\\\	OPMEN CERTIFIC	CATE OF OCCUPA	NCY (PERM)		
$\underline{\hspace{1cm}}$ CLOMR/LOMR $\setminus_{\setminus_{A}}$	ND VEVELOPMEN CERTIFIC	CATE OF OCCUPA	NCY (TCL T	EMP)	
TRAFFIC CIRCULATION LAYOUT (ICL	FOUNDA	TION PERMIT AP	PROVAL		
ENGINEER'S CERT (TCL)		G PERMIT APPRO			
ENGINEER'S CERT (DRB SITE PLAN)		G PERMIT APPRO		SO-19 APPROVA	
ENGINEER'S CERT (ESC)		PERMIT APPROV	-	ESC PERMIT AP	
SO-19		RDER APPROVAL		ESC CERT. ACC	
OTHER (SPECIFY)	GRADING	G CERTIFICATION	<u> </u>	OTHER (SPECIF	Y)
WAS A PRE-DESIGN CONFERENCE ATTEND	ED: Yes _X_	No Co	py Provided		
DATE SUBMITTED: December 13, 2016	By: Matt Satches			· — <u> </u>	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Matthew Satches

From:

Matthew Satches

Sent:

Tuesday, December 13, 2016 9:58 AM

To:

'PLNDRS@cabq.gov'

Cc:

Jeff Mulbery

Subject:

HHS Hydrology Resubmittal K17D021A

Tracking:

Recipient

Delivery

'PLNDRS@cabq.gov'

Jeff Mulbery

Delivered: 12/13/2016 9:58 AM

All,

Please use the link below to download the Highland High School Hydrology Resubmittal. We are requesting Hydrology Building Permit Approval.

Use the following link to download files. http://sfspublic.bhinc.com/EmailAccess.aspx?tk=TKmsatchesD131220169385

NOTE: These files will expire in 14 days(27-Dec-2016) from the time this email was generated.

Thanks,

Matt Satches

Community Development & Planning

Direct Line: 505.923.3315

Bohannan & Huston

December 13, 2016

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

www.bhinc.com

voice: 505.823.1000 facsimile: 505.798.7988 toll free. 800.877.5332

Mr. Rudy Rael, CE, CFM Engineering Associate City of Albuquerque 600 2nd St NW Albuquerque, NM 87102

Re: Highland High School Hydrology Resubmittal, Hydrology File: K17D021A

Dear Mr. Rael:

Enclosed for your review is a copy of the revised Drainage Management Plan along with associated Grading Plans. The revisions are based on comments received in your email dated September 28, 2016 and phone conversation on December 7, 2016. Below is a brief description of how the comments were addressed:

1. <u>Question/Comment:</u> The plans are too cluttered, provide a separate demo plan showing what is to remain and what is being demolished.

<u>Response:</u> I have attached a copy of the Phase I Demolition Plan and Overall Site Plan (courtesy of SMPC Architects) to help clarify what is being demolished and what is to remain.

2. <u>Question/Comment:</u> Provide a detail for the retaining walls. Separate permit is required for the walls.

<u>Response:</u> Retaining wall details have not been provided as they will not be permitted at the same time as this submittal. It was decided that the contractor will take care of the wall permit at the same time they are permitting the entirety of the project.

3. **Question/Comment:** Provide roof flows. Where are the flows headed in the NE addition? Is there a water harvest pond for this new area?

<u>Response:</u> To help clarify direction of flow, several flow arrows were added. Basins have been delineated as well in an effort to provide the runoff rate. The water harvesting ponds are existing and located just north of the new addition. These ponds were analyzed for the first flush volume. More detail can be found in the summary provided on the drainage management plan.

 Question/Comment: Connect the new drive with the old drive per master plan dated 9/2/2015 provided by High Mesa Consulting Group.

<u>Response:</u> There is no plan to move the driveway connection along the eastern frontage. The existing driveway will be utilized.

Engineering **A**

Spatial Data A

Advanced Technologies A

With this resubmittal, we are requesting Hydrology Building Permit Approval. If you have any questions or require further information, please feel free to contact me.

Sincerely,

Matt Satches, El Engineer Intern

Community Development & Planning

MHS

Enclosures

Rael, Rudy E.

From:

Rael, Rudy E.

Sent:

Wednesday, September 28, 2016 11:21 AM

To: Subject: 'bwarren@bhinc.com' Highland High School

Mr. Warren;

This email is being sent in lieu of an attached comment letter in order to expedite our response to previous comments. Response to comments should continue to be included in the resubmittal. A reply to these comments via email will not be considered a resubmittal.

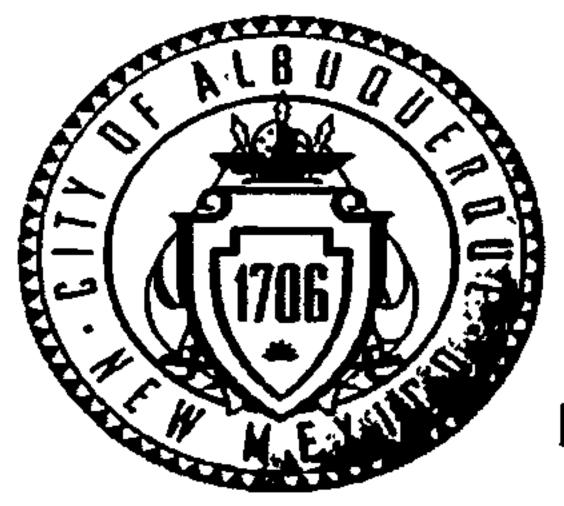
Based upon the information provided in your resubmittal received 9/1/16, the above referenced Grading and Drainage Report and plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- The plans are too cluttered, provide a separate Demo plan showing what is to remain and what is being demolished.
- Provide a detail for the retaining walls. Separate permit is required for the walls.
- Provide roof flows. Where are the flows headed in the NE addition? Is there a water harvest pond for this new area?
- Connect the new drive with the old drive per Master plan dated 9/2/2015 provided by High Mesa Consulting Group. Consult with Transportation.

Additional comments may be provided when new plans are resubmitted.

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986.

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977



Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Highland High School - Title IX Gymnasium Upgrade	Building Permit #: T201691617 City Drainage #: K-17 D2
DRB#: EPC#:	Work Order#:
Legal Description:	
City Address: 4700 Coal Ave SE 87108	
Engineering Firm: Bohannan Huston Inc	Contact: Jeff Mulbery
Address: 7500 Jefferson Street, 87109	
Phone#: 505-823-1000 Fax#:	E-mail: jmulbery@bhinc.com
Owner: Albuquerque Public School	Contact:
Address:	
Phone#: Fax#:	E-mail:
Architect: SMPC Architects	Contact: Erik Mease
Address: 115 Amherst Drive SE, 87106	
Phone#: 505-255-8668 Fax#:	E-mail:
Surveyor:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Contractor:	Contact:
Address:	
Phone#: Fax#:	E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
X DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	SECTOR BLAN APPROVAL SECTOR BLAN APPROVAL SECTOR BLAN APPROVAL
GRADING PLAN	SECTOR FLAN AFFROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPANCY (PERM) LAND DEVELOPMENT SECTION
CLOMR/LOMR	CERTIFICATE OF OCCUPANCY (TCL TEMP)
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVAL
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPROVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes X No Copy Provided
DATE SUBMITTED: 08/29/2016	By: Brian Warren

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



June 27, 2007

Jeffrey G. Mortensen, P.E. High Mesa Consulting Group 6010-B Midway Park Blvd. NE Albuquerque, NM 87109

Re:

Highland High School Track Sidewalk Culvert (K17-D21A)

Engineer's Stamp dated 6-7-2007

Dear Mr. Mortensen,

Based upon the information contained in your submittal received on June 11, 2007, the above referenced plan is approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Upon completion of the project, please submit an Engineer's Certification for our records.

If you have any questions, you can contact me at 924-3990.

Sincerely,

P.O. Box 1293

Jeremy Hower, P.E., C.F.M.

Albuquerque

Senior Engineer
Hydrology Section

Development and Building Services

New Mexico 87103

cc:

file K17-D21A

Antoinette Baldonado, Construction Services

Dwayne Schmitz, DMD Street / Storm Maintenance

www.cabq gov

CITY OF ALBUQUERQUE DEVELOPMENT & BUILDING SERVICES CENTER PLANNING DEPARTMENT/HYDROLOGY SECTION

	OI BECITO	17	•
CONFERENCE RECAP		F.	1

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: K17/D21A	DÀ	ATE: 05/16/2007
--	----	-----------------

CROSS REFERENCE NUMBERS: EPC_____DRB_____DRC

SUBJECT: HIGHLAND HS SOCCER FIELD RESURFACING PROJECT

STREET ADDRESS: 4700 COAL AVENUE SE

SUBDIVISION NAME: TRACT A, HIGHLAND HIGH SCHOOL

TYPE OF APPROVAL

PRELIMINARY& FINAL PLAT

BUILDING PERMIT

X GRADING PERMIT

SITE DEVELOPMENT PLAN FOR SUBDIVISION

X OTHER <u>SO # 19</u>

ATTENDEE:

ORGANIZATION:

PHONE:

JEFF MORTENSEN

JMA

345-4250

BRAD BINGHAM

HYDROLOGY

924-3986

FINDINGS:

- 1. THE PROPOSED PROJECT WILL CONSIST OF THE FOLLOWING:
 - REMOVING THE EXISTING TURF FOOTBALL FIELD
 - REPLACING THE NATURAL TURF SURFACE WITH SYNTHETIC TURF UNDERLAIN BY A SUBSURFACE DRAINAGE SYSTEM
 - RETAINING THE EXISTING ONSITE DRAINAGE PATTERNS I.E SLOPE OF FIELD
 - NO INCREASE IN IMPERVIOUSNESS
 - RETAINING THE EXISTING TRACK SURFACE AND TRACK DRAINAGE SYSTEM UNTIL A FUTURE DATE WHEN THE TRACK WILL BE REBUILT
 - CONSTRUCTING A NEW SO#19 CONNECTION TO DISCHARGE THE NEW SUBSURFACE FIELD DRAINAGE SYSTEM TO PUBLIC RIGHT-OF-WAY
- 2. A DRAINGE PLAN FOR THE PROJECT WILL BE REQUIRED; THE DRAINAGE PLAN SHALL ADDRESS THE FOLLOWING:
 - NO CHANGE TO EXISTING DRAINAGE PATTERNS
 - ANY PROPOSED REGRADING
 - ANY SO #19 REQUIREMENTS
 - QUALITATIVE ASSESSMENT OF DOWNSTREAM CAPACITY (I.E. NO INCREASE IN DEVELOPED RUNOFF; MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA)
- 3. CONTINUED DISCHARGE TO COAL AVENUE SE IS ACCEPTABLE

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

SIGNED: SIGNED

NOTÉ: PLEASE PROVIDE A COPY OF THIS RECAP WITH EACH DRAINAGE SUBMITTAL JMA PROJECT NO. 93.021.3



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 27, 2004

Jeff Mortensen, P.E. Jeff Mortensen & Associates, Inc. 6010-B Midway Park Blvd. NE Albuquerque, NM 87109

Re: Highland Swimming Pool Phase 1, 400 Jackson St. NE, Grading and

Drainage Plan

Engineer's Stamp dated 12-30-03 (K17/D1A)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 12-31-03, the above referenced plan is approved for Building Permit and Work Order requirements. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

BUS

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

K-17	DIA	4
FU F #W47 - 5	204.8	

DRB #:	EPC #:	WORK ORDER #:	5. FILE #:K17 <u>DU1A</u>
		TACINI CINDLINE.	
LEGAL DESCRIPTION	N: PORTIONS OF BLOCKS 2 & 3, VALLE	Y VIEW ADDITION	
CITY ADDRESS:	400 JACKSON STREET NE		
ENGINEERING FIRM:		CONTACT: PHONE:	JEFF MORTENSEN
ADDRESS CITY, STATE:		ZIP CODE:	(505) 345-4250 87109
OITI, OIAIL.	-ALDOGOLINGOL, INVI		07 103
OWNER: CITY OF	ALBUQUERQUE	CONTACT:	ARCHITECT
ADDRESS		PHONE:	
CITY, STATE:		ZIP CODE:	
ADOLUTEOT: BAA			DAVAD DITCHIE
ARCHITECT: MA ADDRESS	HLMAN & MILES ARCHITECTS 206 BROADWAY SE	CONTACT: PHONE:	DAVID RITCHIE 243-0101
CITY, STATE:		ZIP CODE:	87102
OITI, OIAIL.	· 		07 102.
SURVEYOR: JEF	FF MORTENSEN & ASSOC., INC.	CONTACT:	JEFF MORTENSEN
ADDRESS	6010-B MIDWAY PARK BLVD. NE	PHONE:	(505) 345-4250
CITY, STATE:	ALBUQUERQUE, NM	ZIP CODE:	87109
001500			
	NOT SELECTED	CONTACT:	
ADDRESS CITY, STATE		PHONE: ZIP CODE:	
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WAS A PRE-DESIGN YES X NO COPY PROVIDE DATE SUBMITTED:		DEC 3 1 2003 YDROLOGY SECTIONY G. MORTENSEN	
_ 1			
Requests for approvals	s of Site Development Plans and/or Subdivision	Plats shall be accompanied	by a drainage submittal. The

Red uests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 6, 2000

Daniel S. Aguirre, P.E. Mario Juarez-Infante Wilson & Company 4900 Lang Avenue, NE Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR HIGHLAND HIGH SCHOOL, 4700 COAL AVENUE, SE, CONCESSION BUILDING & DUGOUT PLAN (K-17/ D041) ENGINEER'S STAMP DATED NOVEMBER 13, 2000, SUBMITTED FOR BUILDING PERMIT AND SO 19 APPROVALS

Dear Mr. Aguirre,

Based upon the information provided in your November 16, 2000, submittal, the project, referred to above, is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

In addition, the submittal is approved for an SO 19 permit, which is required for construction within the city right-of-way.

Prior to release of the Certificate of Occupancy, an Engineer's Certification of the grading and drainage plan, per the DPM checklist, and a copy of the grading and drainage plan, with approval sign-off by the City's field inspector for the SO 19, will be required.

If you have any questions, please call me at 924-3988.

Shart Redel, P.E.

Sincerely,

Stuart Reeder, P.E.

Hydrology Division

xc: Pam Lujan, Permits w/attachment

Whitney Reierson

File